

AN ORDINANCE ADOPTING AND THEREBY RATIFYING AN AMENDMENT TO THE CITY OF WILDWOOD'S MASTER PLAN REGARDING THE TOWN CENTER DESIGNATION AS A RESULT OF THE COMPLETION OF THE PHASE II PLANNING PROCESS.

WHEREAS, the City of Wildwood, Missouri was officially incorporated on September 1, 1995 as a result of an affirmative vote of its citizens on February 7, 1995;

WHEREAS, one of the City's first official acts on September 1, 1995 was to appoint the Planning and Zoning Commission and charge them with the responsibility of beginning the development and ultimate completion of a Master Plan to guide future land use decisions and ensure the appropriate allocation of resources and the provision of services for its residents;

WHEREAS, a major component of this Master Plan was the concept of the Town Center, which was intended to introduce and utilize the principles of "New Urbanism" in the development and use of property in this selected location; the area being where all future commercial and higher density residential land use activities would be located in the City of Wildwood;

WHEREAS, an outside consultant, nationally recognized as an expert in these concepts, was hired to create a Town Center Plan for the City of Wildwood which would achieve the desired goals of creating livable neighborhoods where the automobile is deemphazied in terms of the site planning and design of improvements and the community (its people) is provided an appropriate setting for this change to occur;

WHEREAS, the firm of Andres Duany and Elizabeth Plater-Zyberk held a five (5) day charette in the community and created a plan for the development of the Town Center, which included input from citizens, service providers, and potential development interests, and presented it to the community;

WHEREAS, the introduction of the plan included several public presentations, forums, and more formal public hearings in an attempt to address resident and property owners concerns regarding the complexity and comprehensiveness of the document and the overall impact it would have on the existing neighborhoods in the area;

WHEREAS, additional concerns were raised in the presentation and discussion process about the roadway system and its grid characteristics, the architectural requirements for buildings, and the traffic and congestion perceived to be associated with this type of development policy;

WHEREAS, despite all the efforts of the City to gain support in the impacted area where the Town Center would be located, citizen concerns could not be adequately addressed, which led to the adoption of a two (2) phased approach to the development of the plan;

WHEREAS, the City's Planning and Zoning Commission and City Council adopted a Master Plan amendment as Phase I of this two (2) phased approach to address all commercially zoned properties in the City and then designate the remaining properties as part of Phase II;

WHEREAS, a key component of this Phase II process was the creation of a Citizen Advisory Board to complete the designation of these properties, as well as discuss access options, design standards, and architectural guidelines for them, so as their concerns could finally be addressed regarding this concept;

WHEREAS, the Citizen Advisory Board, in conjunction with the Town Center Committee, completed this process of designating land use and access options as part of a mediated five (5) month process and forwarded the plan to the Planning and Zoning Commission and City Council for consideration and adoption; and

WHEREAS, the Planning and Zoning Commission on March 2, 1998 voted 10 to 0 to adopt the attached amendment to the Master Plan (unifying Phase I and II) including all related maps, exhibits, materials, and appendices therein referenced and identified herein as the Town Center component of the Master Plan of the City of Wildwood, Missouri, including the Conceptual Land Use Categories Map.

WHEREAS, the completed Town Center Plan adopted and ratified herein, including all maps, exhibits, materials, and appendices attached and referred to, is consistent with the Master Plan's goals and objectives about this area of the City and sets the parameters and tenets to achieve the creation of traditional neighborhood designs, which will be characterized by varied and diverse housing styles, defined and consistent architectural themes for buildings and other improvements, modified street designs to improve the quality of their appearance and promote slower speeds and greater safety, and planned utilization of green space as part of each public and private improvement;

WHEREAS, the City Council is required to adopt, by a vote of at least two-thirds (2/3) of members, any change in any portion of the Master Plan establishing appropriate zoning districts.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF WILDWOOD, MISSOURI, AS FOLLOWS:

Section One. The Town Center component of the Master Plan of the City of Wildwood as described below and incorporated herein is hereby adopted and ratified as an amendment to the official Master Plan and Comprehensive Zoning Plan of the City of Wildwood:

The Town Center Plan will establish a long-term development philosophy that promotes the establishment of mixed-use communities consistent with the concepts of "Town Center Planning." Incumbent to the selection of the "Town Center Planning" concepts for use in the City's proposed Town Center was the belief that current suburban development practices predominant in the region and elsewhere were not appropriate for this new community. These existing practices favor the strict segregation of land uses, which assumes all travel to and from destinations will be accomplished by the automobile. Therefore, all design criteria for their development reflects an insensitivity toward the pedestrian and other modes of transportation and creates a streetscape that is less than pleasing to the eye. Accordingly, the City of Wildwood has attempted to redress this conventional wisdom by employing a different set of criteria for future development in the Town Center.

In applying the concepts of "Town Center Planning," several principle tenets were formulated to guide development. These tenets include the following:

1. Neighborhood Design - all neighborhoods should be pedestrian-friendly, with the use of multiple access points for vehicles. The use of cul-de-sacs should be discouraged.
 - Parking should be located to the side or rear of buildings. On-street parking is encouraged in these areas as well.
 - Building locations should be as close to the right-of-way as possible and at a scale and size consistent with the concepts of "Town Center Planning".

Variations to these building requirements along State Route 100 and State Route 109 may be considered on a case-by-case basis by the Planning and Zoning Commission.

2. Green Space - all neighborhoods should have abundant public/open space and it should be incorporated into all designs. Development designs permitted by the Town Center densities will require a greater need for public/open space. The dedication of areas for use as public/open space must be incorporated as focal points in the overall development scheme of each individual project, which is part of the larger neighborhood fabric. Additionally, these areas shall be capable of providing a varied use in terms of active recreational opportunities, and not all be property significantly restricted by environmental features.

Existing vegetation shall be preserved whenever possible. Credits for preserving existing vegetation shall be given to developers to offset City imposed requirements from the Tree Manual.

Developments adjoining State Route 100 and State Route 109 shall comply with the City's stated intent to plant and improve these corridors into greenscape areas which are consistent with the concept put forth by the community in its grant application to the Missouri Department of

Transportation.

Dedication of land or impact fees may be required for the purchase of off-site properties.

3. Architecture - all neighborhoods should adhere to the specific architectural guidelines of the Town Center Plan in terms of signage, lighting, fencing, and building styles and designs. Lighting design shall reflect the nature of use in the area and promote visibility in commercial areas and safety in residential locations, reduce night glow, and spillage of light onto adjacent properties.
4. Land Use - all activities allowed by the Town Center zoning designations should be compatible with the existing land use pattern on adjoining properties. Certain uses are permitted by right within each of the respective land use designations proposed as part of the Town Center Plan. Other more intensive uses which require special consideration and review will only be authorized as part of a Conditional Use Permit. These uses which require a permit include certain commercial uses with large building footprints, drive-through facilities in conjunction with any authorized commercial use, and other higher intensity or problematic use characteristics. Intense commercial uses should be limited to a small number of districts located toward the perimeter of the Town Center (Manchester Road, State Route 100, State Route 109, and Taylor Road), while other business activities should be fully cohesive with the remaining land uses to form a traditional Town Center.

Incumbent to creating this traditional Town Center, a true mix of uses must be provided by limiting a percentage of housing types and commercial uses allowed in any one given area. Therefore, all properties will either be designated Commercial, Workplace, Neighborhood Center, Neighborhood General, Neighborhood Edge, Public/Open Space or Cultural/Institutional. Regardless of designation, existing neighborhoods should be preserved. The attached Land Use Designation Parcel Map (Attachment Three) shall establish permitted uses for all properties within The Town Center.

5. Streets and Sidewalks - all public improvements shall comply with the Town Center specifications in their construction.

Street trees, lighting, furniture, and other items shall adhere to the Streetscape Design Standards of the City. The layout of streets will adhere to a grid pattern, but not necessarily rectangular in shape. The existing network of streets, including Taylor Road, will form the basis of the future layout of all new roadways. New streets shall be linked to this existing network.

Curb cuts shall be minimized along the main thoroughfares, such as Taylor Road, as well as State Routes 100 and 109, wherever possible, by promoting shared access between properties or the use of lanes serving the rear of properties.

Traffic Generation Impact fees may be imposed to address the impact of any new development in the Town Center.

6. Infrastructure - all storm water management improvements shall comply with the Town Center specifications in their construction.

Regional facilities are preferred over individual site improvements. In-stream detention will only be considered when regional benefits to the storm water collection and management system clearly outweigh the impact to the natural environment of that location. The system of natural streams and creeks shall be preserved, whenever possible. Setbacks from these features will be reviewed on a case-by-case basis relative to the goals of regional detention/retention. Impact fees may be imposed as a part of any development in the Town Center to address off-site impacts to fund construction of regional detention.

The installation of new or the improvement of old utility systems and lines shall be placed underground in conduits within City-owned rights-of-way.

The development of public sewer systems to serve growth in the Town Center area are encouraged and preferred within the Metropolitan St. Louis Sewer District's boundary.

7. Historic District - all developments located within the Historic District shall be consistent with the overall period of architecture chosen for this area. The reuse and restoration of historic structures and buildings is encouraged.

Town Center Regulations

With the adoption of the Town Center Plan Boundary Map, Neighborhood Design Standards and Architectural Guidelines, Street Network Map, and Land Use Designation Map, any new zoning of parcels of land after this action and any development within the Town Center shall comply with this Town Center Plan. The Town Center District Zoning Ordinance is anticipated to formalize many of these policies into detailed regulations. In those instances where regulations may not be appropriate for adoption as part of the Zoning Code, such as design specifications for streets, utilities, and other public improvements, they will be incorporated into the appropriate manual for use.

The policies in the Town Center Plan are intended to cover all aspects of the development of properties within the Town Center Boundary and create the appropriate setting to achieve the stated goals of this plan and promote and apply the principles of "Town Center Planning" in this area, while protecting the community from previous land use policies established in this City by the former jurisdiction.

*** Boundaries of the Town Center ***

The boundaries of the area within the City of Wildwood designated as The Town Center and subject to Town Center Zoning and Regulations shall be the area and parcels of ground designated on the Town Center Boundary Map attached as Appendix One.

*** Neighborhood Design Standards and Architectural Guidelines ***

The Town Center the Neighborhood Design Standards and the Architectural Guidelines are adopted in principle by the Town Center Plan. These standards and guidelines will be formalized with the passage of the Town Center Zoning Ordinance. These standards and guidelines will address all aspects of development within the Town Center Boundaries, but modifications consistent with the Town Center Plan principles will be considered on a case-by-case basis relative to the site's size, location, physical characteristics, surrounding land use pattern, and access, infrastructure, and utility options. Individual merit of the request will only be considered. The standards and guidelines adopted herein are attached as Appendix Two.

*** Land Use Activities within the Identified Categories ***

The following categories are hereby established for the area of the City designated as the Town Center, with corresponding permitted land use activities identified for each as well. These categories and activities are applicable only to properties within the Town Center Boundaries. Lot sizes, widths, and depths and other similar criteria shall be as established in the Neighborhood Design Standards of the Town Center Plan.

Town Center Categories

Land Use Activities

Historic District¹

Historic Neighborhood Center

*Bed and Breakfast Establishments
Professional offices, not
medical or dental
Restaurants, not fast-food
Home Occupations
Coffee Shops
Shops for artists, sculptors,
painters, printmakers,
photographers, and similar
specialties
Child Care Centers
Sewage Treatment Facilities
Park and Open Space; public
or private areas
Barber and Beauty Shops
Parking Areas
Multiple Family Residential
(shophouses, rowhouses, and
apartments)
Civic Buildings*

Historic Neighborhood Edge

*Bed and Breakfasts²
Single Family Residences at
3 acre density
Home Occupations
Child Care Centers
Sewage Treatment Facilities
Park and Open Space; public
or private areas
Parking Areas*

^{1/} The Historic District shall permit zoning under the Historic Neighborhood Center, Historic Neighborhood Edge, Cultural/Institutional, and Open Space categories.

^{2/} Certain activities have been determined to be appropriate only under a set of specific and special conditions which are needed because of the type of use, the location of the use, the characteristics of the use, and the development pattern around the use dictate a greater need of control. These activities shall be permitted only by Conditional Use Permit (including planned zoning expressly authorizing the activity) for their development or establishment in the applicable Land use Designation where they may exist. The criteria for approving a Conditional Use Permit shall be described in 1003.181 of the City of Wildwood's Zoning Code and may be granted only where consistent with the principles established by this Master Plan.

*Civic Buildings
Cemeteries*

Historic Buildings

Limited by Category where located

Open Space

*Public Parks
Scenic Areas
Wildlife Refuge
Public Civic Space
Public and Other Utility Facilities²*

Cultural/Institutional

*Churches
Schools
Civic Buildings (government)
Libraries
Local Public Utilities
Parks and Open Space; public
and private areas
Museums*

Commercial

(Commercial District allows a larger building footprint for certain uses)

*Restaurants, including fast
food, with drive through
facilities
Churches
Professional Offices,
including medical and dental
Financial Institutions, with
drive-through facilities
Parking Areas
Recreational Facilities,
including indoor theaters and
outdoor activities
Stores and Shops for Retail
Purposes
Filling Stations for
Automobiles
Hotels
Sewage Treatment Facilities
Research Laboratories and
Facilities
Office/Warehouse Facilities
Park and Open Space; public
and private areas*

Workplace

Restaurants, including fast food, but without drive through facilities
Vehicle Service Centers, not repair
Professional Offices, including medical and dental
Child Care Centers
Churches
Filling Stations for Automobiles²
Financial Institutions, with drive-through facilities²
Parking Areas
Recreational Facilities, where all activity occurs within a Building or Structure, but excluding Indoor Theaters
Animal Hospitals and Veterinary Clinics
Sewage Treatment Facilities
Stores and Shops for Retail Purposes
Office/Warehouse Facilities
Park and Open Space; public and private areas

Neighborhood Center

Single Family Residential
Multiple Family Residential (shophouses, rowhouses, and apartments)
Sewage Treatment Facilities
Parking Areas
Financial Institutions, not with drive-through facilities
Professional offices, including medical and dental
Bed and Breakfast Establishments
Coffee Shops
Child Care Centers
Home Occupations
Restaurants, not fast food
Civic Buildings
Park and Open Space; public or private areas
Shops for artists, sculptors, painters, print makers, photographers, and similar specialties
Barber and Beauty Shops
Churches

*Schools
Stores, Shops, and Open-Air
Markets for Retail Purposes*

Neighborhood General

*Single Family Residential
Multiple Family Residential
(shophouses, rowhouses, and
apartments)
Park and Open Space; public
or private areas
Civic Buildings
Sewage Treatment Facilities
Home Occupations
Bed and Breakfast
Establishments
Churches
Schools*

Neighborhood Edge

*Single Family Residential
(cottage and house)
Park and Open Space; public
or private areas
Sewage Treatment Facilities
Churches
Libraries
Home Occupations
Schools
Cemeteries
Child Care Centers
Civic Buildings*

NOTE: All Land Use Categories other than "Commercial" shall permit building footprints in excess of 10,000 square feet only by Conditional Use Permit.² Uses in the "Commercial" District shall permit building footprints in excess of 40,000 square feet only by Conditional Use Permit.²

* Designation of Land Use for Specific Properties Within Town Center*

The land use designations shown on Appendix Three are established for all properties located in the Town Center boundary. These land use designations correspond to the identified Town Center Categories and Land Use Activities noted above and are identified by a specific parcel number as indicated in the text set forth in the town Center Plan Phase II Report dated February 3, 1998 and on file with the City Clerk. Minor boundary adjustments of each Town Center Category may be necessary on a case-by-case basis, where appropriate, and shall not be deemed a violation of this plan and may be accommodated without a map amendment.

* Street Network Plan*

The avenues, streets, roads, and lanes set forth on the Town Center Street Network Map (Attachment Four) are established as the planned street layout of the Town Center, subject to the qualifications and modifications noted below. New and modified streets constructed as part of any development should be expected to meet the general guidelines of the Town Center Plan in terms of location, purpose, and design, unless better alternatives are available. The exception to the adoption of this roadway network is the deletion of the system of grid streets in the area served by the Niere Acres Drive. This area will be served by the existing private roadway only and individual residential driveways, where needed. Additionally, the roadway network was not intended to extend the existing stub street in Old Grover Estates from its terminus at the northern property line to the proposed Main Street. Concerns relative to traffic volumes and safety were the reasons for this modification. All other stub streets in this development would be connected as part of the Town Center's network of roadways.

Other roadways were also proposed as part of the engineering study completed by the City's consultant in this matter, which are shown on the Street Network Map and hereby adopted in principle. However, these roadways are to be reviewed on a case-by-case basis relative to the development of the individual properties where interest is centered. The development of these roadways, along with the desired open space areas and pocket parks indicated as a part of each, will be premised on their need or utility to achieve the goals of the Town Center planning concept and compliance with engineering standards proposed as part of this process.

The following additional street considerations are incorporated in the Street Network Map:

Crestview Lane - extension of this existing private roadway to the east and west to intersect with the proposed Taylor Road and State Route 109. This roadway will be the Main Street/Neighborhood Boulevard as described in the Street Specifications of the Town Center Plan.

Pond-Grover Loop Road - extend existing street to the south and east to connect with Taylor Road.

New Unnamed Roadways (as described by property location) -

- Schneider Property - two (2) new additional north-south roadways, which intersect the Main Street.
- RDR Property - new roadway from Amoco Oil Company facility to Eatherton Road.
- Properties along the north side of Crestview Lane - parallel roadway along State Route 100. This roadway will be located between Eatherton Road and the proposed Taylor Road.
- Properties owned by Greenberg Development Company and Covert-Corsair - three (3) north-south roadways and two (2) east-west roadways. Two (2) of the north-south roadways intersect Manchester Road, west of Village Hills Parkway.
- Greenberg Development Company Property (east side of Taylor Road) - two east-west roadways and one (1) north-south roadway. The two (2) east-west roadways intersect the proposed north-south roadway which ends at Manchester Road.
- Jones Family Properties - one (1) east-west roadway which extends across State Route 109 into the Bower tract of land. This roadway will extend from Taylor Road to State Route 109 then onward to the western end of the Town Center.
- Properties around Old Grover Estates - extension of existing stub streets to surrounding roadway system. The western stub street will turn to the south and intersect Manchester Road.
- St. Onge Property at the southwest corner of State Route 100 and State Route 109 - one (1) east-west roadway and one (1) stub to the south.
- Slavik Property - two (2) north-south roadways and one (1) east-west roadway. One (1) of the north-south roadways connects to Manchester Road.
- Properties located in the Northwest Quadrant of Manchester Road and State Route 109 - one (1) east-west roadway. Starts at Manchester Road and connects to the north-south roadway on the Slavik tract of land.

*** Development Policies for Established Neighborhoods in the Town Center ***

Special additional development policies shall apply when development is planned near or affecting existing residential neighborhoods. These policies are intended to promote the concepts of "traditional town planning", while protecting existing neighborhoods and the overall character of the area. Most important of these development policies which must be considered when applying the concepts of Town Center planning to properties within its boundaries is the appropriate transitioning of lot sizes around established neighborhoods, such as Old Grover Estates, Meadows at Cherry Hills, Lindy Lane, Niere Acres Drive, and Crestview Lane. The intent of transitioning lot sizes is to preserve the character of existing neighborhoods which have limited or no redevelopment potential or represent exactly the type of areas the Town Center planning process is trying to achieve, such as Niere Acres and Lindy Lane in particular. Where these circumstances exist, developing properties must reflect an appropriate lot size and density as not to impact the existing character of the area.

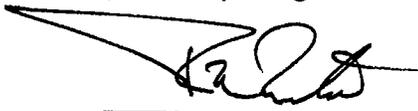
Additionally, the development of property near existing residential neighborhoods shall particularly require the dedication of appropriate areas of open space to serve the Town Center community. The areas intended for public use have been partially identified as part of future land use designations for all properties in the Town Center. Additionally, the provision of other open space areas on individual development sites, where applicable and functional, must also be considered. These smaller areas may include portions of developed properties where improvements permit, such as parking areas, pedestrian walkways, and others.

Two (2) other policies to be used in the development of properties in the Town Center include the following:

- the definable portions of any walkable neighborhood must have an appropriate mix of land uses. Therefore, the development of one type of housing unit to the point of shifting this balance should not be considered.
- the layout of streets to serve uses in the Town Center area must be respectful of and take into account appropriate block sizes (length and width) to accommodate proposed Neighborhood Design Standards for different lot types and always promote connectivity of them throughout its boundary.

Section Two. This ordinance shall be in full force and effect on and after its passage and approval.

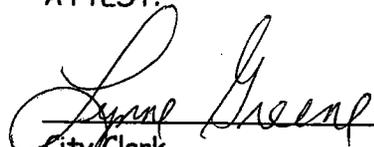
This Bill was passed and approved on the 23rd day of March 1998 by the Council of the City of Wildwood after having been read by the title or in full two times prior to passage.



Presiding Officer



R.W. Marcantano, Mayor

ATTEST:


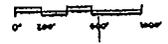
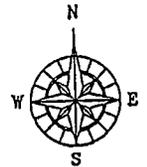
City Clerk



City Clerk

APPENDIX ONE
Town Center Boundary Map

WILDWOOD TOWN CENTER
WILDWOOD, MISSOURI
BOUNDARY MAP



— TOWN CENTER BOUNDARY

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Revision date: April 23, 1997

APPENDIX TWO
Neighborhood Design Standards and Architectural Guidelines

NEIGHBORHOOD DESIGN STANDARDS

ABOUT THIS DOCUMENT

The Neighborhood Design Standards and Architectural Guidelines were written with the objective of reviving the culture, value, and traditions exemplified in American small towns and local communities such as University Heights Number One in University City, Parkview, Labadie, and Kirkwood. To these ends, the provisions of this document create a pedestrian friendly atmosphere of memorable streets and public spaces; distinctive house types allowing personalized private gardens and interior spaces; and a coherent neighborhood vision, to secure the marketability and value of each home throughout the course of development. This document is intended as a guideline to be refined and implemented by formal development ordinances.

GENERAL INSTRUCTIONS

All building and landscape designs shall be submitted to the Architectural Review Board for conformity to the code. Variances may be granted to the neighborhood design, architectural, and landscape standards on the basis of architectural merit, site conditions, or unusual circumstances, provided such variances are consistent with the design objectives and intent of the code.

SPECIAL DEFINITIONS

WD	Workplace District	AP	Apartment
CD	Commercial District	CO	Cottage
SH	Shop House	HO	House
RH	Row House		

Building Height: The limit to the vertical extent of a building is stated as the number of stories or a dimension from the sidewalk grade.

Commercial Use: (a) Premises used for the sale of articles and commodities, (b) premises used for the provision of professional services, or (c) premises used for the manufacture, assembly, and sale of articles utilizing only handheld and/or table-mounted electrical tools, accessories contained within an enclosed structure. Corner sites: a facade abutting a thoroughfare that is not the main entrance to a building with frontage along two thoroughfares.

Elevation: The vertical surface of a building along any lot boundary.

Facade: Those portions of a lot boundary line which coincide with the principal thoroughfare reservation, R-O-W, or a public space.

Arcade: Structural extension of upper floor over public right-of-way, creating a covered pedestrian sidewalk.

Frontage Line: That portion of a lot boundary which coincides with a thoroughfare or a public place.

Limited Commercial Use: Premises used for the provision of professional services employing not more than three persons, including the owner.

Lodging Use: Premises providing no more than four bedrooms for letting.

Lot Coverage: The maximum area of the lot that may be occupied by an enclosed structure.

Open porches and connecting structures are excluded from the calculation.

Residential Use: Premises used for dwelling purposes.

Setback: The mandatory or minimum distance between a frontage line and a facade or between a boundary line and an elevation.

Workplace/Commercial District: An urbanized area that is specialized around a predominant activity often supported by subsidiary uses. The structure of a district parallels that of a neighborhood.

An identifiable focus encourages orientation and identity, while clear boundaries facilitate the formation of special management organizations.

Interconnections with adjacent neighborhoods encourages transportation options.

Districts benefit from transit systems since most users have residences outside its boundaries. Open space is organized into plazas and streetscape green spaces.

Neighborhood Center: A social, mixed use hub within walking distance of surrounding neighborhoods.

Housing is typically in row and side yard buildings, often combining upper floor residential with ground floor commercial.

Commercial uses are in rear yard storefront buildings. Thoroughfares typically are streets and avenues with parallel parking on both sides. All buildings are served by alleys. Open space is organized into parks and squares.

Neighborhood General: This is the most widespread urban fabric, with a mixture of housing types and limited non-residential uses. Housing is typically in row and side yard, and all yard buildings, with outbuildings at the rear. The thoroughfares are streets or roads with curbs, and parallel parking.

Open space is organized into parks and playgrounds. **Neighborhood Edge:** This is a rural residential fabric. Housing is exclusively in all yard or side yard buildings. Non residential uses are limited to special recreational or civic uses, relating to adjacent forests or other natural features.

The thoroughfares are roads with soft edges and no curbs. Periodic parking is accommodated on the roadside. The open space is organized into parkways.

Shophouses: A row and, notable commercial building type with one or several dwellings above a commercial lot, common walk permitted on the side lot lines.

Shoptowns are the most urban type, located at mandatory retail frontages and usually confined to Neighborhood Center Zone. Shoptowns are always served by alleys.

Rowhouses: A rear yard residential building type. A single family dwelling with common walls on the side lot lines, the facades reading as a continuous streetwall.

Rowhouses are the highest density type able to provide private yards and fee-simple ownership. A set of rowhouses creates yards with adequate privacy only when equipped with extensions to ancillary buildings.

Rowhouses are usually served by alleys as front-loaded parking on such narrow frontages destroy the pedestrian continuity.

Apartment: A residential building type accommodating multiple dwellings disposed above and beside each other, and sharing a common entry. Apartment building show typological variations: arranged as Row and Terrace Apartments, as Row Apartment Blocks, and as Courtyard Apartments which are usually compatible with houses.

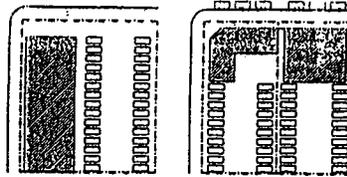
An Apartment Building provides private open space to most dwellings by the device of balconies. Apartment buildings are usually served by alleys as the quantity of parking must be accommodated at the rear to preserve pedestrian continuity.

Cottage: An Edgeward residential building type. A single-family dwelling on a separate lot, possibly shared with an outbuilding to the rear yard.

Specifications: The Urban Standards coordinate these aspects of the private buildings that shape and define the public space in a dignified and inviting manner. Building use, parking provisions, horizontal and vertical requirements for each parcel are prescribed as follows:

CD, WD BUILDINGS

COMMERCIAL DISTRICT - TCD-C
WORKPLACE DISTRICT - TCD-W



LOCATION REQUIREMENTS

CD, WD types shall be permitted only in the Commercial District and Workplace District.

USE REQUIREMENTS

CD, WD types shall permit commercial use only. Outbuildings are not permitted. User requiring more than 10,000 square feet shall line the frontage of the building with retail tenant space opening onto the street.

PARKING REQUIREMENTS

Automobile parking shall be provided at the ratio of 3.0 places per 1000 square feet. Off-street parking and on-street parking along the frontage line shall count toward fulfilling the requirement.

HORIZONTAL REQUIREMENTS

Minimum lot width shall be 72 feet. Minimum lot depth shall be 144 feet. Arcade, if provided, shall be a minimum of 10 feet in depth and extend along 100 percent of the building frontage.

Building facades shall be placed 10 feet from the frontage line. Buildings shall have no required side or rear setbacks.

In the absence of a building facade, a garden wall shall be built along the frontage line. The maximum lot coverage is 65 percent of the total area of the lot.

Building facades shall show no more than six corners to the frontage line, including arcades.

Buildings on corner lots shall hold clear a view triangle defined by two points 30 feet from the intersection of the sidewalk curbs extended.

Off-street parking placement shall be behind the building facade. Parking shall be entered from the rear alley, if provided.

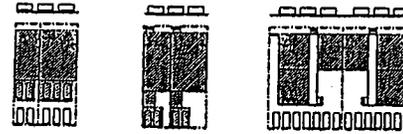
VERTICAL REQUIREMENTS

The first story may be at sidewalk grade except that parking areas may be at grade. The first story interior clear height shall be no less than 12 feet.

The maximum building height shall be 3.5 stories or 36 feet measured at the eave or parapet. In the absence of a building facade, garden walls shall be 32 inches.

SH, RH, AP BUILDINGS

NEIGHBORHOOD CENTER DISTRICT - TCD-NC
NEIGHBORHOOD GENERAL DISTRICT - TCD-WG



LOCATION REQUIREMENTS

SH, RH, AP types shall be permitted only in the Neighborhood Center and Neighborhood General.

USE REQUIREMENTS

RH and AP types shall permit only residential use at all stories of the principal structure. SH types shall permit commercial or residential use at the first story and residential use at all stories above. RH outbuildings shall permit lodging and limited commercial use. Only one type of use is allowed per floor. In the Historic District, SH types shall permit commercial use at all stories of the principal structure.

PARKING REQUIREMENTS

Automobile parking shall be provided at the ratio of 2 places per dwelling and 2.5 places per 1000 square feet of lodging or limited commercial use. Off-street parking and on-street parking along the frontage line shall count towards fulfilling the requirements. AP types shall provide 1.5 spaces per dwelling.

HORIZONTAL REQUIREMENTS

Lot width shall be 24 feet, 36 feet, 72 feet, and 144 feet. Lot depth shall be a minimum of 96 feet. Three acre lots are permitted in the historic district with approval of the City of Wildwood Planning Department. Building facades shall be placed 6 to 18 feet from the frontage line. Average front yard setback distance shall create a consistent line for structures along the same side of the street within any given block. Buildings shall have side setbacks between 0 and 8 feet. Sloops, balconies, porches and bay windows may encroach within front and corner side setbacks. A garden wall or fence shall be built along the frontage setback line. Buildings and outbuildings shall have a minimum rear setback of 3 feet. Outbuildings shall be separated by a minimum of 10 feet from the principal building, except that a single-story connecting structure of 12 feet maximum width may join them. SH types shall have outbuildings only if the use at the first floor of the principal building is residential. The maximum lot coverage of the SH and RH building types shall be 70 percent of the total area of the lot. Building facade coverage of the AP building type shall be 80 percent of the total area of the lot. Building facades shall show no more than 4 corners to the frontage line, including porches. Off-street parking placement shall be behind the building facade. Garages shall be entered from a rear alley or lane.

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Buildings on corner lots shall hold clear a view triangle defined by two points 30 feet from the intersection of the sidewalk curbs extended.

Off-street parking placement shall be behind the building facade. Parking shall be entered from the rear alley, if provided.

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CO, HO BUILDINGS

NEIGHBORHOOD GENERAL DISTRICT - TCD-NG
NEIGHBORHOOD EDGE DISTRICT - TCD-NE



LOCATION REQUIREMENTS

CO and HO types shall be permitted only in the Neighborhood General and Neighborhood Edge.

USE REQUIREMENTS

CO and HO types shall permit residential use at all stories of the principal structure. Outbuildings shall permit lodging and limited commercial use. Only one type of use is allowed per floor.

PARKING REQUIREMENTS

Automobile parking shall be provided at the ratio of 2 places per dwelling and 3 places per 1000 square feet of lodging or limited commercial use. Only off-street parking shall count towards fulfilling this requirement.

HORIZONTAL REQUIREMENTS

Lot width shall be 48 feet and 54 feet for CO types and 72 feet, 90 feet, 108 feet, and 216 feet for HO types. Minimum lot depth shall be 96 feet. Three acre lots are permitted in the historic district with approval of the City of Wildwood Planning Department.

Building facades shall be placed a minimum of 8 feet and a maximum of 36 feet from the frontage line. Average front yard setback distance shall create a consistent line for structures along the same side of the street within any given block.

Buildings shall have side setbacks a minimum of 6 feet and a maximum of 12 feet. Outbuildings shall have a rear setback of 3 feet.

Sloops, balconies, porches and bay windows may encroach within front and corner side setbacks. A garden wall or fence shall be built along the frontage line.

Outbuildings shall be separated by a minimum of 10 feet from the principal building, except that a single-story connecting structure of 12 feet maximum width may join them. The maximum lot coverage shall be 60 percent of the total area of the lot.

Building facades shall show no more than 6 corners to the frontage, excluding porches. Off-street parking placement shall be behind the building facade. Garages shall be within outbuildings entered from the rear lane if provided.

VERTICAL REQUIREMENTS

The first story shall be no less than 1.5 feet above grade except that garages may be at grade. The first story interior height shall be no less than 10 feet.

The maximum building height for a principal building shall be 3.5 stories or 36 feet measured at the eave except that an area no greater than 240 square feet may rise to a height of 40 feet measured at the eave (i.e., a tower or belfry).

The maximum building height for an outbuilding shall be 2 stories or 22 feet measured at the eave.

Outbuildings shall have a maximum of 620 square feet. Basements raised more than 3 feet shall not count against the maximum building height. Habitable attics with eaves no higher than 3 feet from the floor shall not count against the maximum building height.

ARCHITECTURAL GUIDELINES

WALLS

MATERIALS

Building Walls shall be finished in local brick, native stone, wood shingles, wood clapboard, drop siding, wood board and batten, or smooth stucco. Clapboard and siding shall be painted except as noted. Brick may be painted or left unpainted.

Foundation walls and piers may be exposed smooth-finished, poured concrete, parged block or brick veneer.

Garden walls shall be finished in stone, brick or stucco matching the principal building. Gates shall be wood or wrought iron.

Fences fronting the street shall be made of wood pickets painted white. All other fences shall be made of wood boards with a rectangular section. If painted, fences shall be white. Wood fences may have brick piers. Vinyl materials may be used as a substitute in buildings walls and fences, but shall be from the master list to ensure acceptable quality.

CONFIGURATIONS

Walls may be built of no more than two materials and shall only change material along a horizontal line. I.e., wood may be combined with stucco when the material change occurs horizontally, typically at a floor line or a gable end, with the heavier material below the lighter, i.e., brick or stone below stucco. Additions to buildings must be made of the same materials as the main building except when the main building is made of brick, the addition can be wood.

Siding shall be horizontal, from 8 to 10 inches exposed to the weather. Boards with more than 8 inches to the weather shall show a 1 inch variation from one board to the next.

Shingles shall be max. 8 to 10 inches exposed. Decorative shingles shall not be permitted. Shingles shall be handsplit or machine cut and have bottom edges aligned.

Foundation walls shall be exposed a min. of 18 inches and a maximum of 36 inches above grade.

Trims shall be minimum grade "B" wood and shall not exceed 1 inch in thickness. The width at the corners shall be 6 inches. The width around openings shall be 4 inches in width, except at the front door which may be any size or configuration. Trim may be painted in any color.

Brick shall be horizontal running bond or flemish bond pattern with mortar joints of raked or grapevine pattern, max. 1/2 inch in height.

Stucco treatment around openings shall not protrude in excess of 1 inch from the finished wall face.

Garden walls shall be minimum 8 inches thick and capped with an overhang of no less than one inch.

Picket fences shall be 3.5 feet high at front yards. In rear yards, where there is a swimming pool, the minimum height of a fence shall be 4 feet. Picket fences shall have no more than a 2 inch gap between pickets. Neighboring lots shall have different fence designs.

Board fences may be as high as 6 feet to be used for side and rear yards. Chain link fences are not permitted.

ELEMENTS

MATERIALS

Columns, piers, arches and chimneys shall be made of stone, wood, brick or stucco. The interior chimney flue shall be metal or clay flue tile.

Porches, posts, spindles, and balusters shall be made of wood or fiberglass, except railings attached to concrete or brick which may be made of steel or wrought iron and painted a black gloss finish. Porches may be enclosed with glass or screens, however, glass enclosures are not permitted at frontages. Porch ceilings may be enclosed with painted wood or beaded vinyl exposed joists shall be painted.

Sloops shall be made of wood, brick or concrete. If concrete, a stoop shall have brick or stucco cheek walls.

Decks shall be located in rear yards and where not easily visible from streets or paths. Decks shall be made of wood and painted or stained (except walking surfaces which shall be unpainted).

Bay windows at frontages shall be made of trim lumber and have a copper roof, left to age naturally.

Storefronts shall be made of wood.

Wood elements must be painted or stained with an opaque stain except walking surfaces which may be left natural.

CONFIGURATIONS

Chimneys shall be a min. 2:1 proportion in plan and capped to conceal spark arresters. Flues shall be no taller than required by The Building Code.

Arches shall be no less than 12 inches in depth. Keystones shall be functional and not decorative. Arcades shall have vertically proportioned openings.

Porches shall be no less than 8 feet in depth and shall be 18 inches above grade. Porches shall be lit with recessed ceiling fixtures (not wall mounted fixtures) with incandescent bulbs. Screened porches shall have screens framed in wood installed behind framed railings. Undercrofts of porches and decks shall be skirted with framed wood or vinyl lattice installed between supports with no more than 1-1/2 inch spaces between boards.

Posts shall be no less than 6 x 6 inches thick and chamfered at the corners.

Railings shall have top and bottom rails. Wood top rails shall be eased at edges and bottom rails shall have a rectangular section. Top and bottom rails shall be centered on the pickets. Spindles and balusters on railings shall not exceed 4 inches on center if made of wood, 3 inches on center if made of metal.

Bay windows at frontages shall have a minimum of 3 sides and shall be habitable, extending to the floor inside and to the ground outside. Balconies shall not exceed 4 feet in depth. Cantilevers, including balconies and two story bay windows, shall be supported by visible brackets.

ROOFS

MATERIALS

Roofs shall be clad, copper, concrete tiles, wood shingles, fiberglass asphalt shingles or standing seam sheet metal, colors and types to be selected from the Architectural Review Board Master List.

Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper coated), vinyl or anodized aluminum. Metal chains may be used in lieu of downspouts. Splash blocks shall be made of brick or gravel. In the absence of gutters, brick or gravel shall be placed at the drip line.

Flashing shall be copper, tin, vinyl or anodized aluminum.

Copper or tin roofs, flashing, gutters, and downspouts shall be allowed to age naturally (not painted or sealed).

CONFIGURATIONS

The principal roofs shall be a symmetrical gable or hip with a slope between 8:12 to 12:12.

Ancillary roofs (attached to walls at the upper portion) may be sheds with a slope between 2:12 to 3:12.

Roofs on lowers shall have a slope greater than 6:12.

Roof trusses shall have integral eave returns allowing room for either expressed lintels or a frieze board above top story openings.

Flat roofs shall have a parapet wall as high as the City Building Code allows. Flat roofs shall be permitted in commercial buildings only.

Purlins, if exposed, shall be minimum width of 1-1/2 sq. inches.

Eaves shall be continuous. Eaves which overhang more than 16 inches shall have exposed rafters.

Gutters shall be square or half-round. Downspouts shall be round.

Dormers, if provided, shall be habitable and placed a minimum of 36 inches from side building walls and have gable or hipped roofs with a slope of 10:12 or shed roofs with a slope 3:12.

Roof penetrations shall be placed on the rear slope of the roof and painted to match the color of the roof, except those of metal which may be left unpainted.

Skylights shall be flat and mounted on the rear slope of the roof.

OPENINGS

MATERIALS

Windows shall be made of painted or clad wood and shall be glazed with clear glass.

Doors, including garage doors, shall be wood, embossed steel or fiberglass with wood veneer. Doors shall be painted. If glazed, doors shall be glazed with clear glass.

Storm doors shall be painted wood or anodized aluminum and match the door.

Security doors and window grilles must be approved.

CONFIGURATIONS

Openings in upper stories shall be centered directly above openings in the first story. Openings in the gable ends must be centered. Openings shall be a minimum 2 feet from building corners.

Glazed area on frontage facades shall not exceed 20% of the total surface. Single panes shall be no larger than 100 square inches. Ground floor retail shall have a minimum of 70% glazed surface.

Windows shall be single-hung, double-hung, or triple-hung or operable casement types, with a vertical proportion of no less than 1:1.5 except that there may be one semicircular or hexagonal window on each building.

Transoms may be oriented horizontally with panes of vertical proportions. Multiple windows in the same rough opening shall be separated by post that are 4 inches wide. The centerline of the window sash shall align with the centerline of the wall. Windows on ground floor shall be slightly larger than those on upper floors.

Window muntins shall be true divided lights or fixed on the exterior surface, creating panels that are square or vertical in proportion. All windows shall have equally proportion lights.

Porch and arcade openings shall be vertical in proportion.

Doors shall be hinged, except garage doors. All doors shall have raised panels (not flush with applied trim).

Sliding doors shall be permitted only at backyard locations. Windows in doors must be rectangular.

Garage doors facing a street frontage shall be a maximum of 9 feet in width. Garage doors facing an alley shall have a cantilevered light fixture centered above the door with an incandescent bulb activated by a photocell. Garage doors shall be painted.

Shutters shall be sized and shaped to match the opening and provided for all windows on a given wall.

Awnings shall be rectangular without side panels.

MISCELLANEOUS

COLORS

Colors of all materials shall be selected from the Master list provided by the Architectural Review Board.

Walls shall be one color for each material used. Wall colors shall be painted or stained in the local earth tone ranges.

Trim shall be of one color which may or may not be the same as the wall color.

Storefronts shall be painted a color from the master List.

Accent color may be used for items such as the front door and shutters subject to approval from the Architectural Review Board.

Columns, posts, balconies, shutters and porches may be any color.

Rough siding shall be a color from The Master List.

Masonry, smooth siding and trim shall be a color from the Master List.

PAINT AND STAINS

All exterior wood shall be painted or stained, except wood shingles which may be left to age naturally. Window sashes and doors shall be painted.

Garage aprons shall be brick, concrete pavers, asphalt or tar and chip.

The following shall be selected from the Master List: brick, mortar, colors, awning colors and patterns, fence designs and exterior light fixtures.

The following shall be permitted only in rear yards and where not easily visible from streets or paths: HVAC equipment, utility meters, 18" (or smaller) satellite dishes, permanent grills, permanent play equipment and hot tubs (those at ground level must be covered).

The following shall not be permitted: Panelized materials, quoins, curved windows, window air-conditioning units, swimming pools above-ground (except those of the inflatable variety), antennas, solar panels, signs (on private residential property).

Stormwater Management: Sites shall follow the prescribed Drainage Measures listed in the city code or may submit an alternative drainage plan certified by a civil engineer as fulfilling the stormwater management requirements.

Driveways may be brick, asphalt or concrete pavers and shall not be wider than 12 feet at the street.

Flagpoles under 6 feet long may be mounted at a 45degree angle to building walls.

Security signs must be affixed to the wall.

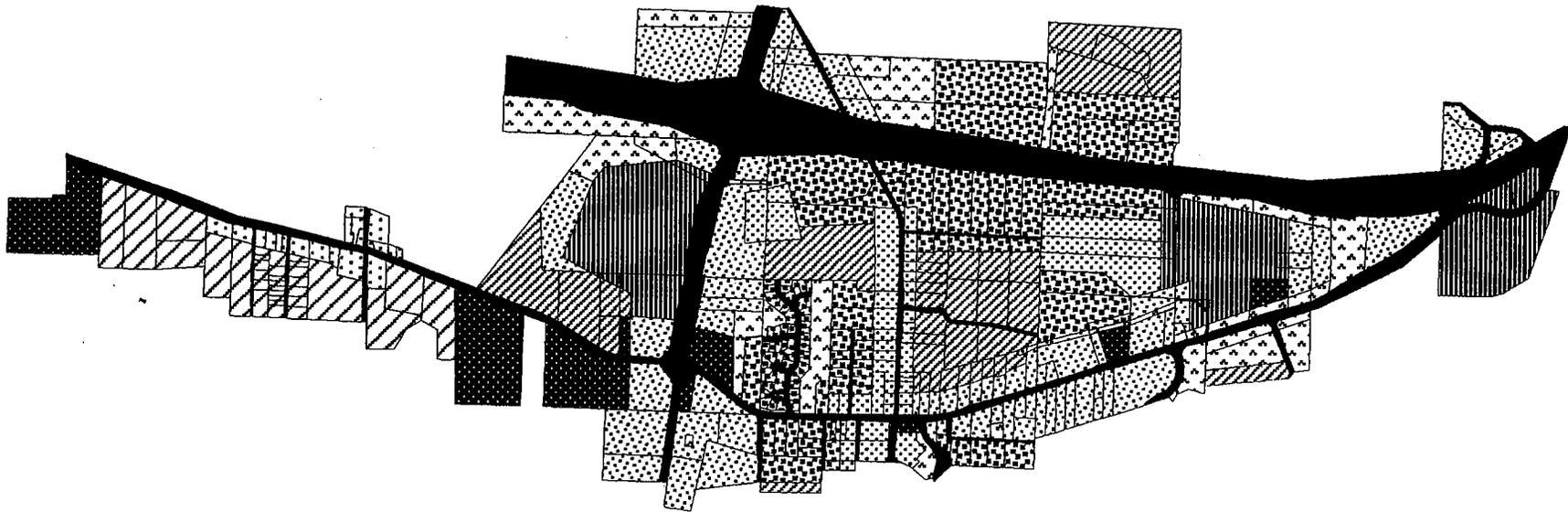
Light fixtures shall be mounted to walls, have incandescent or metal halide bulbs and may not produce glare on adjacent properties.

Variations to The Architectural Codes may be granted on the basis of architectural merit.

Signs in the Town Center, shall be made of wood, cast aluminum or vitriol-enameled steel. Signs shall be attached to buildings, integral with the storefronts, no larger than 24 inches in height, externally lit and painted a color from the Master List.

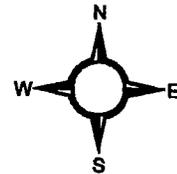
APPENDIX THREE
Land Use Designations for Properties (Regulating Plan)

Town Center - Land Use Designations



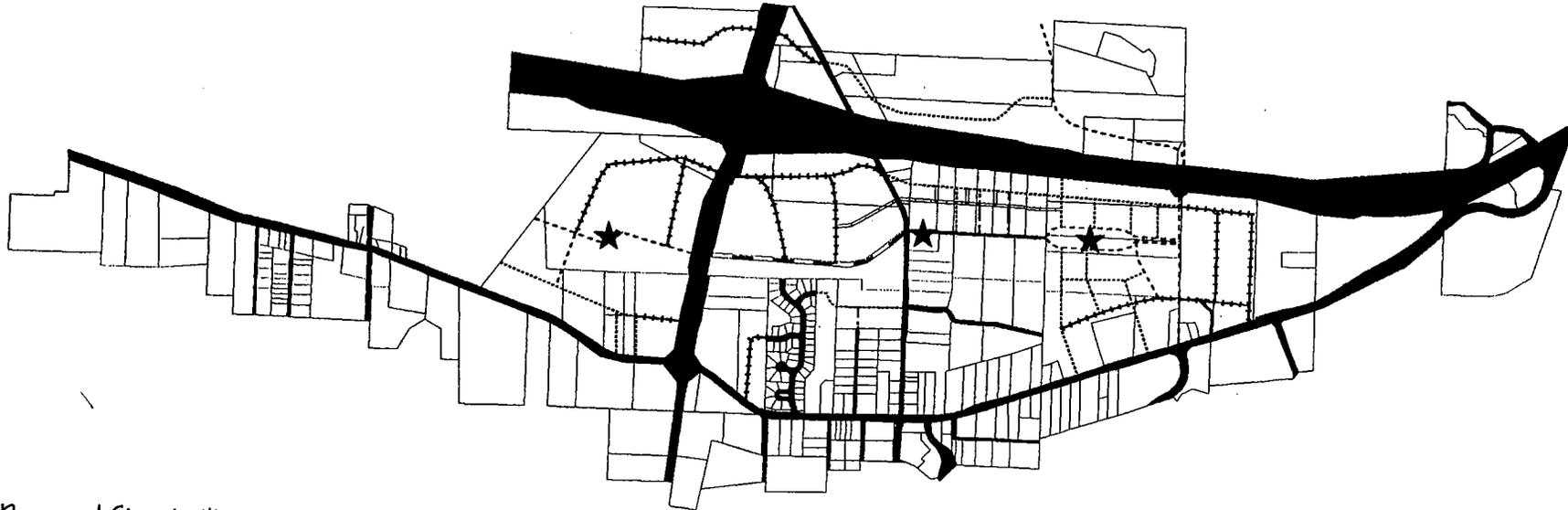
Town Center Land Use Designations

-  Cultural/Institutional
-  Commercial
-  Historic Neighborhood Center
-  Historic Neighborhood Edge
-  Neighborhood Center
-  Neighborhood Edge
-  Neighborhood General
-  Open Space
-  Workplace
-  Parcels
-  Existing Streets



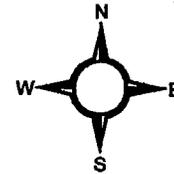
APPENDIX FOUR
Town Center Street Network Map

Town Center - Street Network



Proposed Streets *

-  Lane
-  Main Street
-  Neighborhood Avenue
-  Road (R-1)
-  Road (R-2)
-  Street (S-50)
-  Parcels
-  Existing Streets



- ★ Denotes approximate location of required pocket parks to be developed in conjunction with individual roadways
(see report of CDG dated September 29, 1997 on file with City Clerk for more specific locations and other information).
- * The location of proposed avenues, streets, roads, and lanes are approximate and subject to engineering verification and utility.