

SCHEDULE of AREAS

BASE HOUSE - HEATED	
FIRST FLOOR	1401
SECOND FLOOR	1595
TOTAL BASE HEATED	2996
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	442
HOUSE SLAB	1401
TOTAL BASE UNDER ROOF	1843
BASE OPTIONS - HEATED	
SUNROOM	128
MODERN FIREPLACE	18
OWNER'S RETREAT	152
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	915
PARTIAL FINISHED BASEMENT	840
CRAWL	325
MECHANICAL W/ FINISHED BASEMENT	49
STORAGE W/ FINISHED BASEMENT	334
MECHANICAL W/ PARTIAL FINISHED BASEMENT	125
FINISHED BASEMENT BEDROOM 7	185
FINISHED BASEMENT BATH 7	59
ADDITIONAL AREA W/ SUNROOM	128
FINISHED BASEMENT BEDROOM 7 W/ SUNROOM	186
BASE OPTIONS	
BASEMENT	1298
CRAWL	1298
PARTIAL BASEMENT	965
CRAWL	325
GARAGE CRAWL	399
BASEMENT / SUNROOM	128
CRAWL / SUNROOM	128
SLAB / SUNROOM	128
COVERED PORCH	128
COVERED PORCH W/ FIREPLACE	128
WOOD DECK	128
WOOD DECK W/ SUNROOM	160
CONCRETE PATIO	128
CONCRETE PATIO W/ SUNROOM	160
3 CAR FRONT GARAGE	200

LIGHT & VENT SCHEDULE

ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
GATHERING / KITCHEN / CAFE	682.37	54.59	27.29	89.8	41.8
PULTE PLANNING CENTER	36.69	2.94	1.47	8.5	3.4
DINING	115.48	9.24	4.62	27.4	11.8
POWDER	27.99	2.24	1.12	ARTIF.	MECH.
FLEX	143.72	11.50	5.75	13.7	5.9
DEN OPTION	143.72	11.50	5.75	13.7	5.9
BEDROOM 6 OPTION	114.53	9.16	4.58	13.7	5.9
BATH 6 OPTION	51.67	4.13	2.07	ARTIF.	MECH.
OWNER'S SUITE	237.29	18.98	9.49	35.1	15.0
OWNER'S BATH	134.53	10.76	5.38	2.0 / ARTIF.	MECH.
BEDROOM 2	123.83	9.91	4.95	11.7	5.0
BEDROOM 3	136.11	10.89	5.44	23.4	10.0
BEDROOM 4	161.01	12.88	6.44	35.1	15.0
LOFT	145.10	11.61	5.80	23.4	10.0
LAUNDRY	57.36	4.59	2.29	ARTIF.	MECH.
BATH 2	66.93	5.35	2.68	2.4 / ARTIF.	MECH.
OWNER'S SUITE W/ OWNER'S RETREAT OPTION	377.88	30.23	15.12	58.5	25.0
BEDROOM 5 OPTION	122.81	9.82	4.91	11.7	5.0
BATH 3 OPTION	40.00	3.20	1.60	ARTIF.	MECH.
FINISHED BASEMENT	821.58	65.73	32.86	ARTIF.	MECH.
PARTIAL FINISHED BASEMENT	748.91	59.91	29.96	ARTIF.	MECH.
BEDROOM 7 OPTION	150.38	12.03	6.02	12.2	6.7
BATH 7 OPTION	48.65	3.89	1.95	ARTIF.	MECH.
SUNROOM OPTION	48.65	3.89	1.95	ARTIF.	MECH.
FINISHED BASEMENT W/ SUNROOM OPTION	949.58	75.97	37.98	ARTIF.	MECH.
PARTIAL FINISHED BASEMENT W/ SUNROOM OPTION	876.91	70.15	35.08	ARTIF.	MECH.

ARTIF. = ARTIFICIAL LIGHT SUPPLIED
 MECH. = MECHANICAL VENTILATION SUPPLIED
 THIS TABLE SHOWS CALCULATIONS FOR THE BASE HOUSE CONDITION

GENERAL NOTES

- GENERAL REQUIREMENTS**
- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR IN SPECIFICATIONS
 - APPLICABLE NATIONAL CODES (IRC, NEC, IECC ETC.) LATEST ADOPTED EDITION WITH LOCAL AMENDMENTS
 - ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS
 - IN AREAS WHERE THE DRAWINGS SPECIFICATIONS OR SCOPE OF WORK DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS
 - ON-SITE VERIFICATIONS OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 - THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE PROJECT UNLESS OTHERWISE NOTED OR SHOWN.
 - DISCREPANCIES:
 - THE CONTRACTOR SHALL COMPARE AND COORDINATE ALL DRAWINGS
 - WHEN IN THE OPINION OF THE CONTRACTOR, A DISCREPANCY EXISTS, THE CONTRACTOR SHALL PROMPTLY REPORT IT FOR PROPER RESOLUTION BEFORE PROCEEDING WITH THE WORK.
 - OMISSIONS:
 - IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED
 - WHERE NO SIMILAR FEATURE OR CONDITION EXISTS THE CONTRACTOR SHALL PROMPTLY REPORT IT FOR PROPER RESOLUTION BEFORE PROCEEDING WITH THE WORK.
 - ALL WORK IS TO BE PERFORMED IN A PROFESSIONAL MANNER AND IN ACCORDANCE WITH STANDARD PRACTICE AND CONSISTENT WITH MANUFACTURER'S AND SUPPLIER'S RECOMMENDED INSTALLATION PROCEDURES.
 - DIMENSIONING:
 - ALL DIMENSIONS SHALL BE READ OR CALCULATED - NOT SCALED
 - ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF SHEATHING UNLESS NOTED OTHERWISE
 - ALL DRAWINGS ARE AT A SCALE OF 1/4" = 1'-0" UNLESS NOTED OTHERWISE
 - ALL DIMENSIONS AT WINDOWS ARE TO THE CENTERLINE OF THE OPENING.
 - BEFORE SUBMITTING PROPOSALS, BIDDERS SHALL CAREFULLY EXAMINE THE DRAWINGS, INSPECT THE SITE AND ACQUAINT THEMSELVES WITH ALL GOVERNING CODES, ORDINANCES, REGULATIONS, LAWS, ETC. AND OTHERWISE FAMILIARIZE THEMSELVES WITH ALL MATTERS WHICH MAY AFFECT PERFORMANCE AND COMPLETION OF THE WORK. THE ACT OF SUBMITTING A PROPOSAL SHALL BE CONSIDERED AS MEANING THAT THE BIDDER HAS COMPLIED WITH ALL REQUIREMENTS OF THESE GENERAL NOTES AND SPECIFICATIONS AND THEREFORE NO CONCESSION WILL BE GRANTED BECAUSE OF ANY CLAIM OF MISUNDERSTANDING OR LACK OF INFORMATION.

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	MAS	MASONRY
A/C	AIR CONDITIONING	MATL	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
ARCH	ARCHITECT ARCHITECTURAL	MECH	MECHANICAL
BSMT	BASEMENT	MC	MEDICINE CABINET
BLK	BLOCK	MTL	METAL
BLKG	BLOCKING	MIN	MINIMUM
BD	BOARD	MIR	MIRROR
BLDG	BUILDING	MISC	MISCELLANEOUS
CAB	CABINET	MOD	MODULAR
CPT	CARPET	MULL	MULLION
CSMT	CASEMENT WINDOW	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTER
CIR	CIRCLE	OA	OVERALL
CIRC	CIRCUMFERENCE	OH	OVERHEAD
CLR	CLEAR CLEARANCE	OPT	OPTIONAL
COL	COLUMN	PB	PUSH BUTTON
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
CONC	CONCRETE	PAR	PARTITION
CONST	CONSTRUCTION	PED	PEDESTAL
CONT	CONTINUOUS	PL	PLATE
CJ	CONTROL OR CONSTRUCTION JOINT	PVC	POLYVINYL CHLORIDE
CF	CUBIC FOOT	PREFAB	PREFABRICATE PREFABRICATED
CY	CUBIC YARD	R	RISER
DET	DETAIL	REF	REFERENCE
DIA	DIAMETER	REFR	REFRIGERATOR
DIM	DIMENSION	REINF	REINFORCE REINFORCED REINFORCING
DW	DISH WASHER	R.A.G.	RETURN AIR GRILLE
DR	DOOR	REV	REVISIONS REVISED
DH	DOUBLE HUNG	RD	ROOF DRAIN
DS	DOWNSPOUT	RFG	ROOFING
ELEC	ELECTRIC ELECTRICAL	RM	ROOM
ELEV	ELEVATION	RO	ROUGH OPENING
EQ	EQUAL	SCHED	SCHEDULE
EXH	EXHAUST	SECT	SECTION
EXT	EXTERIOR	SGD	SLIDING GLASS DOOR
FO	FACE OF	SHTH	SHEATHING
FIN	FINISH	SH	SHEET
FPL	FIREPLACE	SH	SHELF SHELVING SINGLE HUNG WINDOW
FLR	FLOOR FLOORING	SLM	SIMILAR
FD	FLOOR DRAIN	SL	SLIDING WINDOW
FLUOR	FLUORESCENT	SC	SOLID CORE
FTG	FOOTING	SPKR	SPEAKER
FND	FOUNDATION	SPEC	SPECIFICATIONS
FUR	FURR FURRED FURRING	SQ	SQUARE
GA	GAUGE	STD	STANDARD
GDO	GARAGE DOOR OPENER	STL	STEEL
GFI	GROUND FAULT CIRCUIT	STOR.	STORAGE
GFI/MP	GROUND FAULT CIRCUIT-WEATHER PROOF	STRUCT	STRUCTURAL
GL	GLASS GLAZING	TEL	TELEPHONE
GYP BD	GYPSPUM WALLBOARD DRYWALL	TV	TELEVISION
HDW	HARDWARE	THR	THRESHOLD
HDR	HEADER	T&G	TONGUE AND GROOVED
HVAC	HEATING-VENTILATING-AIR CONDITIONING	TOC	TOP OF CONCRETE
HGT	HEIGHT	TOF	TOP OF FOUNDATION
HC	HOLLOW CORE	TPP	TYPICAL
HORIZ	HORIZONTAL	UNF	UNFINISHED
HB	HOSE BIBB	UNO	UNLESS NOTED OTHERWISE
INSUL	INSULATE INSULATED INSULATION	VERT	VERTICAL
INT	INTERIOR	WH	WATER HEATER
JT	JOINT	WC	WATER CLOSET
JST	JOIST	WN	WINDOW
KIT	KITCHEN	W/	WITH
LAV	LAVATORY	W/O	WITHOUT
LT	LIGHT	WD	WOOD
LNTL	LINTEL	WI	WROUGHT IRON
LVR	LOUVER		
MFR	MANUFACTURE MANUFACTURER		

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

Pulte Central Zone
 1901 North Roselle Road, Suite 1000
 Schaumburg, Illinois 60195



General Notes
 Central Zone
 Zone Base Plans

PRODUCTION MANAGER
 Andy Kunz
 INITIAL RELEASE DATE:
 09/30/2014
 CURRENT RELEASE DATE:
 09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING
LEFT

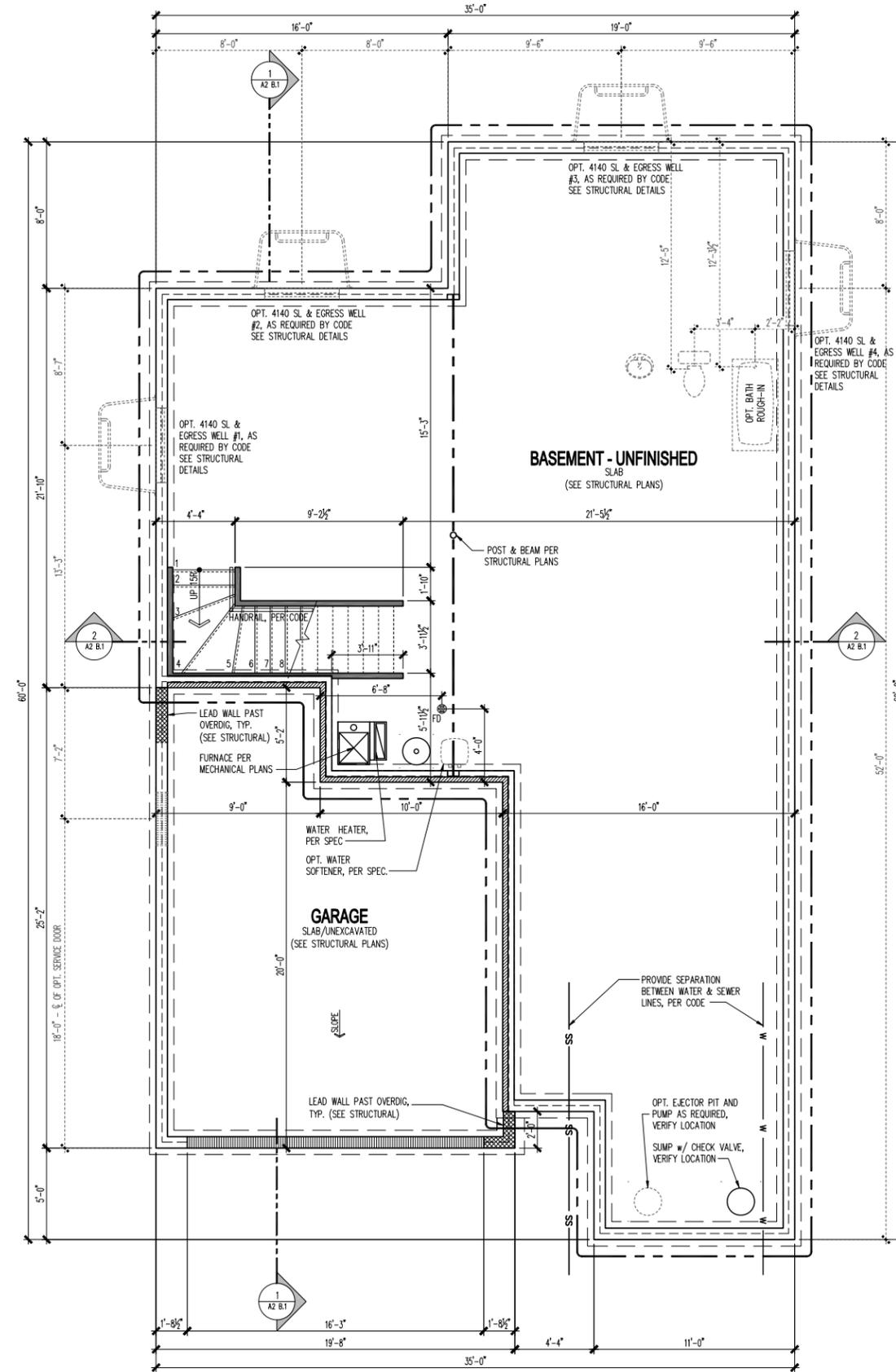
PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID

SHEET
 CZ
 0.2

FOUNDATION NOTES

GENERAL SPECIFICATIONS

- WHERE DISCREPANCIES BETWEEN SOILS REPORT AND STRUCTURAL DRAWINGS OCCUR, CONTACT THE STRUCTURAL ENGINEER.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- SURFACE WATER TO DRAIN AWAY FROM STRUCTURE. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET (2% FOR IMPERVIOUS SURFACES) IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
- GARAGE SLAB SHALL SLOPE A MIN. OF 2" AWAY FROM STRUCTURE.
- CONCRETE SToops AND PORCH/PATIO SLABS SHALL SLOPE A MIN. OF 1/4" PER FOOT AWAY FROM STRUCTURE.
- PROVIDE 4" LEDGE UNDER MASONRY AS INDICATED BY STRUCTURAL DRAWINGS.
- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



BASEMENT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



Basement Foundation Plan

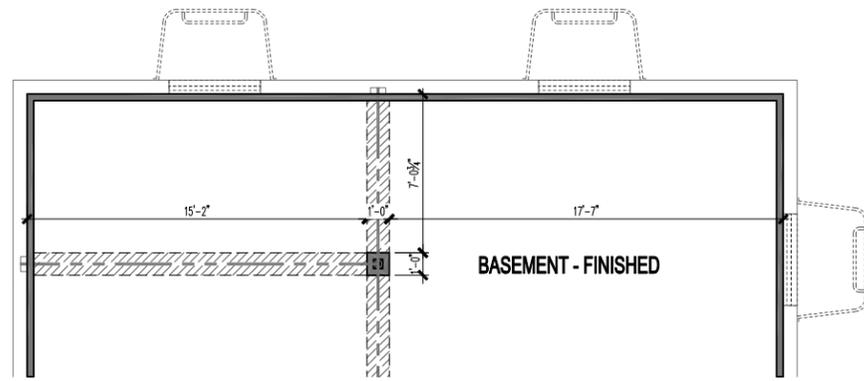
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INITIAL RELEASE DATE:	09/30/2014
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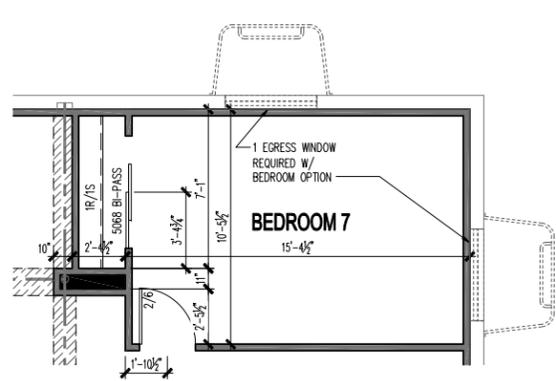
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WOODWARD
NPC PLAN NUMBER
1959
LAWSON PLAN ID
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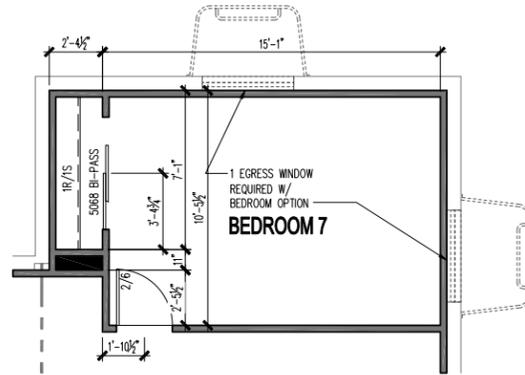
FINISHED BASEMENT w/ SUNROOM OPTION

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



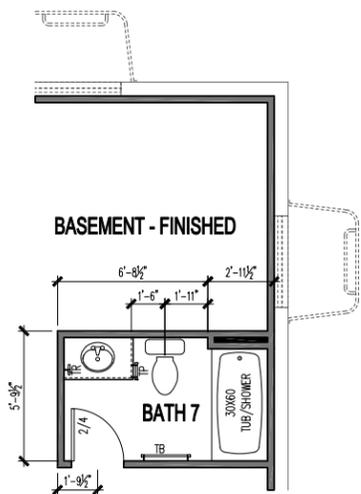
BEDROOM 7 OPTION w/ SUNROOM

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



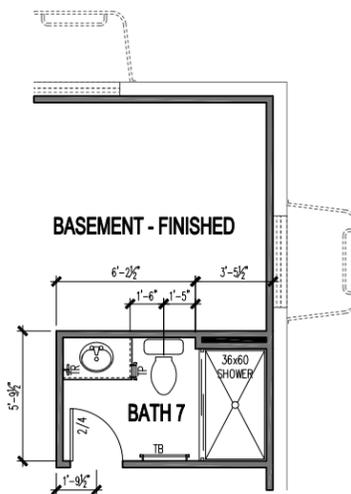
BEDROOM 7 OPTION

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



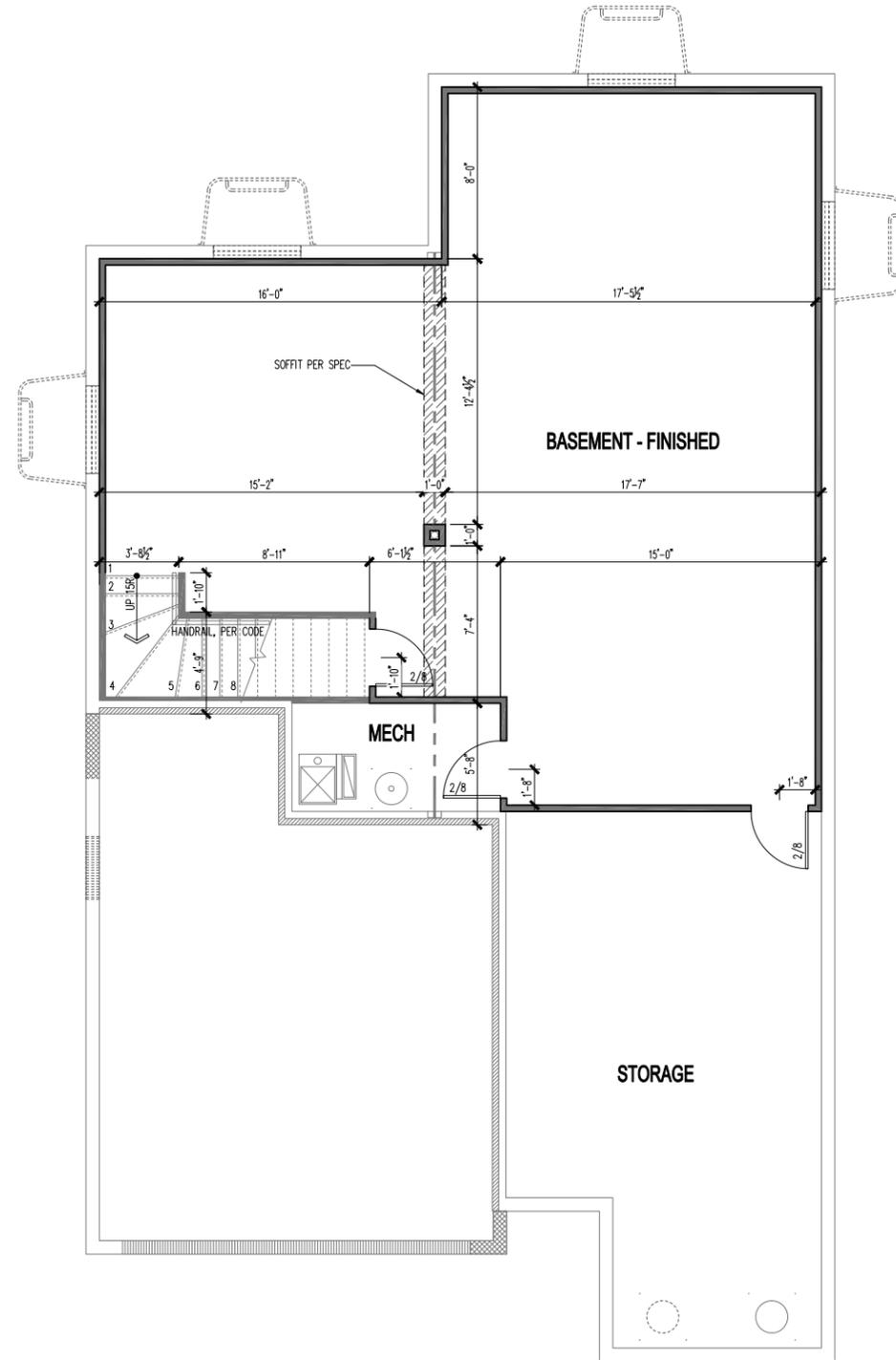
BATH 7 OPTION

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



BATH 7 w/ SHOWER OPTION

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN

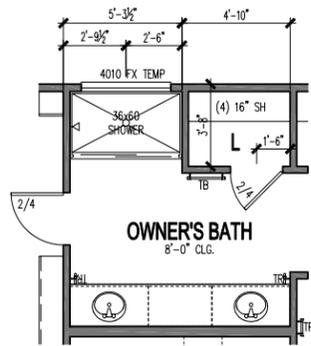


FINISHED BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

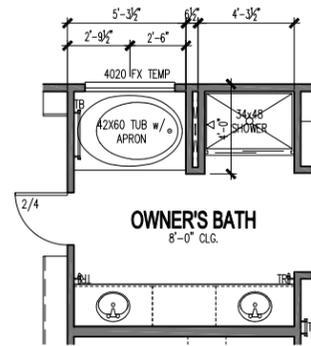
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GARAGE HANDING	
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PLAN NAME	
WOODWARD	
NPC PLAN NUMBER	
1959	
LAWSON PLAN ID	
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NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



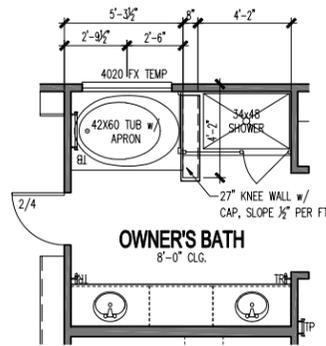
OWNER'S BATH 1 OPTION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



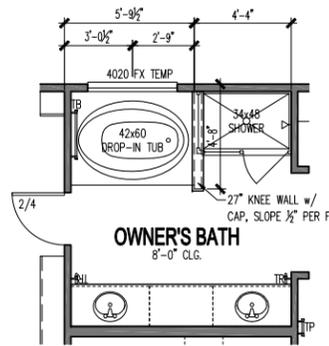
OWNER'S BATH 2 OPTION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



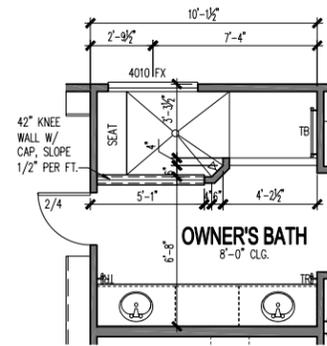
OWNER'S BATH 3 OPTION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



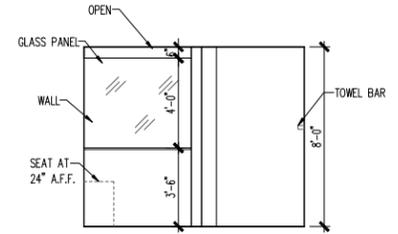
OWNER'S BATH 4 OPTION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



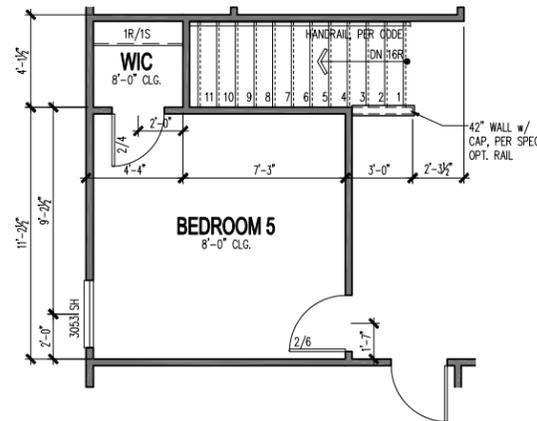
OWNER'S BATH 5 OPTION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



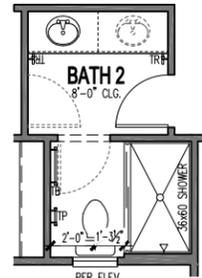
OPT. OWNER'S BATH 5 ELEVATION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



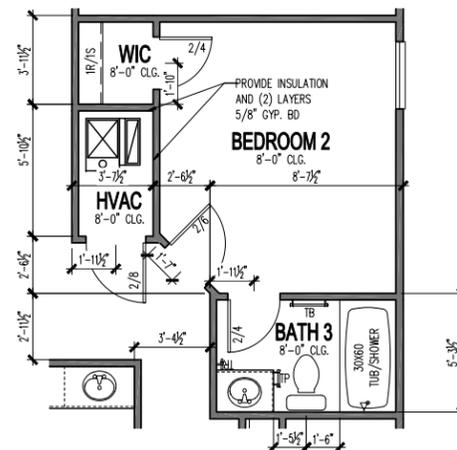
BEDROOM 5 OPTION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



BATH 2 w/ SHOWER OPTION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



BATH 3 OPTION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



STORAGE w/ BASEMENT OPTION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN

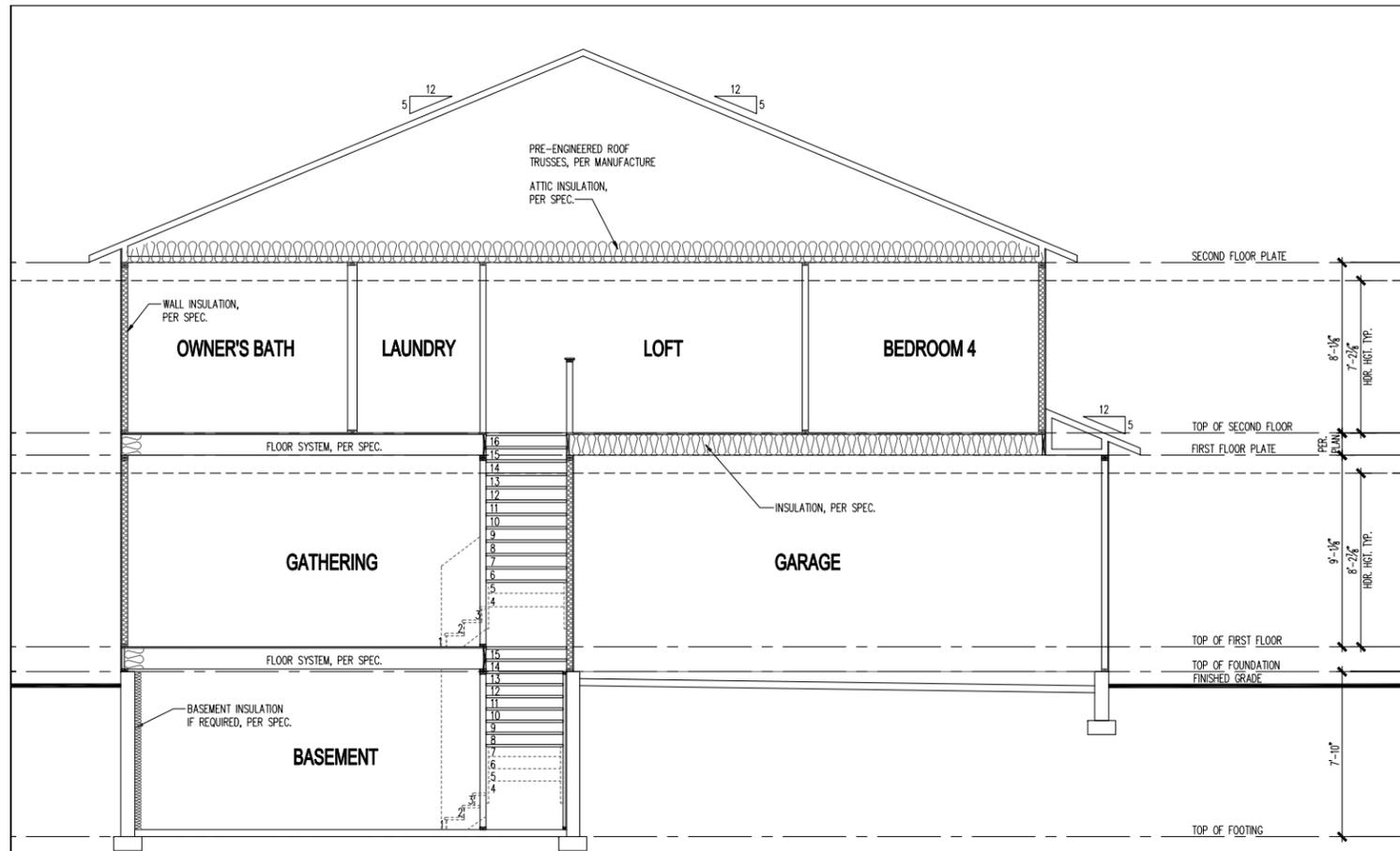
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GARAGE HANDING
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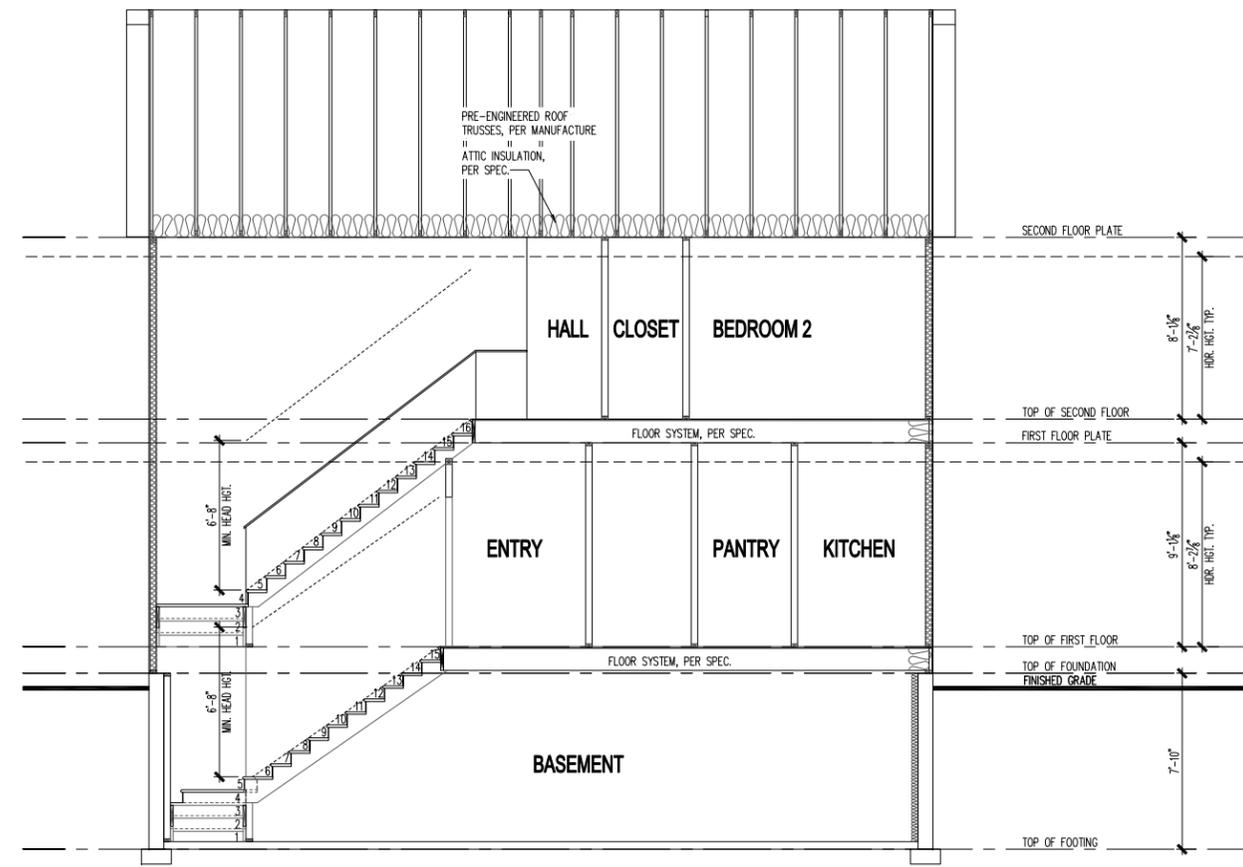
PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID

SHEET
 A1
 4-2.2

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



2 BASEMENT BUILDING SECTION 2
SCALE: 1/4" = 1'-0"



1 BASEMENT BUILDING SECTION 1
SCALE: 1/4" = 1'-0"

Pulte Central Zone
1901 North Roselle Road, Suite 1000
Schaumburg, Illinois 60195



Building Sections 1 and 2
Basement Foundation

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

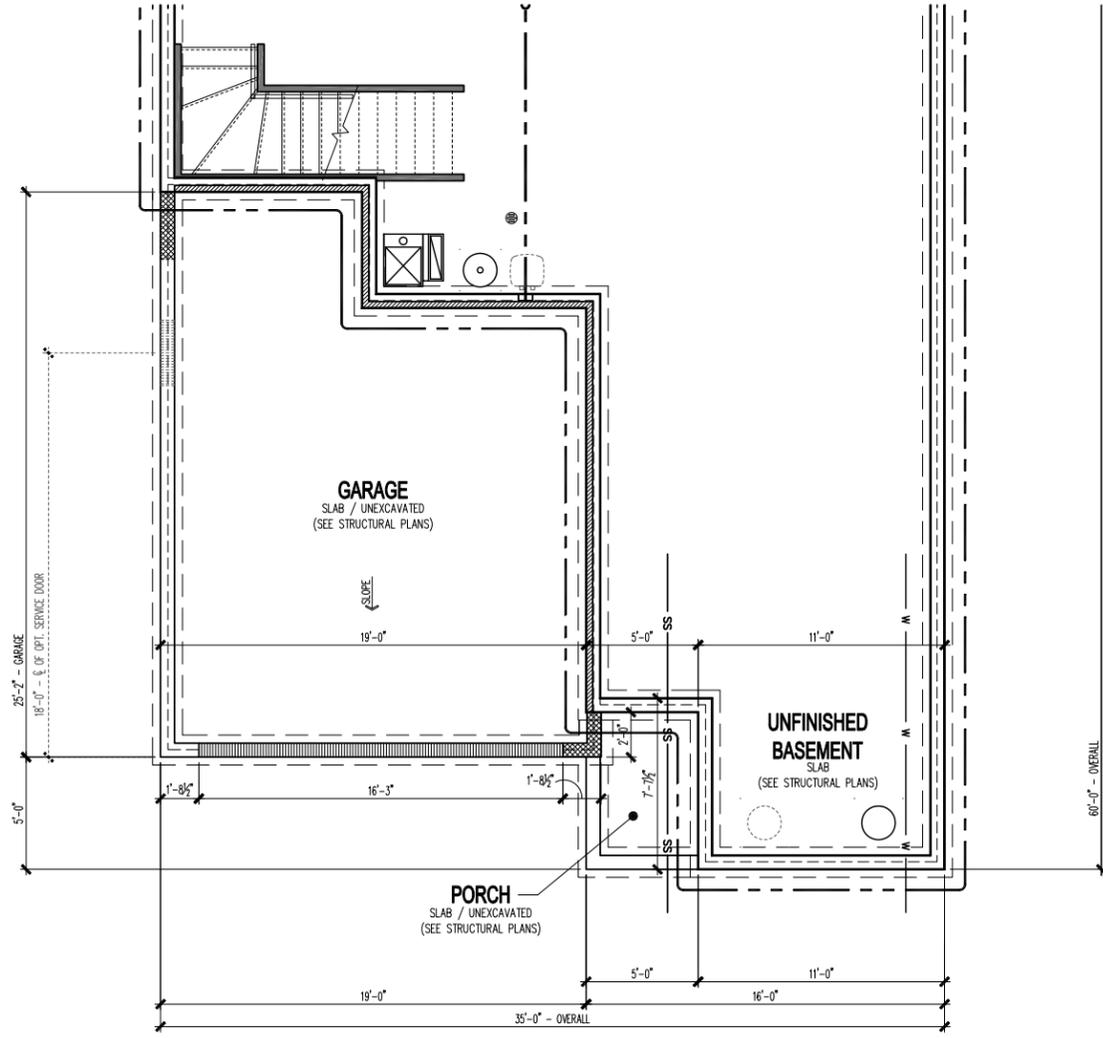
PRODUCTION MANAGER
Andy Kunz
INITIAL RELEASE DATE:
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CURRENT RELEASE DATE:
09/30/2014

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GARAGE HANDING
LEFT

PLAN NAME
WOODWARD
NPC PLAN NUMBER
1959
LAWSON PLAN ID
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A2
B.1



BASEMENT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



Elevation 1 - Basement
 2 Car Front Entry
 Partial Foundation Plan

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER
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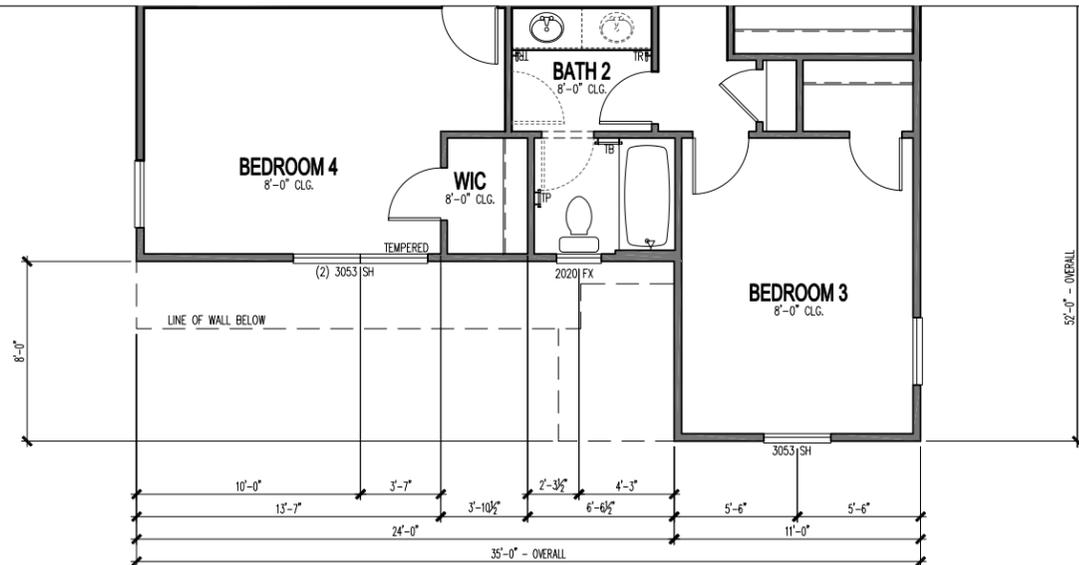
GARAGE HANDING
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PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID
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A3-1-MO1
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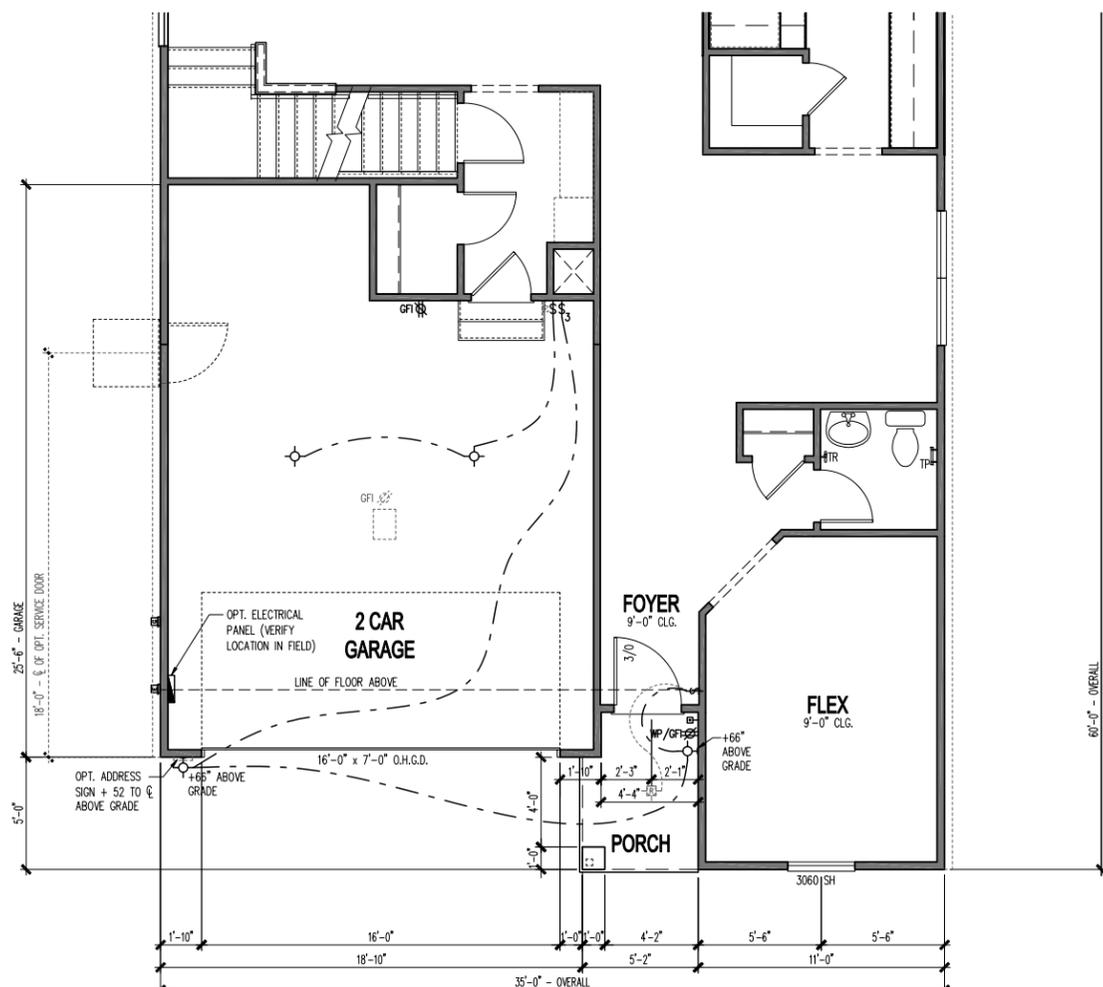
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TOTAL BASE HEATED	2996
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WOOD DECK	128
WOOD DECK W/ SUNROOM	160
CONCRETE PATIO	128
CONCRETE PATIO W/ SUNROOM	160
3 CAR FRONT GARAGE	200

ELEVATION 1	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1401
ADDITIONAL 2ND FLOOR - HEATED	0
TOTAL 2ND FLOOR	1595
TOTAL ELEV. HEATED	2996
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	442
ADDITIONAL HOUSE SLAB	0
TOTAL HOUSE SLAB	1401
FRONT PORCH	35
TOTAL ELEV. FOOTPRINT	1878



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN

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Pulte Central Zone
1901 North Roselle Road, Suite 1000
Schaumburg, Illinois 60195



Elevation 1
2 Car Front Entry
Partial Floor and Utility Plans

PRODUCTION MANAGER
Andy Kunz
INITIAL RELEASE DATE:
09/30/2014
CURRENT RELEASE DATE:
09/30/2014

REV #	DATE	DESCRIPTION

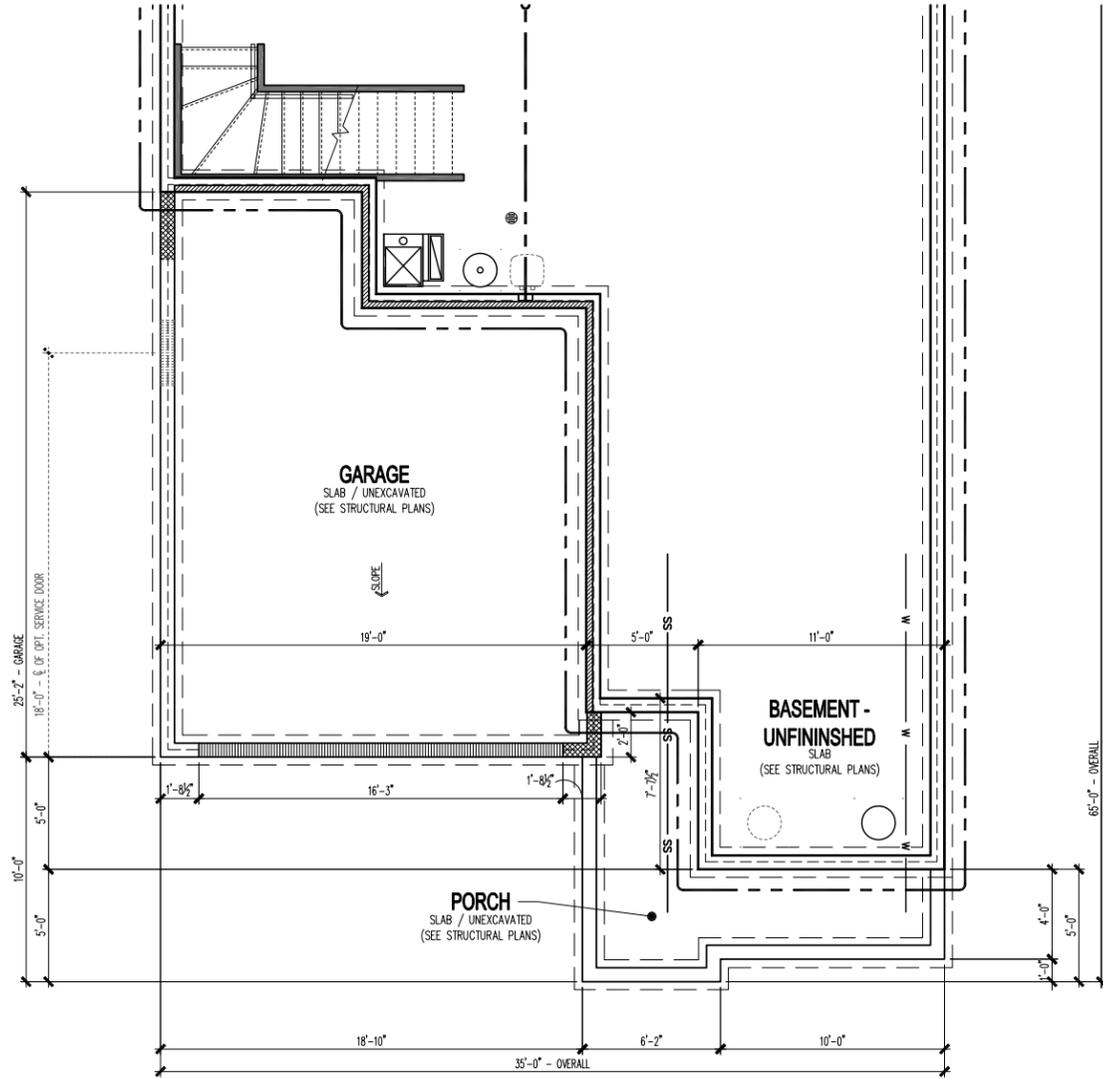
GARAGE HANDING
LEFT

PLAN NAME
WOODWARD
NPC PLAN NUMBER
1959
LAWSON PLAN ID
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SHEET
A3-1-MO1
2FB4.3

PLOTTED: January 30, 2015 / SouthernDesigns / 1959-WOODWARD-MO-WWD-EL01.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



BASEMENT FOUNDATION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



Elevation 2 - Basement
 2 Car Front Entry
 Partial Foundation Plan

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER
 Andy Kunz
 INITIAL RELEASE DATE:
 09/30/2014
 CURRENT RELEASE DATE:
 09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING
LEFT

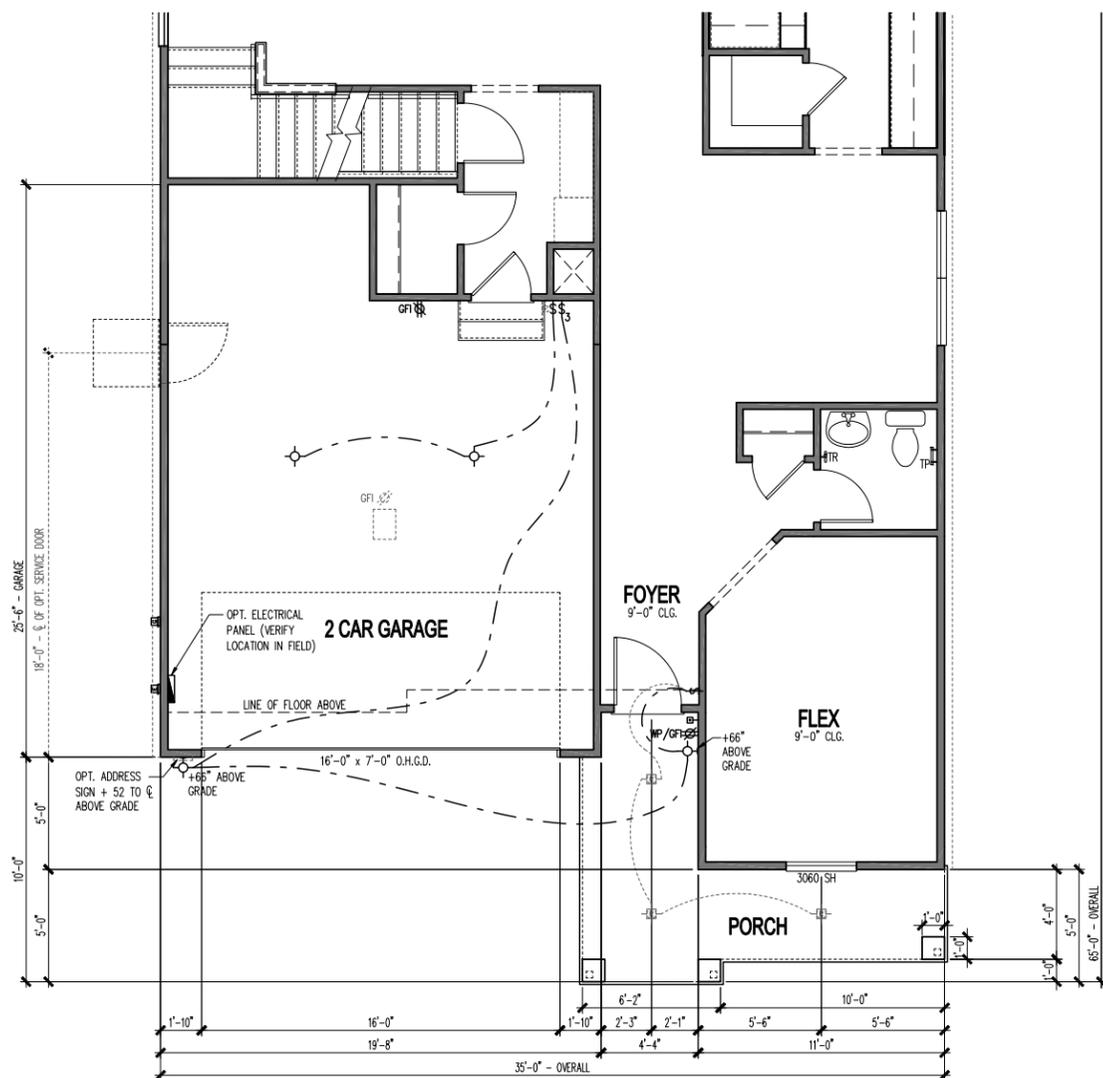
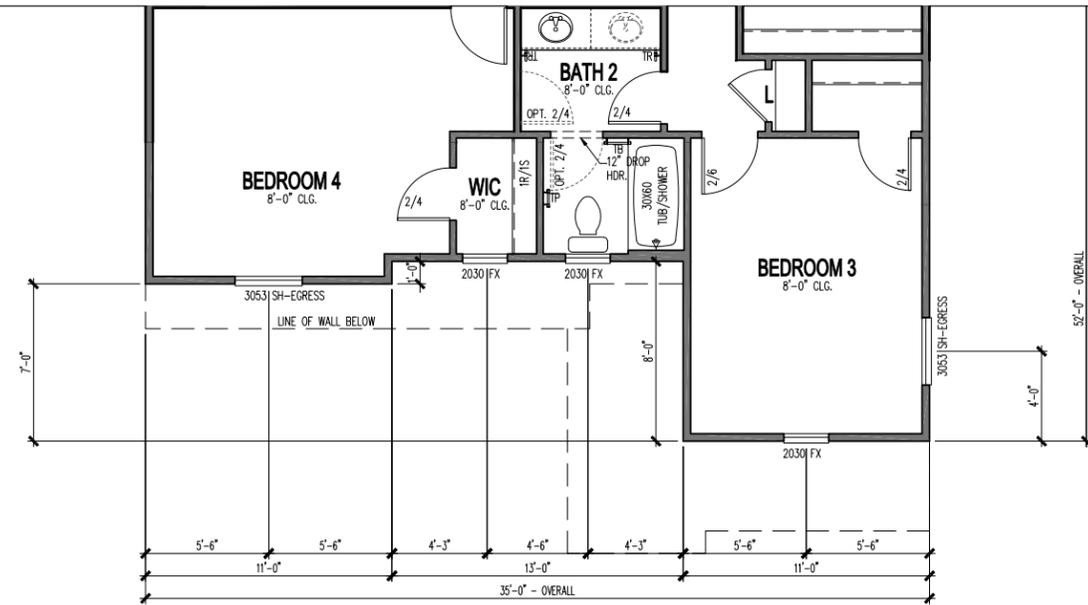
PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID
 --

SHEET
A3-2-MO1
 2FB4.2

SCHEDULE of AREAS	
BASE HOUSE - HEATED	
FIRST FLOOR	1401
SECOND FLOOR	1595
TOTAL BASE HEATED	2996
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	442
HOUSE SLAB	1401
TOTAL BASE UNDER ROOF	1843
BASE OPTIONS - HEATED	
SUNROOM	128
MODERN FIREPLACE	18
OWNER'S RETREAT	152
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	915
PARTIAL FINISHED BASEMENT	840
CRAWL	325
MECHANICAL W/ FINISHED BASEMENT	49
STORAGE W/ FINISHED BASEMENT	334
MECHANICAL W/ PARTIAL FINISHED BASEMENT	125
FINISHED BASEMENT BEDROOM 7	185
FINISHED BASEMENT BATH 7	59
ADDITIONAL AREA W/ SUNROOM	128
FINISHED BASEMENT BEDROOM 7 W/ SUNROOM	186
BASE OPTIONS	
BASEMENT	1298
CRAWL	1298
PARTIAL BASEMENT	965
CRAWL	325
GARAGE CRAWL	399
BASEMENT / SUNROOM	128
CRAWL / SUNROOM	128
SLAB / SUNROOM	128
COVERED PORCH	128
COVERED PORCH W/ FIREPLACE	128
WOOD DECK	128
WOOD DECK W/ SUNROOM	160
CONCRETE PATIO	128
CONCRETE PATIO W/ SUNROOM	160
3 CAR FRONT GARAGE	200

LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 4	167.00	13.36	6.68	23.40	10.00

** REFER TO LIGHT & VENT SCHEDULE ON COVER SHEET FOR INFORMATION NOT SHOWN HERE.



Pulte Central Zone
1901 North Roselle Road, Suite 1000
Schaumburg, Illinois 60195



Elevation 2
2 Car Front Entry
Partial Floor and Utility Plans

PRODUCTION MANAGER	Andy Kunz
INITIAL RELEASE DATE:	09/30/2014
CURRENT RELEASE DATE:	09/30/2014

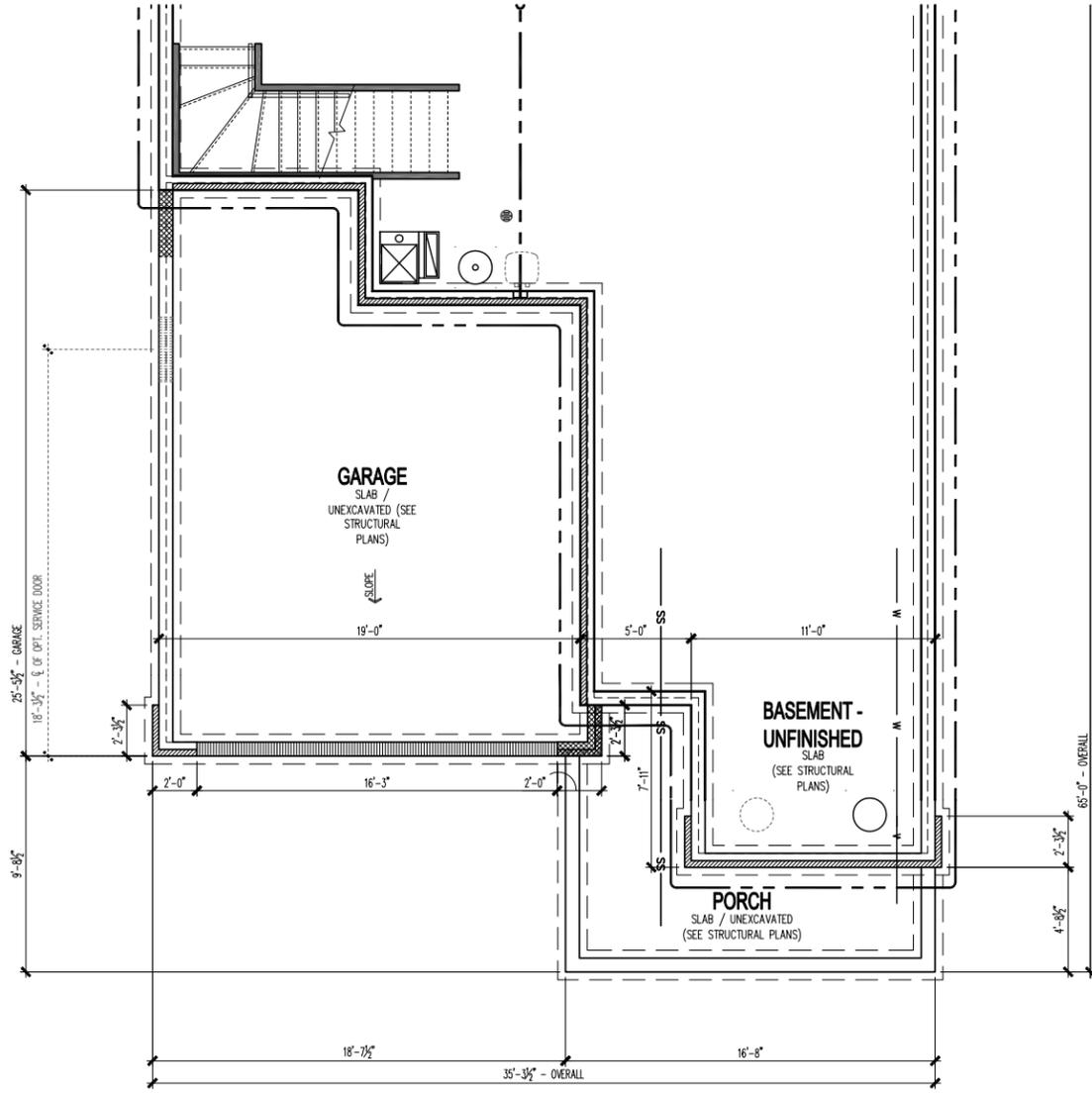
REV #	DATE	DESCRIPTION

GARAGE HANDING
LEFT

PLAN NAME
WOODWARD
NPC PLAN NUMBER
1959
LAWSON PLAN ID

SHEET
A3-2-MO1
2FB4.3

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



BASEMENT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
NOTE: SEE BASE PLANS FOR INFORMATION NOT SHOWN

Pulte Central Zone
1901 North Roselle Road, Suite 1000
Schaumburg, Illinois 60195



Elevation 4 - Basement
2 Car Front Entry
Partial Foundation Plan

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

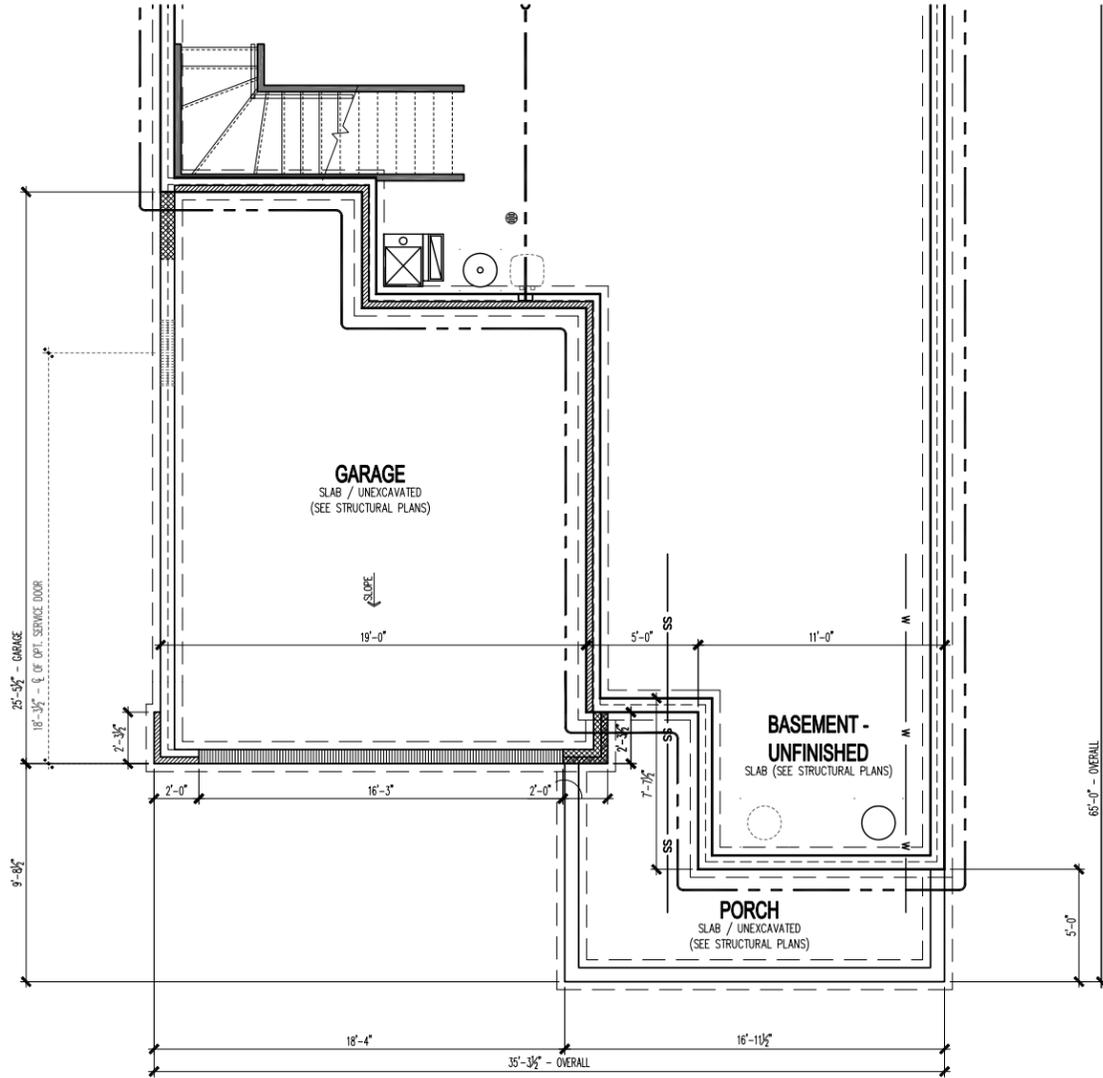
PRODUCTION MANAGER
Andy Kunz
INITIAL RELEASE DATE:
09/30/2014
CURRENT RELEASE DATE:
09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING
LEFT

PLAN NAME
WOODWARD
NPC PLAN NUMBER
1959
LAWSON PLAN ID
--

SHEET
A3-4-MO1
2FB4.2



BASEMENT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER
 Andy Kunz
 INITIAL RELEASE DATE:
 09/30/2014
 CURRENT RELEASE DATE:
 09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING
LEFT

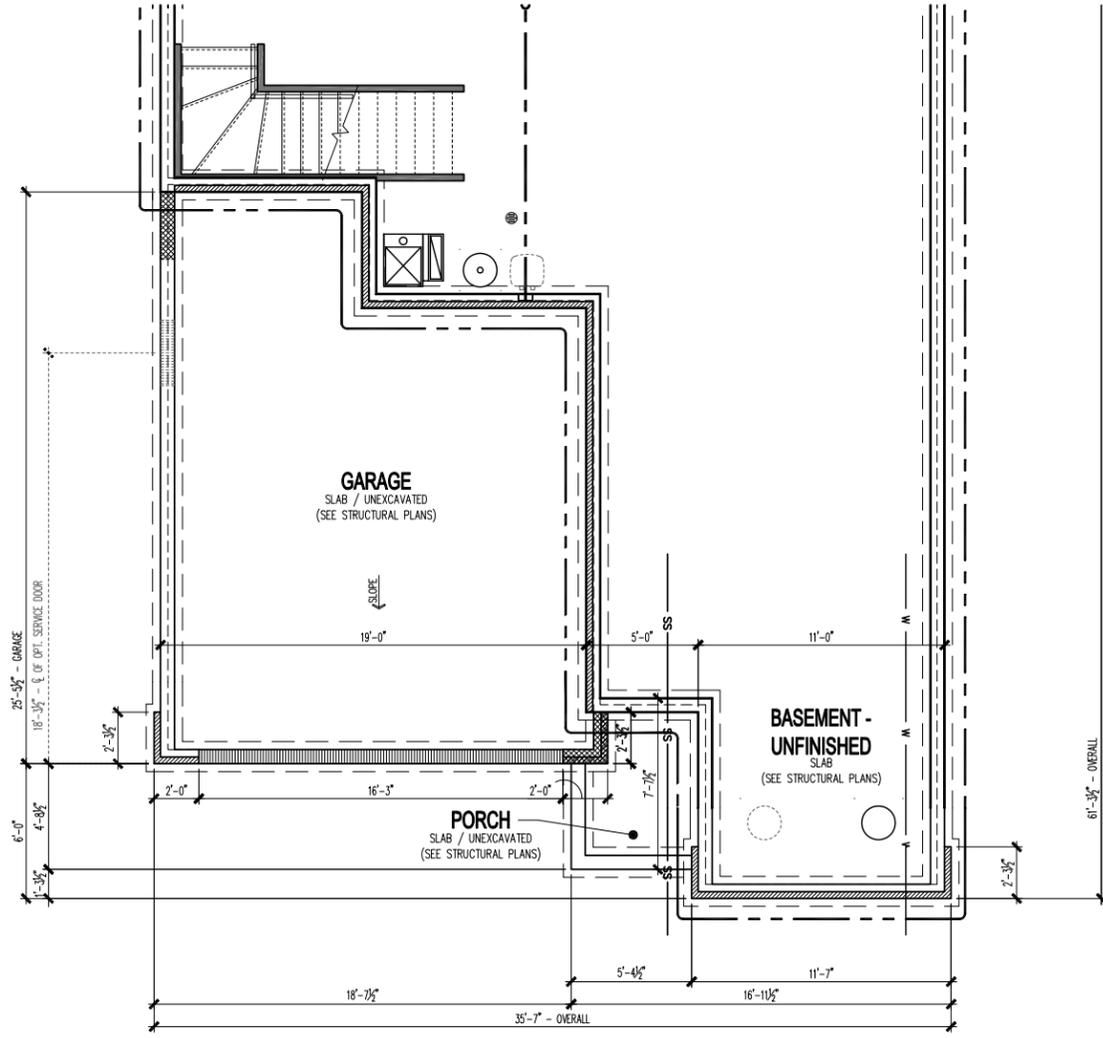
PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID
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SHEET
A3-5-MO1
2FB4.2

Elevation 5 - Basement
 2 Car Front Entry
 Partial Foundation Plan



Pulte Central Zone
 1901 North Roselle Road, Suite 1000
 Schaumburg, Illinois 60195



BASEMENT FOUNDATION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



Elevation 6 - Basement
 2 Car Front Entry
 Partial Foundation Plan

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER
 Andy Kunz
 INITIAL RELEASE DATE:
 09/30/2014
 CURRENT RELEASE DATE:
 09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING
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PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID
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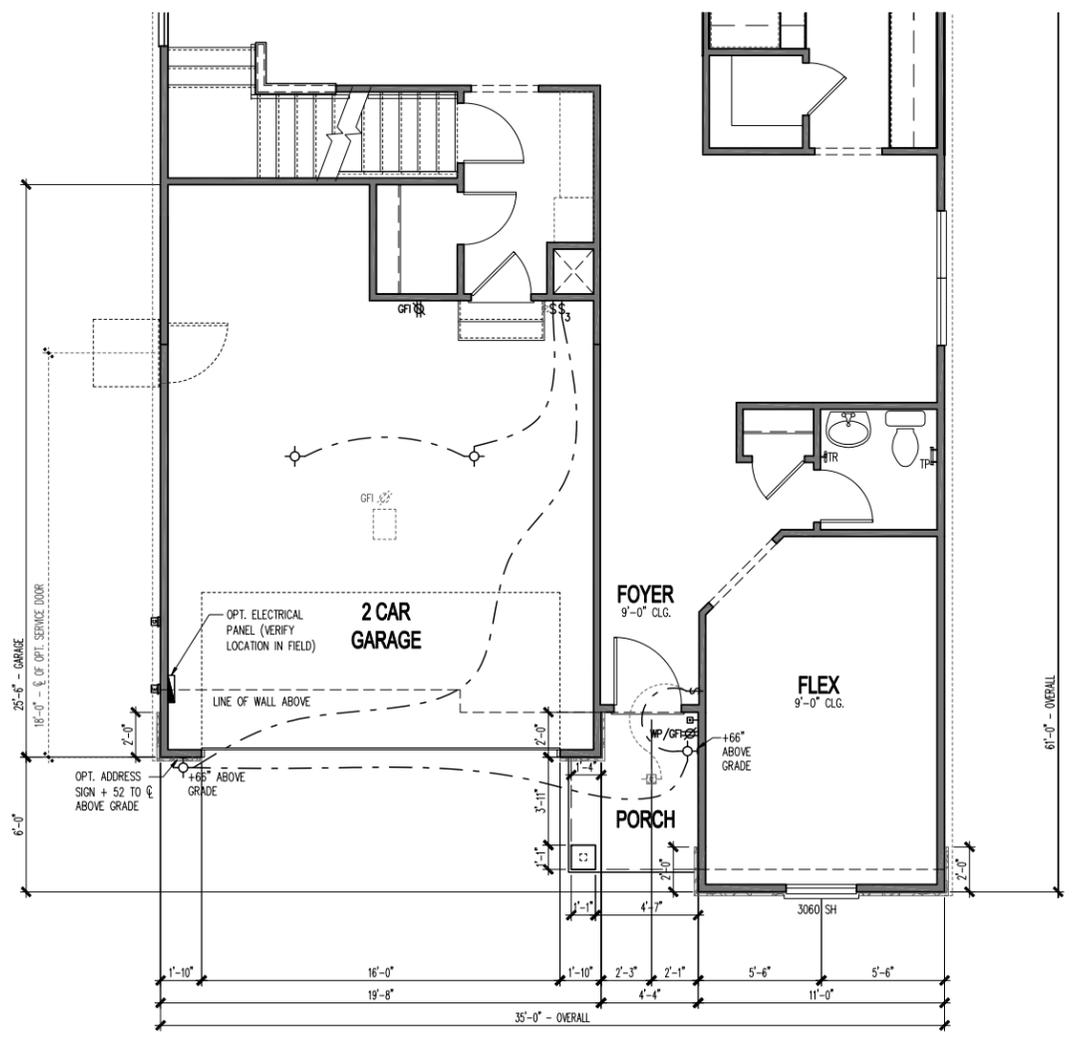
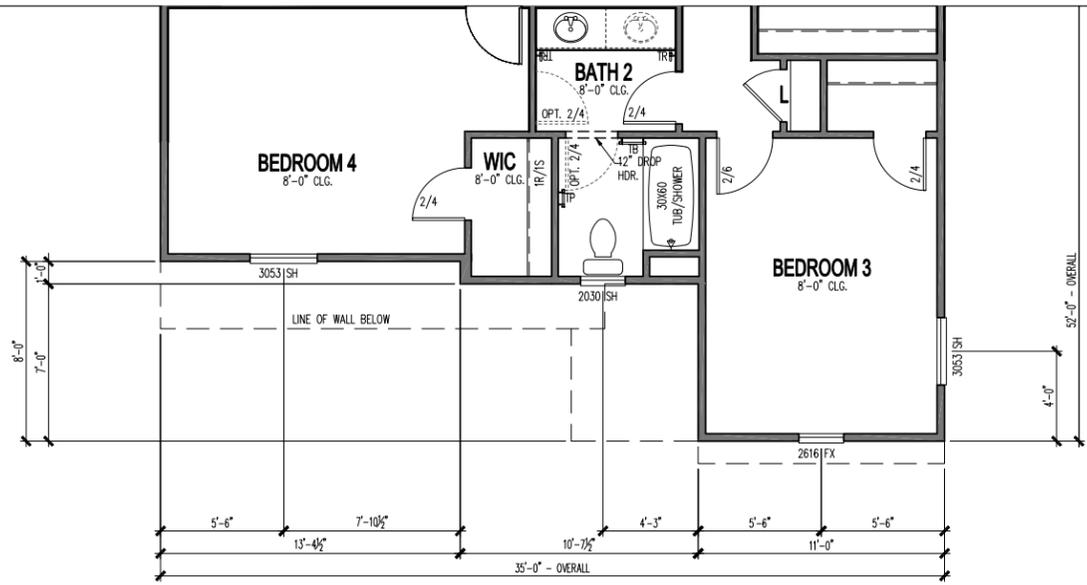
SHEET
A3-6-MO1
2FB4.2

PLOTTED: January 30, 2015 / SouthernDesigns / 1959-WOODWARD-MO-WD1-EL06.DWG

SCHEDULE of AREAS	
BASE HOUSE - HEATED	
FIRST FLOOR	1401
SECOND FLOOR	1595
TOTAL BASE HEATED	2996
BASE HOUSE - UNDER ROOF	
GARAGE - 2 CAR FRONT ENTRY	442
HOUSE SLAB	1401
TOTAL BASE UNDER ROOF	1843
BASE OPTIONS - HEATED	
SUNROOM	128
MODERN FIREPLACE	18
OWNER'S RETREAT	152
FINISHED BASEMENT OPTIONS	
FINISHED BASEMENT	915
PARTIAL FINISHED BASEMENT	840
CRAWL	325
MECHANICAL W/ FINISHED BASEMENT	49
STORAGE W/ FINISHED BASEMENT	334
MECHANICAL W/ PARTIAL FINISHED BASEMENT	125
FINISHED BASEMENT BEDROOM 7	185
FINISHED BASEMENT BATH 7	59
ADDITIONAL AREA W/ SUNROOM	128
FINISHED BASEMENT BEDROOM 7 W/ SUNROOM	186
BASE OPTIONS	
BASEMENT	1298
CRAWL	1298
PARTIAL BASEMENT	965
CRAWL	325
GARAGE CRAWL	399
BASEMENT / SUNROOM	128
CRAWL / SUNROOM	128
SLAB / SUNROOM	128
COVERED PORCH	128
COVERED PORCH W/ FIREPLACE	128
WOOD DECK	128
WOOD DECK W/ SUNROOM	160
CONCRETE PATIO	128
CONCRETE PATIO W/ SUNROOM	160
3 CAR FRONT GARAGE	200

LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 3	130.00	10.40	5.20	11.70	5.00 + MECH.
BEDROOM 4	157.00	12.56	6.28	23.40	10.00

** REFER TO LIGHT & VENT SCHEDULE ON COVER SHEET FOR INFORMATION NOT SHOWN HERE.



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Schaumburg, Illinois 60195



Elevation 6
2 Car Front Entry
Partial Floor and Utility Plans

PRODUCTION MANAGER
Andy Kunz
INITIAL RELEASE DATE:
09/30/2014
CURRENT RELEASE DATE:
09/30/2014

REV #	DATE	DESCRIPTION

GARAGE HANDING
LEFT

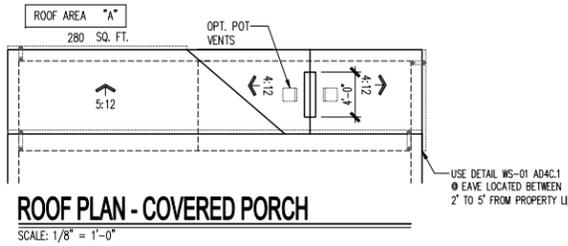
PLAN NAME
WOODWARD
NPC PLAN NUMBER
1959
LAWSON PLAN ID

SHEET
A3-6-MO1
2FB4.3

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ELEVATION 1						
ROOF AREA "A"	SO FIG	280	AT / NEAR RIDGE	AT / NEAR EAVE	AT / NEAR EAVE	AT / NEAR EAVE
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	POT RANGE (SQ. IN. RANGE)	RIDGE VENT (SQ. IN. RANGE)	EAVE VENT (SQ. IN. RANGE)	COMB. VENT (SQ. IN. RANGE)
POT VENTS ONLY	0.37 - 0.47	0.56	47.88	0	0	0
AD EAVE	0.56 - 0.47	0.43	52.98	0	0	0
TOTAL (MIN)	0.93 - 0.93	1.18	100.00	0	0	0
ROOF VENT	0.37 - 0.47	0.56	44.41	0	4.00	0
AD EAVE	0.56 - 0.47	0.43	55.54	0	0	0
TOTAL (MIN)	0.93 - 0.93	1.13	100.00	0	4.00	0

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
 * CONTRACTORS REGARDING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS.
 * SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50% OF TOTAL AND RIDGE AT 40% OF TOTAL REQUIRED VENTILATION.



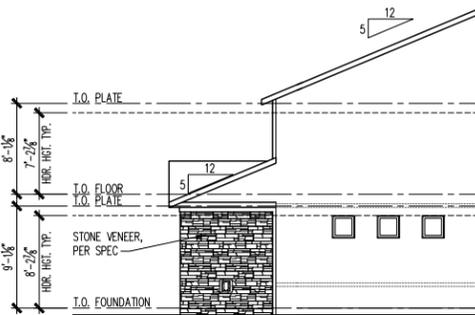
ROOF PLAN - COVERED PORCH

SCALE: 1/8" = 1'-0"



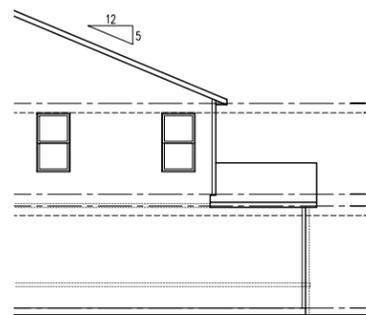
REAR ELEV - COVERED PORCH w/ FIREPLACE

SCALE: 1/8" = 1'-0"



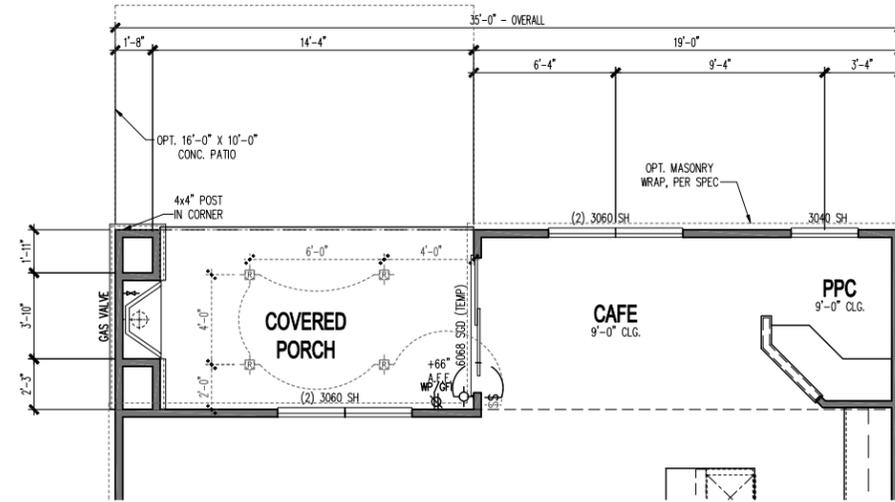
LEFT ELEV - COVERED PORCH w/ FIREPLACE

SCALE: 1/8" = 1'-0"



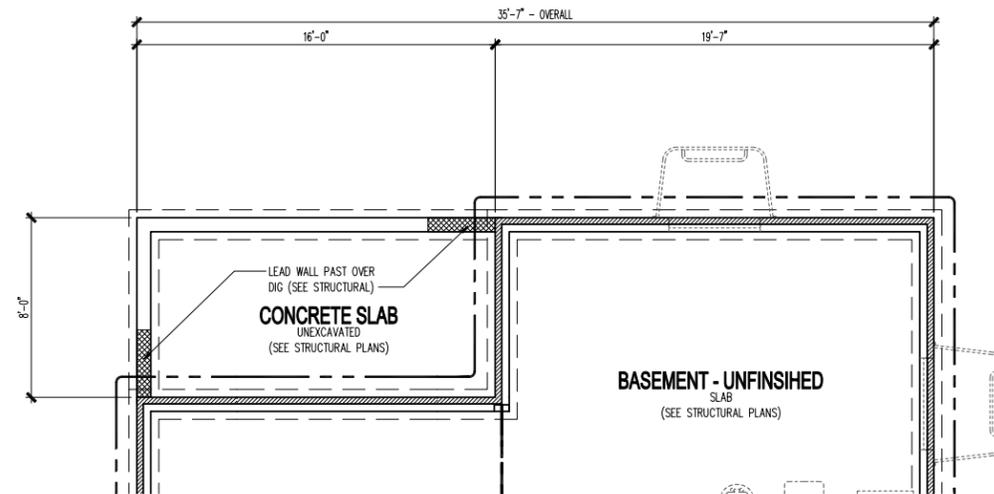
RIGHT ELEV - COVERED PORCH w/ FIREPLACE

SCALE: 1/8" = 1'-0"



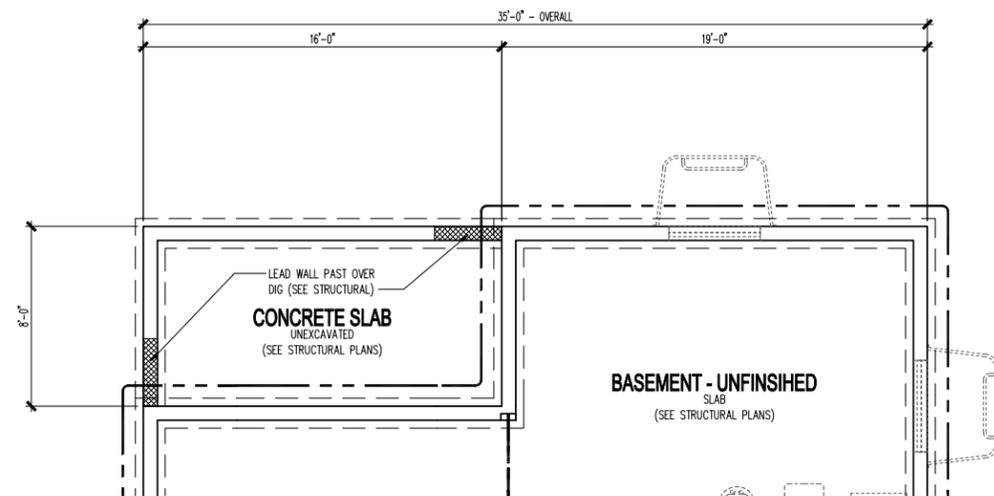
FIRST FLOOR PLAN - COVERED PORCH w/ FIREPLACE - 4" WALLS

SCALE: 1/4" = 1'-0"



IN-GRADE FOUNDATION PLAN w/ MASONRY - COVERED PORCH w/ FIREPLACE

SCALE: 1/4" = 1'-0"



IN-GRADE FOUNDATION PLAN - COVERED PORCH w/ FIREPLACE

SCALE: 1/4" = 1'-0"

PLOTTED: September 30, 2014 / Mike Lee (Illinois) / 1959-WOODWARD-CZ-BASE-OPTS.DWG

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Pulte Central Zone
 1901 North Roselle Road, Suite 1000
 Schaumburg, Illinois 60195



Covered Porch w/ Fireplace - 4" Walls
 Floor, Foundation, Utility Plans and Elevations
 In-Grade Foundation

PRODUCTION MANAGER
 Andy Kunz
 INITIAL RELEASE DATE:
 09/30/2014
 CURRENT RELEASE DATE:
 09/30/2014

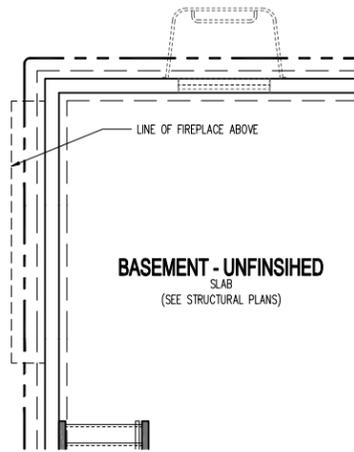
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GARAGE HANDING
LEFT

PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID

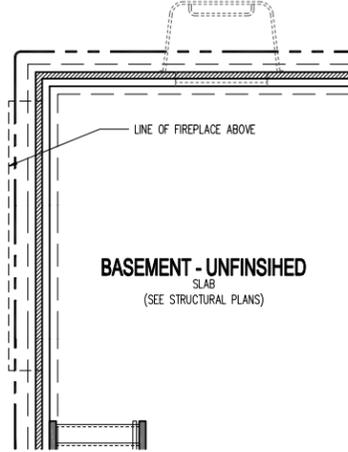
SHEET
A4
CPF4I.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



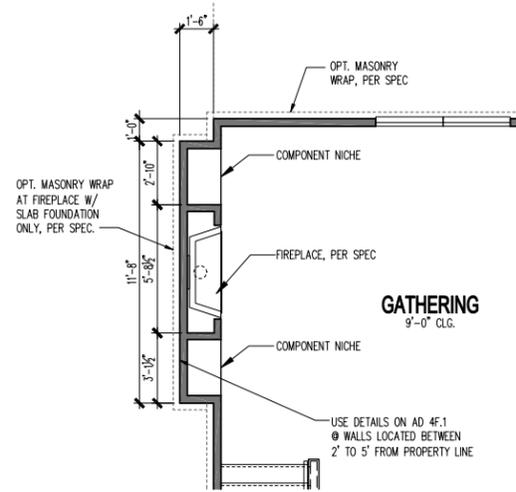
IN-GRADE FOUNDATION PLAN - MODERN FIREPLACE

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



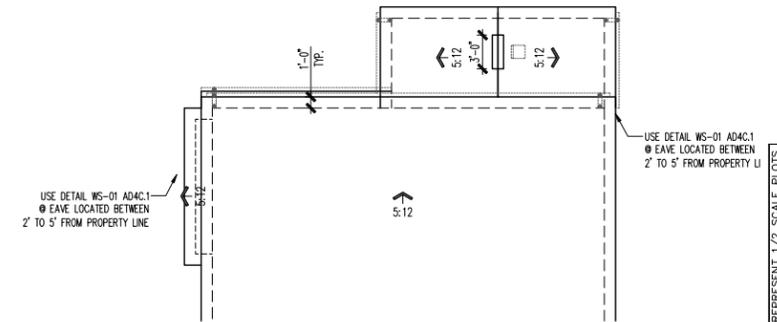
IN-GRADE FOUNDATION PLAN w/ MASONRY - MODERN FIREPLACE

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



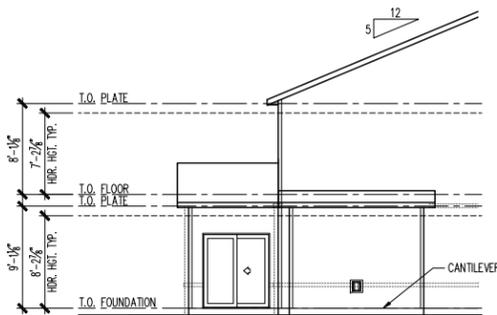
FIRST FLOOR PLAN - MODERN FIREPLACE OPTION - 4" WALLS

SCALE: 1/4" = 1'-0"
* SEE BASE PLANS FOR INFORMATION NOT SHOWN



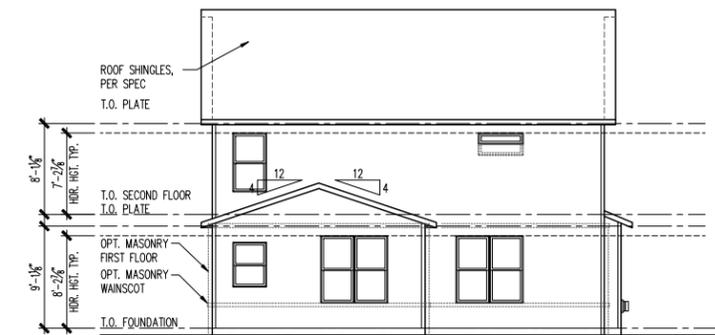
ROOF PLAN - MODERN FIREPLACE

SCALE: 1/8" = 1'-0"



LEFT ELEV - MODERN FIREPLACE

SCALE: 1/8" = 1'-0"



REAR ELEV - MODERN FIREPLACE

SCALE: 1/8" = 1'-0"

PRODUCTION MANAGER	Andy Kunz
INITIAL RELEASE DATE:	09/30/2014
CURRENT RELEASE DATE:	09/30/2014

REV #	DATE	DESCRIPTION

GARAGE HANDING
LEFT

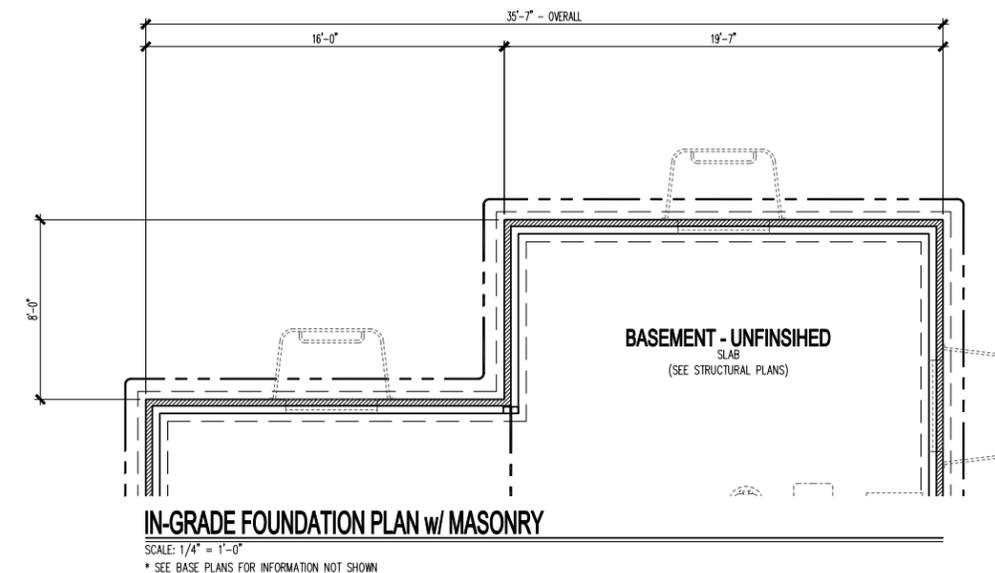
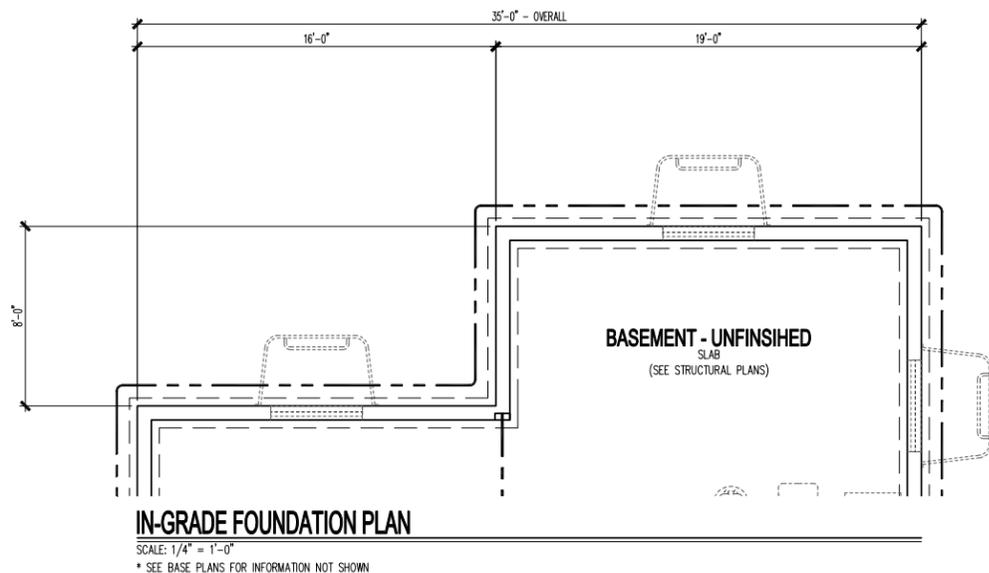
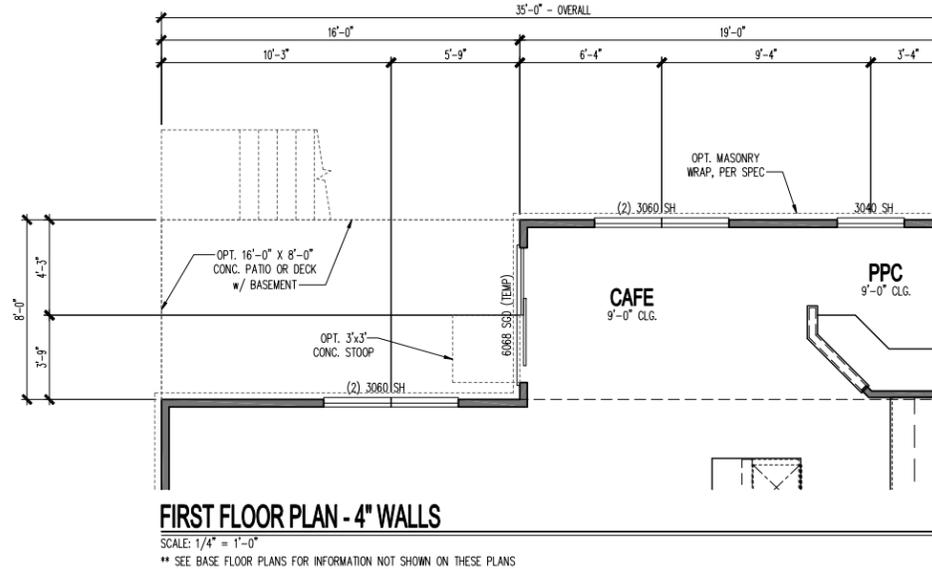
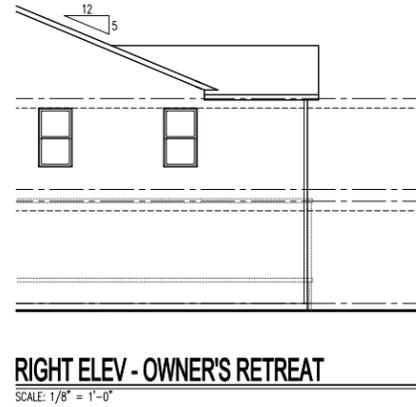
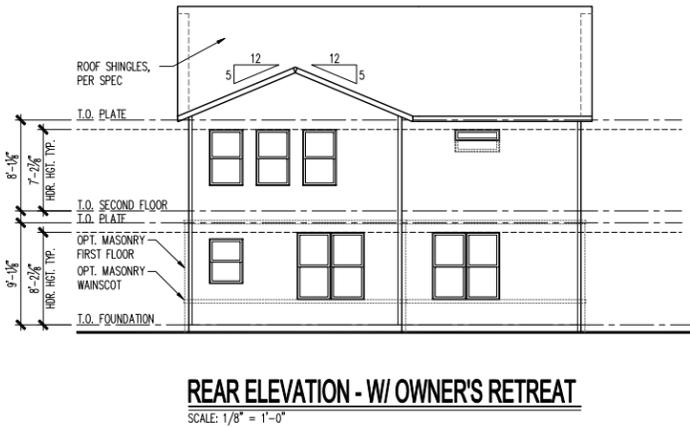
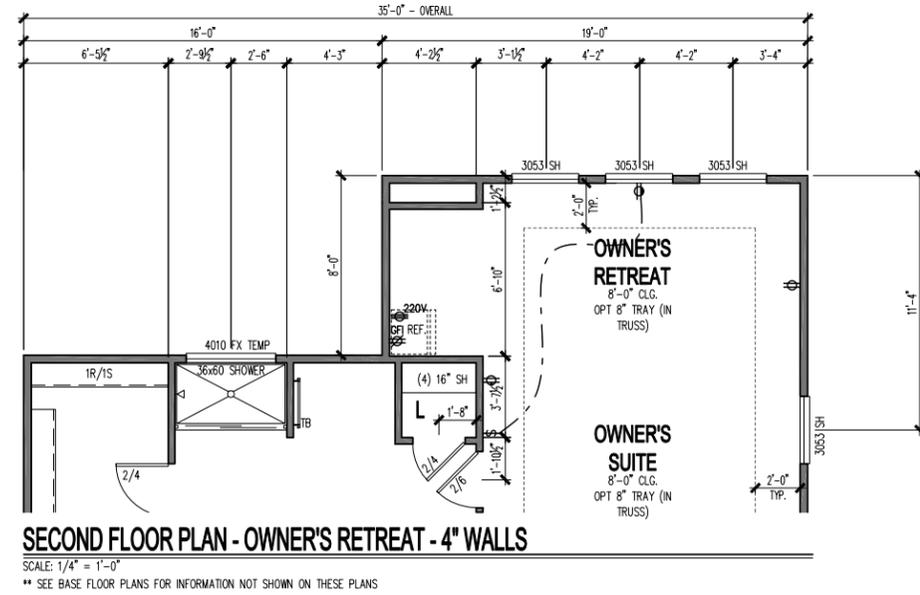
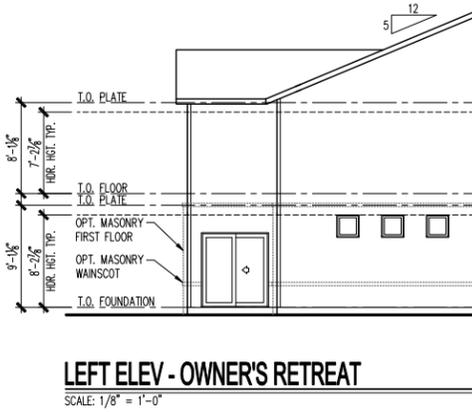
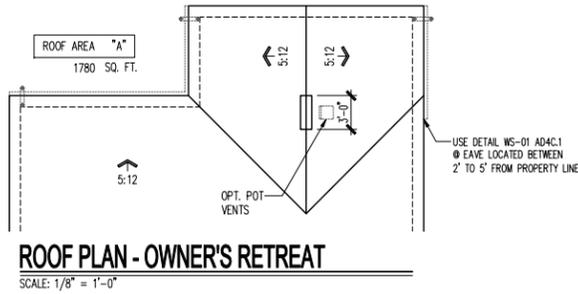
PLAN NAME
WOODWARD
NPC PLAN NUMBER
1959
LAWSON PLAN ID

SHEET
A4
MF41.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ATTIC VENT SCHEDULE									
ELEVATION 1									
ROOF AREA "A"		1780		AT / NEAR RIDGE		AT / NEAR EAVE			
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT. LARGE (SQ. IN. EACH)	POT. SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. PER FT.)	EAVE VENT (SQ. IN. PER FT.)	CONT. VENT (SQ. IN. PER FT.)	
POT VENTS ONLY	2.37 - 2.97	2.78	46.51	0	10				
AT EAVE	3.56 - 2.97	3.19	53.49				0	46.00	
TOTAL (MIN)	5.93 - 5.93	5.97	100.00						
RIDGE VENT	2.37 - 2.97	2.75	46.26	0	0	22.00			
AT EAVE	3.56 - 2.97	3.19	53.74				0	46.00	
TOTAL (MIN)	5.93 - 5.93	5.94	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE
 ** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
 * SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION



PLOTTED: September 30, 2014 / Mike Lee (Illinois) / 1959-WOODWARD-CZ-BASE-OPTS.DWG

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Pulte Central Zone
1901 North Roselle Road, Suite 1000
Schaumburg, Illinois 60195



Owner's Retreat - 4" Walls
Floor, Foundation, Utility Plans and Elevations
In-Grade Foundation

PRODUCTION MANAGER
Andy Kuntz
INITIAL RELEASE DATE:
09/30/2014
CURRENT RELEASE DATE:
09/30/2014

REV #	DATE	DESCRIPTION

GARAGE HANDING
LEFT

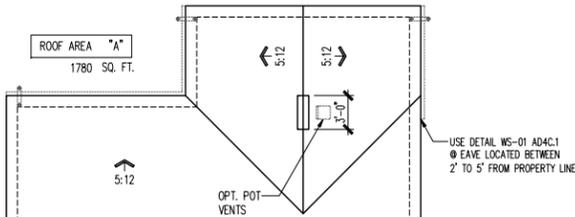
PLAN NAME
WOODWARD
NPC PLAN NUMBER
1959
LAWSON PLAN ID

SHEET
A4
OR41.1

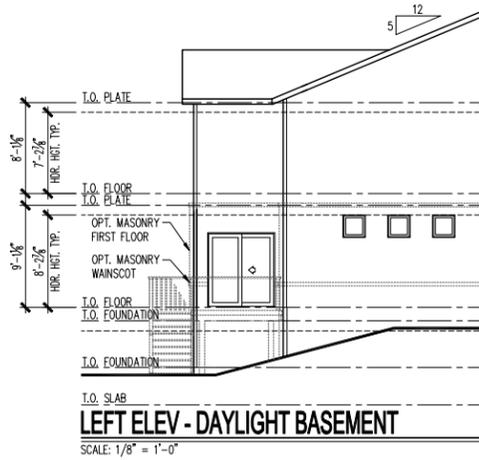
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ATTIC VENT SCHEDULE									
ELEVATION 1									
ROOF AREA "A"		1780		AT / NEAR RIDGE		AT / NEAR EAVE			
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. EACH)	POT SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. PER LF)	EAVE VENT (SQ. IN. PER LF)	CONT. VENT (SQ. IN. PER LF)	
POT VENTS ONLY	2.37 - 2.97	2.78	46.51	0	10				
AT EAVE	3.56 - 2.97	3.19	53.49				0	46.00	
TOTAL (MIN)	5.93 - 5.93	5.97	100.00						
RIDGE VENT	2.37 - 2.97	2.75	46.26	0	0	22.00			
AT EAVE	3.56 - 2.97	3.19	53.74				0	46.00	
TOTAL (MIN)	5.93 - 5.93	5.94	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					

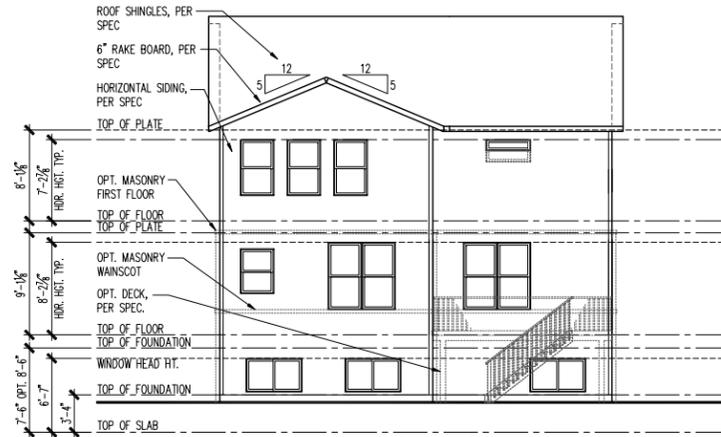
VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
 ** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS.
 * SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION.



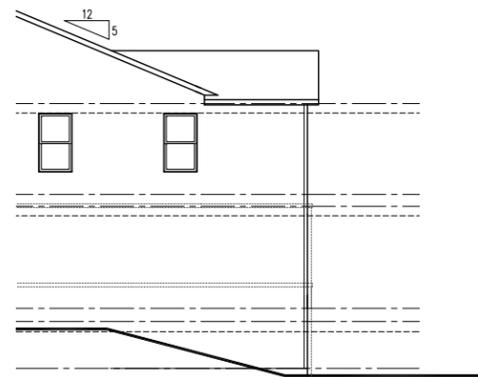
ROOF PLAN - OWNER'S RETREAT
SCALE: 1/8" = 1'-0"



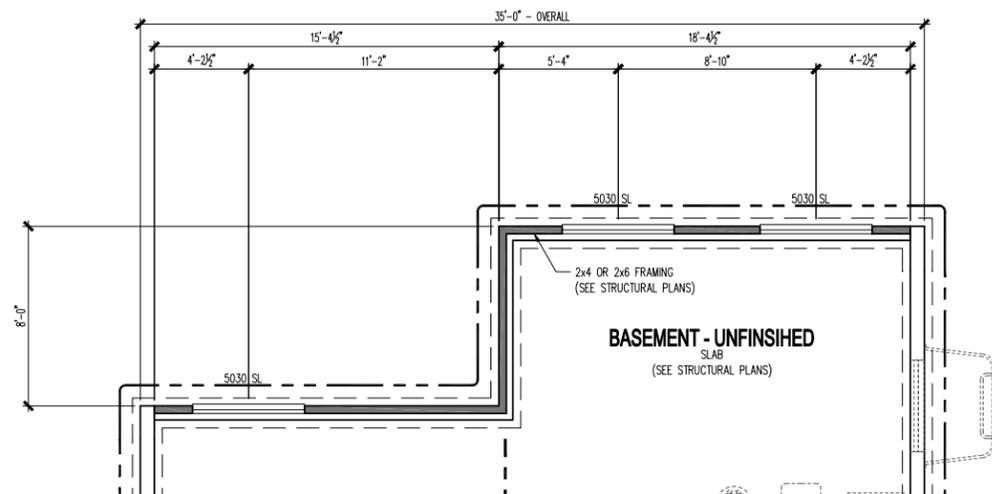
LEFT ELEV - DAYLIGHT BASEMENT
SCALE: 1/8" = 1'-0"



REAR ELEV - DAYLIGHT BASEMENT
SCALE: 1/8" = 1'-0"

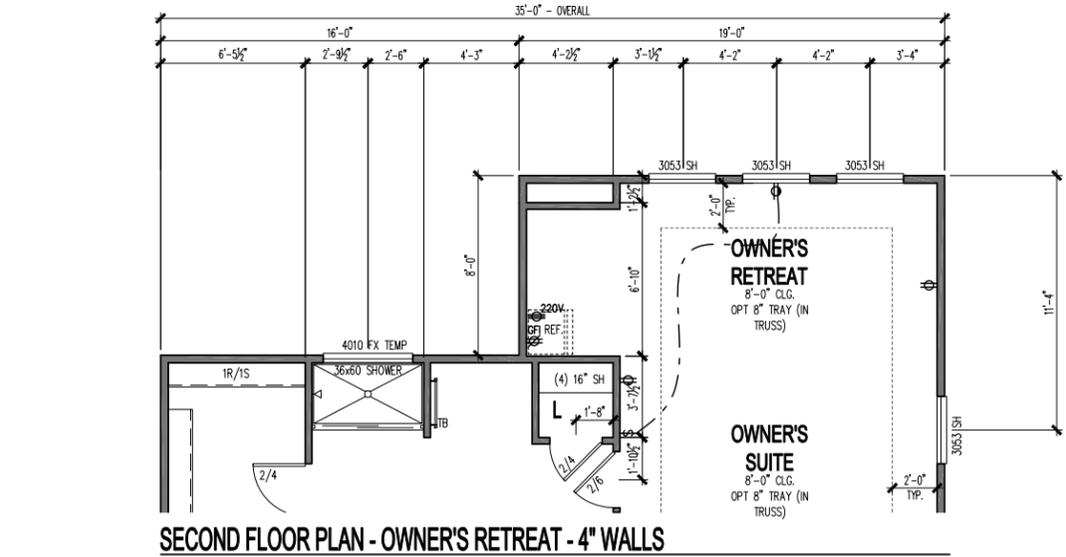


RIGHT ELEV - DAYLIGHT BASEMENT
SCALE: 1/8" = 1'-0"



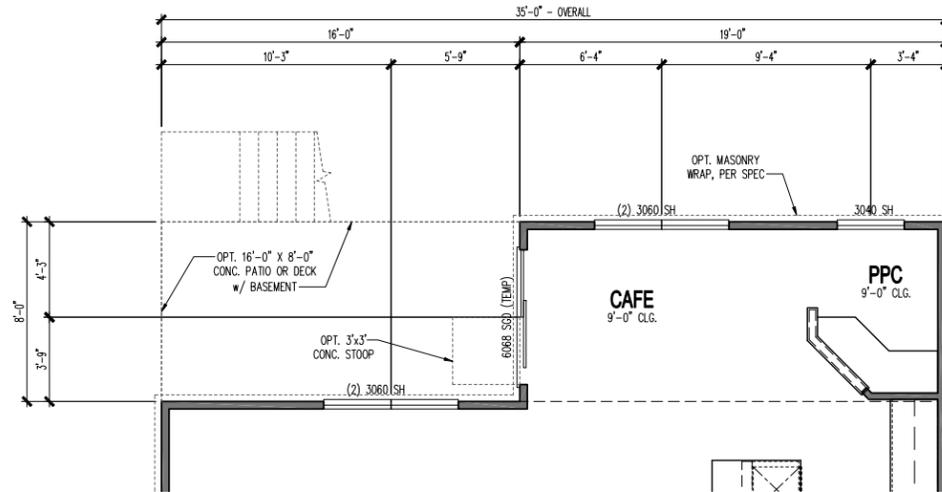
DAYLIGHT FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

* SEE BASE PLANS FOR INFORMATION NOT SHOWN



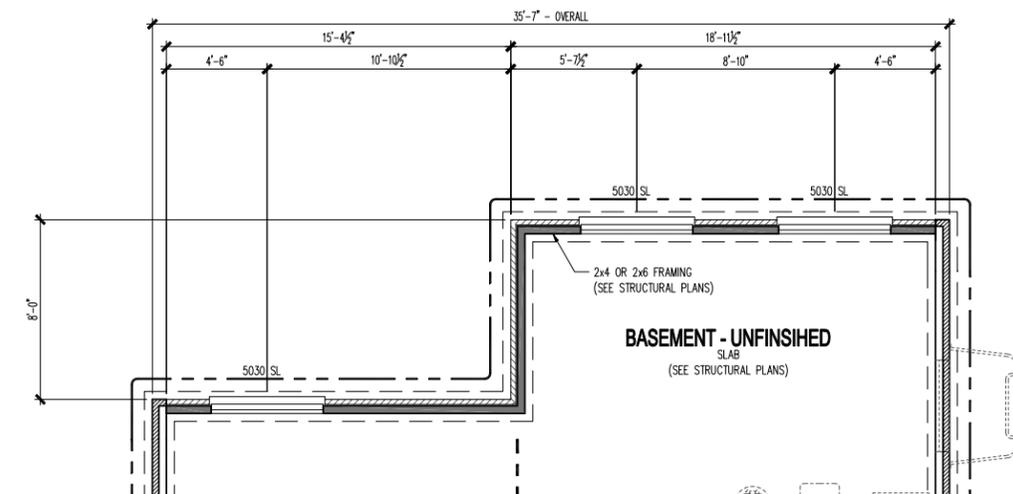
SECOND FLOOR PLAN - OWNER'S RETREAT - 4" WALLS
SCALE: 1/4" = 1'-0"

** SEE BASE FLOOR PLANS FOR INFORMATION NOT SHOWN ON THESE PLANS



FIRST FLOOR PLAN - 4" WALLS
SCALE: 1/4" = 1'-0"

** SEE BASE FLOOR PLANS FOR INFORMATION NOT SHOWN ON THESE PLANS



DAYLIGHT FOUNDATION PLAN w/ MASONRY
SCALE: 1/4" = 1'-0"

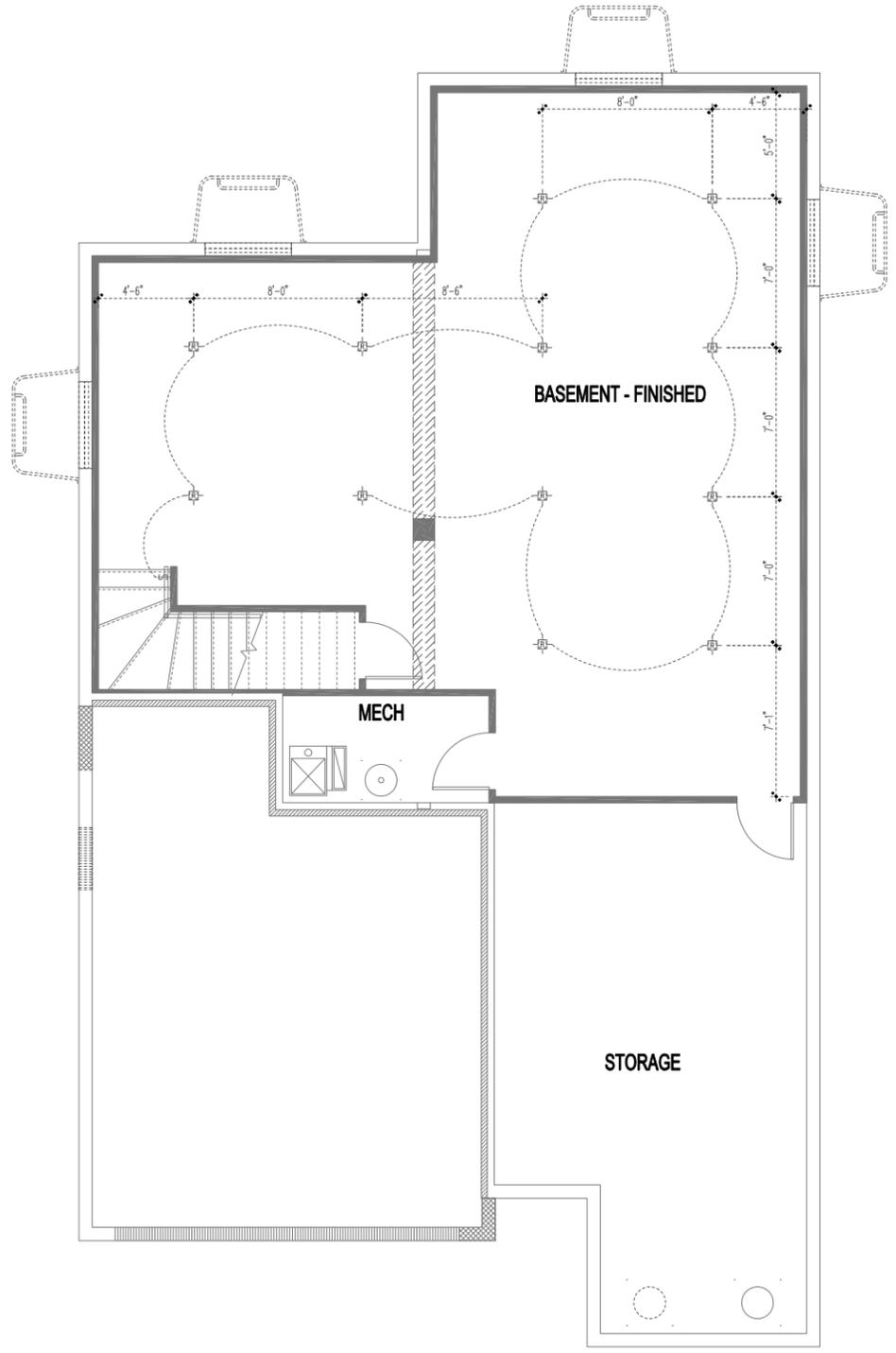
* SEE BASE PLANS FOR INFORMATION NOT SHOWN

REV #	DATE	DESCRIPTION

PLOTTED: September 30, 2014 / Mike Lee (Illinois) / 1959-WOODWARD-CZ-BASE-UTIL.DWG

UTILITY LEGEND		
SYMBOL	SYMBOL TYPE	ADDITIONAL NOTES
]	ADDRESS SIGN	ADDRESS SIGN - VISIBLE FROM STREET. LETTERS OR NUMBERS FOR THE ADDRESS SHALL BE 4" MIN. IN HEIGHT AND 0.5" MIN. IN STROKE OF A CONTRASTING COLOR TO THE BACKGROUND ITSELF
□	CHIMES - DOORBELL	
■	DETECTOR - HEAT	CEILING MOUNTED HEAT DETECTOR TO BE HARD WIRED TO FIRE ALARM SYSTEM (INSTALL PER NFPA 72)
■	DETECTOR - SMOKE/CARBON MONOXIDE COMBINATION	UL APPROVED CEILING MOUNTED SMOKE /CO DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP (INSTALL PER R314.4)
○	DETECTOR - CARBON MONOXIDE	UL APPROVED CEILING MOUNTED CO DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP (INSTALL PER R314.4)
⊕	DETECTOR - CARBON MONOXIDE-WALL	UL APPROVED WALL MOUNTED CO DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP (INSTALL PER R314.4)
⊙	DETECTOR - SMOKE	UL APPROVED CEILING MOUNTED SMOKE DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP (INSTALL PER R314.4)
⊕	DETECTOR - SMOKE-WALL	UL APPROVED WALL MOUNTED SMOKE DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP (INSTALL PER R314.4)
⊕	DETECTOR-CARBON MONOXIDE-PLUGIN	UL APPROVED WALL PLUG-IN CO DETECTOR WITH BATTERY BACK-UP
⊖	DISCONNECT - SWITCHED	
⊕	FAN - CEILING W/ LIGHT	FAN BOX PER NEC. PROVIDE 4-WIRE CABLE FROM SWITCH(ES) (CLG FAN OPTIONAL)
⊕	FAN - EXHAUST	50 CFM MIN INTERMITTENT FAN EXHAUST TO EXTERIOR
⊕	FAN - EXHAUST W/ LIGHT	50 CFM MIN INTERMITTENT FAN EXHAUST TO EXTERIOR
○	JBOX - PRE-WIRE	
⊕	LIGHT - CEILING	
⊕	LIGHT - CEILING-PULL CHAIN	
⊕	LIGHT - FLUORESCENT-48X9	
⊕	LIGHT - FLUORESCENT-PILLOW	
⊕	LIGHT - FLUORESCENT-UNDER CAB-14	
⊕	LIGHT - FLUORESCENT-UNDER CAB-20	
⊕	LIGHT - RECESSED	
⊕	LIGHT - RECESSED-VAPOR PROOF	
⊕	LIGHT - WALL	
⊕	LIGHT - WALL-PULL CHAIN	
⊕	METER - ELECTRIC	VERIFY LOCATION IN FIELD
⊕	OUTLET - 220V	
⊕	OUTLET - DISHWASHER	
⊕	OUTLET - DUPLEX	
⊕	OUTLET - DUPLEX-SPLIT WIRED	
⊕	OUTLET - DUPLEX-SWITCHED	
⊕	OUTLET - FLOOR	
⊕	OUTLET - GFI	
⊕	OUTLET - GARAGE DOOR	
⊕	OUTLET - PHONE	CAT 5E
⊕	OUTLET - TV	RG-6
⊕	OUTLET - WATERPROOF-GFI	
⊕	PANEL - ELECTRIC	VERIFY LOCATION IN FIELD
⊕	PANEL - ELECTRIC-RECESSED	VERIFY LOCATION IN FIELD
⊕	PANEL - MEDIA-RECESSED	VERIFY LOCATION IN FIELD
⊕	SWITCH - DISPOSAL	
⊕	SWITCH - LIGHT	
⊕	SWITCH - THREE WAY	
⊕	SWITCH - FOUR WAY	
⊕	SWITCH - PUSH BUTTON	
⊕	THERMOSTAT	THERMOSTAT SHALL BE PROGRAMMABLE
⊕	HOSE BIBB	
⊕	WATER LINE	
⊕	GAS VALVE	
⊕	GAS METER	
⊕	RETURN AIR GRILLE	

- ### UTILITY NOTES
- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE CURRENTLY ADOPTED EDITION OF THE NATIONAL ELECTRIC CODE (NEC), AND INTERNATIONAL RESIDENTIAL CODE (IRC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC. AND MEET THE REQUIREMENTS OF THE CURRENTLY ADOPTED EDITION OF THE NEC.
 - STAIRWAYS WITHIN DWELLING UNITS SHALL HAVE AN ILLUMINATION LEVEL ON THE TREAD RUNS OF NOT LESS THAN 1 FOOTCANDLE. PROVIDE LIGHTING CONTROL AT EACH LEVEL. EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE A LIGHT IN THE IMMEDIATE VICINITY OF THE STAIR LANDING CLOSEST TO THE DWELLING UNIT.
 - GFCI PROTECTION SHALL BE PROVIDED FOR ALL 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS:
 - BATHROOMS
 - GARAGE
 - OUTDOORS: BALCONIES, DECKS, AND PORCHES (INCLUDING INSIDE SCREENED ENCLOSURES)
 - UNFINISHED BASEMENT AREAS AND CRAWL SPACES
 - SINKS LOCATED IN AREAS OTHER THAN A KITCHEN WHERE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF A SINK.
 - RECEPTACLES INTENDED TO SERVE KITCHEN COUNTER TOP SURFACES
 - WITHIN 25'-0" AND ON THE SAME LEVEL OF OUTDOOR HEATING, AIR CONDITIONING OR REFRIGERATION EQUIPMENT.
 - PROVIDE A MINIMUM OF (2) 20 AMP SMALL APPLIANCE BRANCH CIRCUITS FOR KITCHEN, DINING AND PANTRY AREAS LIMITED TO ONLY THE REQUIRED WALL AND COUNTERTOP OUTLETS, AND THE REFRIGERATOR.
 - REQUIRED LAUNDRY RECEPTACLES SHALL BE SUPPLIED BY A SEPARATE 20 AMP CIRCUIT AND SHALL NOT INCLUDE ANY OTHER LIGHTS, FANS, OR ANY OTHER RECEPTACLES.
 - REQUIRED BATHROOM RECEPTACLES SHALL BE SUPPLIED BY A SEPARATE 20 AMP CIRCUIT AND SHALL NOT INCLUDE ANY OTHER LIGHTS, FANS, OR ANY OTHER RECEPTACLES.
 - ARC-FAULT CIRCUIT INTERRUPTION PROTECTIONS SHALL BE PROVIDED FOR ALL CIRCUITS SUPPLYING POWER TO BEDROOMS.
 - ALL ELECTRICAL OUTLETS SHALL BE PLACED AT 15" TO CENTER OF OUTLET ABOVE FINISHED FLOOR, UNLESS NOTED IN THE FOLLOWING NOTES OR ON PLANS.
 - ALL ELECTRICAL OUTLETS AT KITCHEN COUNTERS SHALL BE PLACED AT 44" TO CENTER OF OUTLET ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED ON PLANS.
 - ALL ELECTRICAL OUTLETS AT BATHROOMS SHALL BE PLACED AT 44" TO CENTER OF OUTLET ABOVE FINISHED FLOOR AT 36" HIGH COUNTERS, AND 41" ABOVE FINISHED FLOOR AT 33" HIGH COUNTERS, UNLESS OTHERWISE NOTED ON PLANS.
 - ALL SWITCHES SHALL BE PLACED AT 38" TO CENTER OF SWITCH ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED ON PLANS.
 - ALL WALL MOUNTED LIGHT FIXTURES SHALL BE SET AT A HEIGHT OF 66" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED ON PLANS.
 - SMOKE DETECTORS:
 - SMOKE DETECTORS TO BE SUPPLIED BY THE HOUSE WIRING SYSTEM, HAVE BATTERY BACKUP AND EMIT A SIGNAL WHEN BATTERIES ARE LOW PER APPLICABLE CODES.
 - SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS PER APPLICABLE CODES.
 - INSTALLATION SHALL MEET NFPA 72-70.
 - SMOKE DETECTORS SHALL BE LOCATED ON EACH FLOOR LEVEL IN THE VICINITY OF ALL BEDROOM ENTRANCE DOORS AND WITHIN EACH BEDROOM.
 - CARBON MONOXIDE DETECTORS:
 - CARBON MONOXIDE DETECTORS TO BE SUPPLIED BY THE HOUSE WIRING SYSTEM, HAVE BATTERY BACKUP AND EMIT A SIGNAL WHEN BATTERIES ARE LOW PER APPLICABLE CODES.
 - CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS PER APPLICABLE CODES.
 - A CARBON MONOXIDE ALARM IS REQUIRED OUTSIDE EACH SLEEPING AREA AND/OR IN THE IMMEDIATE VICINITY OF SLEEPING AREAS AS REQUIRED BY APPLICABLE CODES.
 - ALL DETECTORS SHALL COMPLY WITH UL2034-2008.
 - LIGHTING IN CLOTHES CLOSETS SHALL BE:
 - SURFACE MOUNTED OR RECESSED INCANDESCENT OR LED LUMINAIRES WITH COMPLETELY ENCLOSED LIGHT SOURCES
 - SURFACE MOUNTED OR RECESSED FLUORESCENT LUMINAIRES
 - SURFACE MOUNTED FLUORESCENT OR LED LUMINAIRES IDENTIFIED AS SUITABLE FOR INSTALLATION WITHIN THE CLOSET STORAGE SPACE
 - INSTALLED PER APPLICABLE CODES.
 - FIXTURES MAY BE LOCATED ONLY WHERE THERE ARE THE FOLLOWING MINIMUM CLEARANCES TO THE NEAREST POINT OF STORAGE SPACE:
 - SURFACE MOUNTED INCANDESCENT OR LED FIXTURES: 12" MINIMUM ON WALL ABOVE DOOR OR CEILING
 - SURFACE MOUNTED FLUORESCENT FIXTURES: 6" MINIMUM ON WALL ABOVE DOOR OR CEILING
 - RECESSED INCANDESCENT OR LED LUMINAIRES WITH COMPLETELY ENCLOSED LIGHT SOURCE INSTALLED IN WALL OR CEILING
 - RECESSED FLUORESCENT LUMINAIRES INSTALLED IN WALL OR CEILING
 - SURFACE MOUNTED FLUORESCENT OR LED LUMINAIRES SHALL BE PERMITTED TO BE INSTALLED WITHIN THE CLOSET STORAGE SPACE WHERE IDENTIFIED FOR THIS USE.
 - NO PARTS OF HANGING FIXTURES, TRACK LIGHTING, AND CEILING PADBLE FANS SHALL BE INSTALLED WITHIN 3'-0" HORIZONTALLY OF A BATHTUB, MEASURED FROM THE OUTSIDE EDGE OF THE TUB AND 8'-0" VERTICALLY FROM THE TOP OF THE TUB RIM.
 - RECEPTACLES SHALL NOT BE INSTALLED WITHIN A TUB OR A SHOWER ENCLOSURE.
 - GROUNDING: RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYER MUST BE A 3-POLE WITH GROUND TYPE.
 - AN INTERSYSTEM BONDING TERMINAL SHALL BE PROVIDED FOR GROUNDING COMMUNICATION SYSTEMS (CABLE TV & SATELLITE DISHES).
 - GROUNDING AND BONDING OF METAL PIPING SYSTEMS SHALL BE PER CODE.
 - MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
 - VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
 - ALL RECEPTACLES CONTROLLED BY A SWITCH SHALL SPLIT-WIRED TO CONTROL ONLY THE TOP OUTLET.
 - ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
 - ALL 15 AND 20 AMP RECEPTACLE OUTLETS SHALL BE TAMPER RESISTANT.



FINISHED BASEMENT UTILITY PLAN
 SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY

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Pulte Central Zone
 1901 North Roselle Road, Suite 1000
 Schaumburg, Illinois 60195

Finished Basement Utility Plan
 Optional Lighting Package
 All Foundation Wall Conditions

PRODUCTION MANAGER	Andy Kunz
INITIAL RELEASE DATE:	09/30/2014
CURRENT RELEASE DATE:	09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING
LEFT

PLAN NAME
WOODWARD

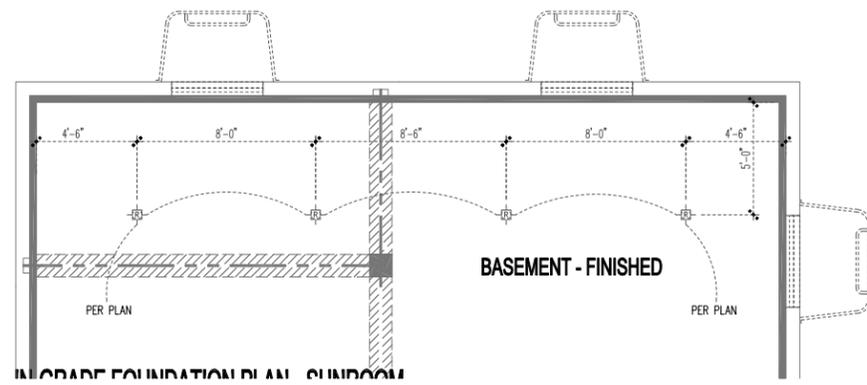
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1959

LAWSON PLAN ID

SHEET
U1

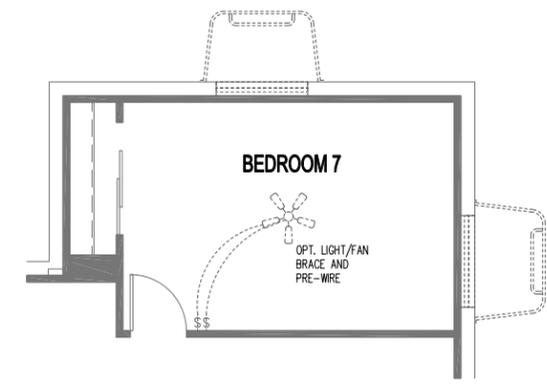
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NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



FINISHED BASEMENT UTILITY PLAN w/ SUNROOM OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



BEDROOM 7 OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY

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PRODUCTION MANAGER
 Andy Kunz
 INITIAL RELEASE DATE:
 09/30/2014
 CURRENT RELEASE DATE:
 09/30/2014

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GARAGE HANDING
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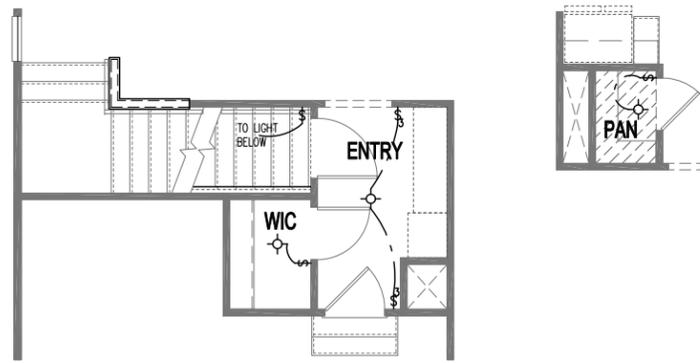
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SHEET
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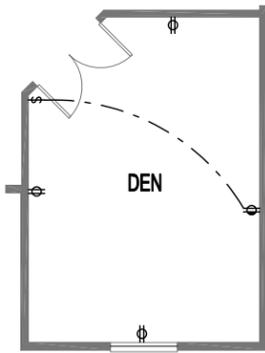
Finished Basement Utility Plan Options
 Optional Lighting Package
 All Foundation Wall Conditions

Pulte Central Zone
 1901 North Roselle Road, Suite 1000
 Schaumburg, Illinois 60195



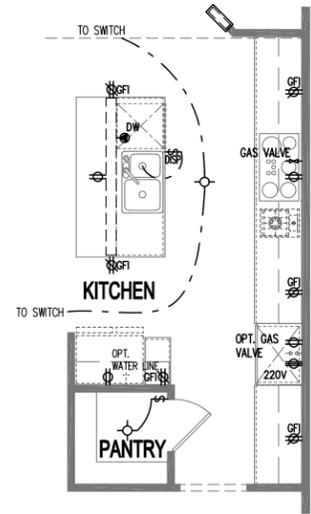
STAIRS w/ BASEMENT OPTION

SCALE: 1/4" = 1'-0"
 * SEE BASE PLANS FOR INFORMATION NOT SHOWN



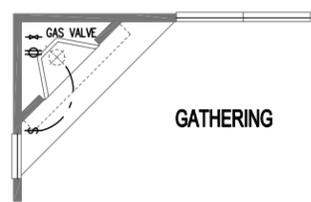
DEN OPTION

SCALE: 1/4" = 1'-0"
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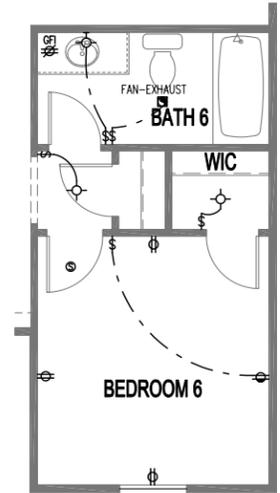
KITCHEN w/ BUILT-IN APPLIANCES OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



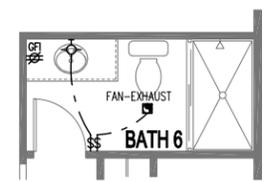
FIREPLACE OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



BATH 6 OPTION w/ BEDROOM 6 OPTION

SCALE: 1/4" = 1'-0"
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BATH 6 w/ SHOWER OPTION

SCALE: 1/4" = 1'-0"
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GARAGE HANDING
LEFT

PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID

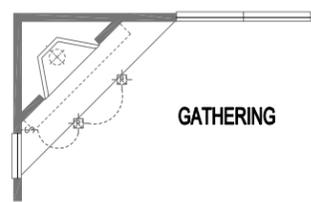
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First Floor Utility Plan Options

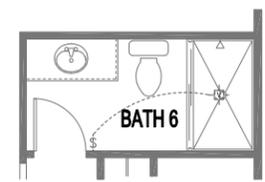
4" Exterior Walls



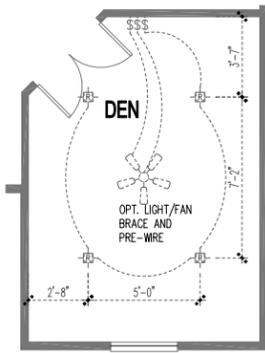
Pulte Central Zone
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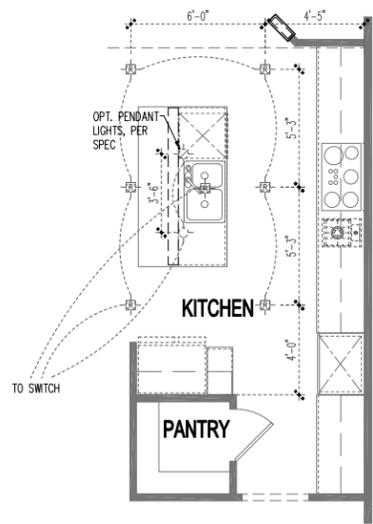
FIREPLACE OPTION
 SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



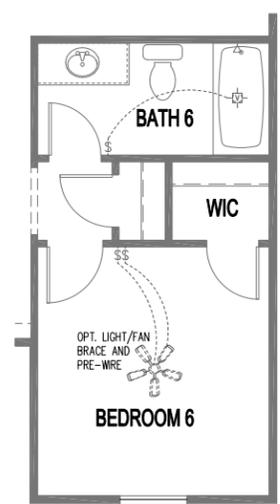
BATH 6 w/ SHOWER OPTION
 SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



DEN OPTION
 SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



KITCHEN w/ BUILT-IN APPLIANCES OPTION
 SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



BATH 6 OPTION w/ BEDROOM 6 OPTION
 SCALE: 1/4" = 1'-0"
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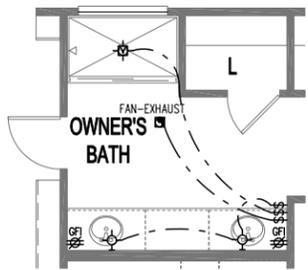
PRODUCTION MANAGER
 Andy Kunz
 INITIAL RELEASE DATE:
 09/30/2014
 CURRENT RELEASE DATE:
 09/30/2014

GARAGE HANDING
LEFT

PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID
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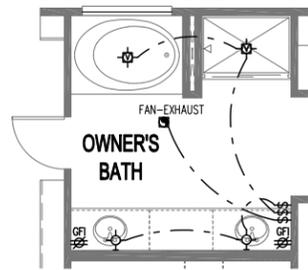
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NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



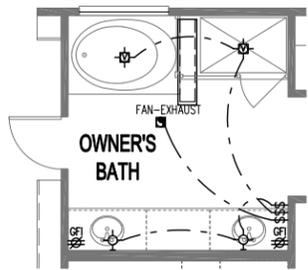
OWNER'S BATH 1 OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



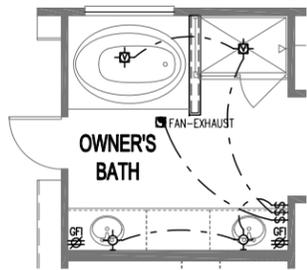
OWNER'S BATH 2 OPTION

SCALE: 1/4" = 1'-0"
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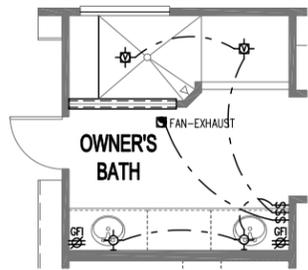
OWNER'S BATH 3 OPTION

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 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



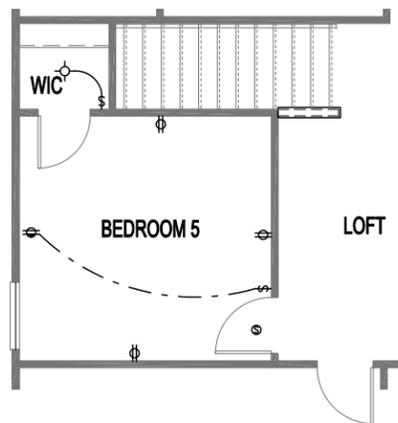
OWNER'S BATH 4 OPTION

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 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



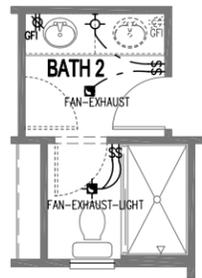
OWNER'S BATH 5 OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



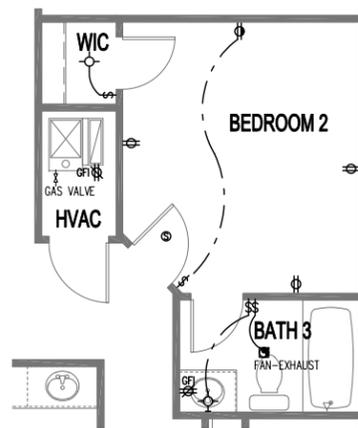
BEDROOM 5 OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



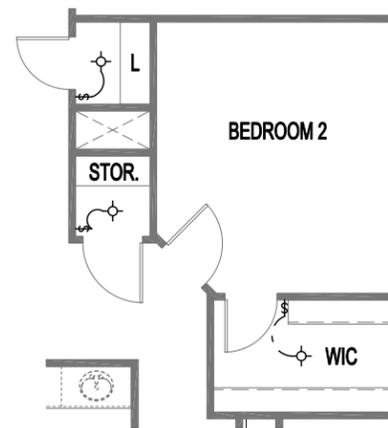
BATH 2 w/ SHOWER OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



BATH 3 OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



STORAGE w/ BASEMENT OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

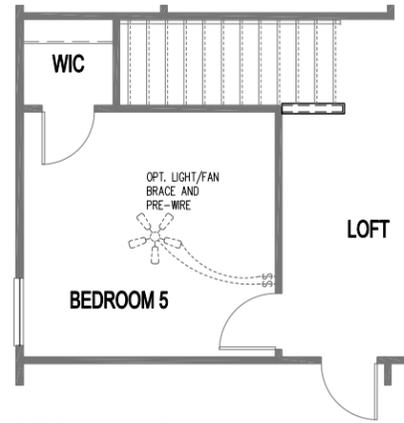
PRODUCTION MANAGER	Andy Kunz
INITIAL RELEASE DATE:	09/30/2014
CURRENT RELEASE DATE:	09/30/2014

REV #	DATE	DESCRIPTION

GARAGE HANDING
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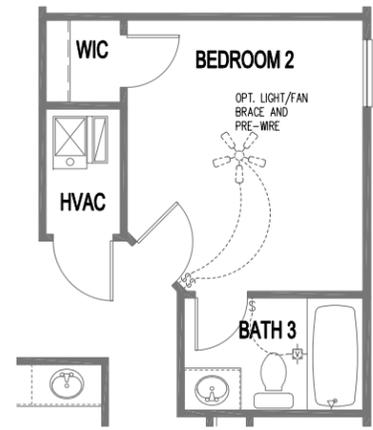
PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID
 -

SHEET
U1
 4-2.20



BEDROOM 5 OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



BATH 3 OPTION

SCALE: 1/4" = 1'-0"
 * DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER	
Andy Kunz	
INITIAL RELEASE DATE:	
09/30/2014	
CURRENT RELEASE DATE:	
09/30/2014	
REV #	DATE / DESCRIPTION
△	
△	
△	
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△	
△	
△	

GARAGE HANDING
LEFT

PLAN NAME
WOODWARD
 NPC PLAN NUMBER
1959
 LAWSON PLAN ID
 --

SHEET
 U1
 4-2.21



Second Floor Utility Plan Options
Optional Lighting Package
4" Exterior Walls

Pulte Central Zone
 1901 North Roselle Road, Suite 1000
 Schaumburg, Illinois 60195

