



SCHEDULE of AREAS	
<b>BASE HOUSE - HEATED</b>	
FIRST FLOOR	1257
SECOND FLOOR	1405
<b>TOTAL BASE HEATED</b>	<b>2662</b>
<b>BASE HOUSE - UNDER ROOF</b>	
GARAGE - 2 CAR FRONT ENTRY	487
HOUSE SLAB	1257
<b>TOTAL BASE UNDER ROOF</b>	<b>1744</b>
<b>BASE OPTIONS - HEATED</b>	
SUNROOM	120
MODERN FIREPLACE	18
FIREPLACE	8
<b>FINISHED BASEMENT OPTIONS</b>	
FINISHED BASEMENT	909
PARTIAL FINISHED BASEMENT	909
CRAWL	84
MECHANICAL / STORAGE	208
STORAGE W/ FINISHED BASEMENT	90
FINISHED BASEMENT BEDROOM 7	198
FINISHED BASEMENT BATH 7	59
ADDITIONAL AREA W/ SUNROOM	120
<b>BASE OPTIONS</b>	
BASEMENT	1207
CRAWL	1158
PARTIAL BASEMENT	1117
CRAWL	84
BASEMENT / SUNROOM	120
CRAWL / SUNROOM	120
SLAB / SUNROOM	120
COVERED PORCH	120
COVERED PORCH W/ FIREPLACE	120
WOOD DECK	120
WOOD DECK W/ SUNROOM	150
CONCRETE PATIO	120
CONCRETE PATIO W/ SUNROOM	150
3 CAR FRONT GARAGE	200

LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
FLEX	151.62	12.13	6.06	13.7	5.9
POWDER ROOM	40.98	3.28	1.64	ARTIF.	MECH.
KITCHEN/DINING/GATHERING	658.61	52.69	26.34	82.6	41.8
PULTE PLANNING CENTER	64.20	5.14	2.57	8.5	3.4
DEN OPTION	151.62	12.13	6.06	13.7	5.9
BEDROOM 6 OPTION	134.50	10.76	5.38	13.7	5.9
BATH 6 OPTION	41.06	3.28	1.64	ARTIF.	MECH.
OWNER'S SUITE	209.28	16.74	8.37	35.1	15.0
OWNER'S BATH	110.99	8.88	4.44	2.0 / ARTIF.	MECH.
BEDROOM 2	123.85	9.91	4.95	11.7	5.0
BEDROOM 3	125.63	10.05	5.03	15.3	6.3
BEDROOM 4	163.41	13.07	6.54	23.4	10.0
LOFT	221.29	17.70	8.85	23.4	10.0
LAUNDRY	50.78	4.06	2.03	ARTIF.	MECH.
BATH 2	59.89	4.79	2.40	ARTIF.	MECH.
BEDROOM 5 OPTION	102.57	8.21	4.10	11.7	5.0
BEDROOM 4 W/ BEDROOM 5 OPTION	153.71	12.30	6.15	23.4	10.0
BATH 3 OPTION W/ BEDROOM 5 OPTION	35.90	2.87	1.44	ARTIF.	MECH.
SUNROOM OPTION	113.06	9.04	4.52	69.2	41.8
FINISHED BASEMENT	812.39	64.99	32.50	ARTIF.	MECH.
PARTIAL FINISHED BASEMENT	812.39	64.99	32.50	ARTIF.	MECH.
FINISHED BASEMENT W/ SUNROOM OPTION	932.39	74.59	37.30	ARTIF.	MECH.
PARTIAL FINISHED BASEMENT W/ SUNROOM OPTION	932.39	74.59	37.30	ARTIF.	MECH.
BEDROOM 7 OPTION	144.56	11.56	5.78	12.2	6.7
BATH 7 OPTION	48.63	3.89	1.95	ARTIF.	MECH.

ARTIF. = ARTIFICIAL LIGHT SUPPLIED  
MECH. = MECHANICAL VENTILATION SUPPLIED  
THIS TABLE SHOWS CALCULATIONS FOR THE BASE HOUSE CONDITION

GENERAL NOTES	
<b>GENERAL REQUIREMENTS</b>	
1.	WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING: 1.1. THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR IN SPECIFICATIONS 1.2. APPLICABLE NATIONAL CODES (IRC, NEC, IECC ETC.) LATEST ADOPTED EDITION WITH LOCAL AMENDMENTS 1.3. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS 1.4. IN AREAS WHERE THE DRAWINGS SPECIFICATIONS OR SCOPE OF WORK DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS
2.	ON-SITE VERIFICATIONS OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
3.	THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE PROJECT UNLESS OTHERWISE NOTED OR SHOWN.
4.	DISCREPANCIES: 4.1. THE CONTRACTOR SHALL COMPARE AND COORDINATE ALL DRAWINGS 4.2. WHEN IN THE OPINION OF THE CONTRACTOR, A DISCREPANCY EXISTS, THE CONTRACTOR SHALL PROMPTLY REPORT IT FOR PROPER RESOLUTION BEFORE PROCEEDING WITH THE WORK.
5.	OMISSIONS: 5.1. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED 5.2. WHERE NO SIMILAR FEATURE OR CONDITION EXISTS THE CONTRACTOR SHALL PROMPTLY REPORT IT FOR PROPER RESOLUTION BEFORE PROCEEDING WITH THE WORK.
6.	ALL WORK IS TO BE PERFORMED IN A PROFESSIONAL MANNER AND IN ACCORDANCE WITH STANDARD PRACTICE AND CONSISTENT WITH MANUFACTURER'S AND SUPPLIER'S RECOMMENDED INSTALLATION PROCEDURES.
7.	DIMENSIONING: 7.1. ALL DIMENSIONS SHALL BE READ OR CALCULATED - NOT SCALED 7.2. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF SHEATHING UNLESS NOTED OTHERWISE 7.3. ALL DRAWINGS ARE AT A SCALE OF 1/4" = 1'-0" UNLESS NOTED OTHERWISE 7.4. ALL DIMENSIONS AT WINDOWS ARE TO THE CENTERLINE OF THE OPENING.
8.	BEFORE SUBMITTING PROPOSALS, BIDDERS SHALL CAREFULLY EXAMINE THE DRAWINGS, INSPECT THE SITE AND ACQUAINT THEMSELVES WITH ALL GOVERNING CODES, ORDINANCES, REGULATIONS, LAWS, ETC. AND OTHERWISE FAMILIARIZE THEMSELVES WITH ALL MATTERS WHICH MAY AFFECT PERFORMANCE AND COMPLETION OF THE WORK. THE ACT OF SUBMITTING A PROPOSAL SHALL BE CONSIDERED AS MEANING THAT THE BIDDER HAS COMPLIED WITH ALL REQUIREMENTS OF THESE GENERAL NOTES AND SPECIFICATIONS AND THEREFORE NO CONCESSION WILL BE GRANTED BECAUSE OF ANY CLAIM OF MISUNDERSTANDING OR LACK OF INFORMATION.

ABBREVIATIONS			
AFF	ABOVE FINISH FLOOR	MAS	MASONRY
A/C	AIR CONDITIONING	MATL	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
ARCH	ARCHITECT ARCHITECTURAL	MECH	MECHANICAL
BSMT	BASEMENT	MC	MEDICINE CABINET
BLK	BLOCK	MTL	METAL
BLKG	BLOCKING	MIN	MINIMUM
BD	BOARD	MIR	MIRROR
BLDG	BUILDING	MISC	MISCELLANEOUS
CAB	CABINET	MOD	MODULAR
CPT	CARPET	MULL	MULLION
CSMT	CASEMENT WINDOW	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTER
CIR	CIRCLE	OA	OVERALL
CIRC	CIRCUMFERENCE	OH	OVERHEAD
CLR	CLEAR CLEARANCE	OPT	OPTIONAL
COL	COLUMN	PB	PUSH BUTTON
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
CONC	CONCRETE	PAR	PARTITION
CONST	CONSTRUCTION	PED	PEDESTAL
CONT	CONTINUOUS	PL	PLATE
CJ	CONTROL OR CONSTRUCTION JOINT	PVC	POLYVINYL CHLORIDE
CF	CUBIC FOOT	PREFAB	PREFABRICATE PREFABRICATED
CY	CUBIC YARD	R	RISER
DET	DETAIL	REF	REFERENCE
DIA	DIAMETER	REFR	REFRIGERATOR
DIM	DIMENSION	REINF	REINFORCE REINFORCED REINFORCING
DW	DISH WASHER	R.A.G.	RETURN AIR GRILLE
DR	DOOR	REV	REVISIONS REVISED
DH	DOUBLE HUNG	RD	ROOF DRAIN
DS	DOWNSPOUT	RFG	ROOFING
ELEC	ELECTRIC ELECTRICAL	RM	ROOM
ELEV	ELEVATION	RO	ROUGH OPENING
EQ	EQUAL	SCHED	SCHEDULE
EXH	EXHAUST	SECT	SECTION
EXT	EXTERIOR	SGD	SLIDING GLASS DOOR
FO	FACE OF	SHTH	SHEATHING
FIN	FINISH	SH	SHEET
FPL	FIREPLACE	SH	SHelf SHELving SINGLE HUNG WINDOW
FLR	FLOOR FLOORING	SL	SIMILAR
FD	FLOOR DRAIN	SL	SLIDING WINDOW
FLUOR	FLUORESCENT	SC	SOLID CORE
FTG	FOOTING	SPKR	SPEAKER
FND	FOUNDATION	SPEC	SPECIFICATIONS
FUR	FURR FURRED FURRING	SQ	SQUARE
GA	GAUGE	STD	STANDARD
GDO	GARAGE DOOR OPENER	STL	STEEL
GFI	GROUND FAULT CIRCUIT	STOR.	STORAGE
GFI/MP	GROUND FAULT CIRCUIT-WEATHER PROOF	STRUCT	STRUCTURAL
GL	GLASS GLAZING	TEL	TELEPHONE
GYP BD	GYPsum WALLBOARD DRYWALL	TV	TELEVISION
HDW	HARDWARE	THR	THRESHOLD
HDR	HEADER	T&G	TONGUE AND GROOVED
HVAC	HEATING-VENTILATING-AIR CONDITIONING	TOC	TOP OF CONCRETE
HGT	HEIGHT	TOF	TOP OF FOUNDATION
HC	HOLLOW CORE	TYP	TYPICAL
HORIZ	HORIZONTAL	UNF	UNFINISHED
HB	HOSE BIBB	UNO	UNLESS NOTED OTHERWISE
INSUL	INSULATE INSULATED INSULATION	VERT	VERTICAL
INT	INTERIOR	WH	WATER HEATER
JT	JOINT	WC	WATER CLOSET
JST	JOIST	WN	WINDOW
KIT	KITCHEN	W/	WITH
LAV	LAVATORY	W/O	WITHOUT
LT	LIGHT	WD	WOOD
LNTL	LINTEL	W	WROUGHT IRON
LVR	LOUVER		
MFR	MANUFACTURE MANUFACTURER		

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**Pulte Central Zone**  
1901 North Roselle Road, Suite 1000  
Schaumburg, Illinois 60195



General Notes  
Central Zone  
Zone Base Plans

PRODUCTION MANAGER  
Andy Kunz  
INITIAL RELEASE DATE:  
09/30/2014  
CURRENT RELEASE DATE:  
09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING  
**LEFT**

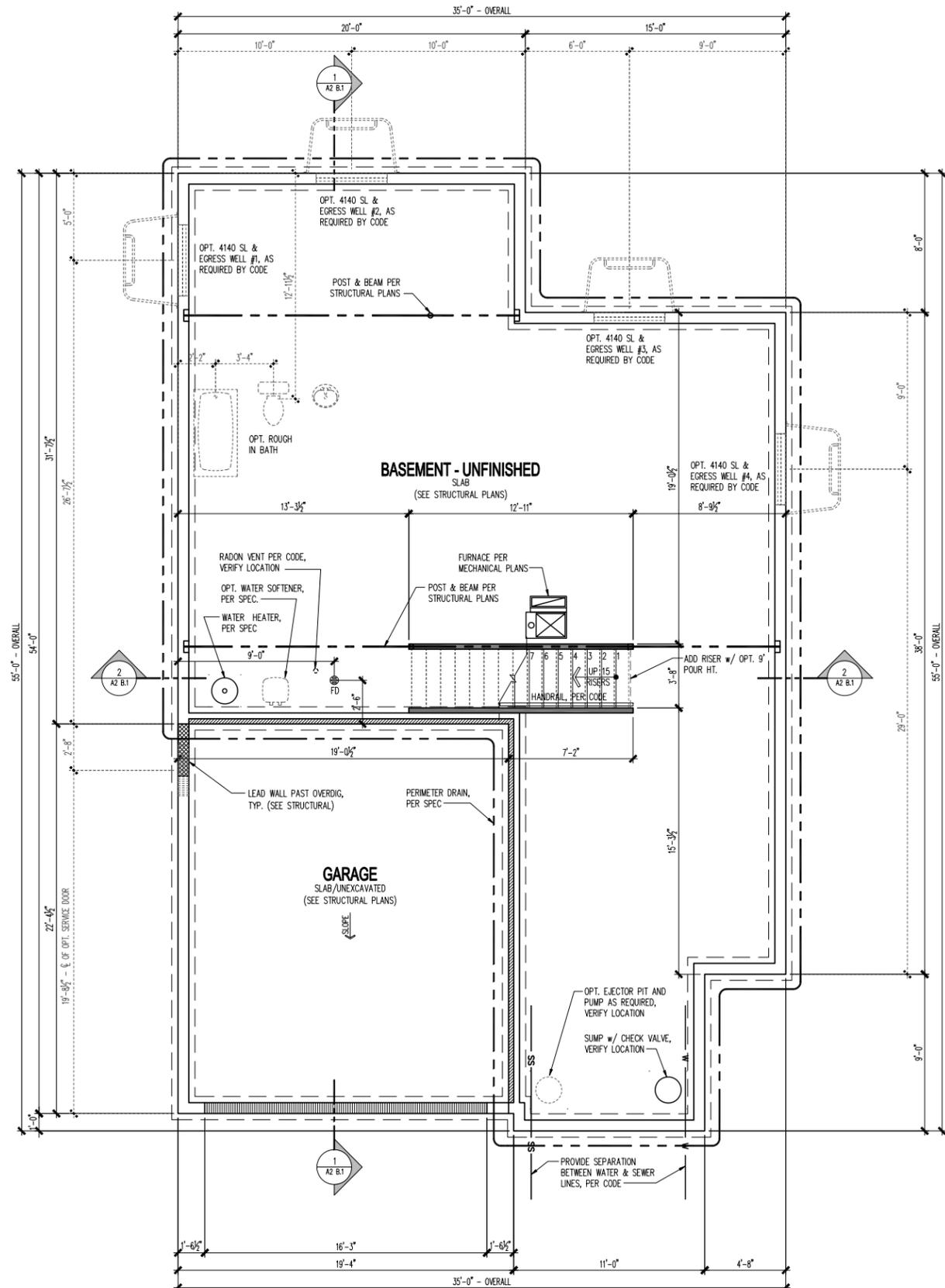
PLAN NAME  
**BOARDWALK**  
NPC PLAN NUMBER  
**1956**  
LAWSON PLAN ID

SHEET  
**CZ**  
**0.2**

# FOUNDATION NOTES

## GENERAL SPECIFICATIONS

- WHERE DISCREPANCIES BETWEEN SOILS REPORT AND STRUCTURAL DRAWINGS OCCUR, CONTACT THE STRUCTURAL ENGINEER.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- SURFACE WATER TO DRAIN AWAY FROM STRUCTURE. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET (2% FOR IMPERVIOUS SURFACES) IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
- GARAGE SLAB SHALL SLOPE A MIN. OF 2" AWAY FROM STRUCTURE.
- CONCRETE SToops AND PORCH/PATIO SLABS SHALL SLOPE A MIN. OF 1/4" PER FOOT AWAY FROM STRUCTURE.
- PROVIDE 4" LEDGE UNDER MASONRY AS INDICATED BY STRUCTURAL DRAWINGS.
- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

PLOTTED: September 30, 2014 / Mia Lee (Illinois) / 1956-BOARDWALK-CZ-BASE-PLAN.DWG

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**Pulte Central Zone**  
 1901 North Roselle Road, Suite 1000  
 Schaumburg, Illinois 60195



**Basement Foundation Plan**

PRODUCTION MANAGER  
 Andy Kuntz  
 INITIAL RELEASE DATE:  
 09/30/2014  
 CURRENT RELEASE DATE:  
 09/30/2014

REV #	DATE	DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID

SHEET  
**A0**  
**B-1.1**

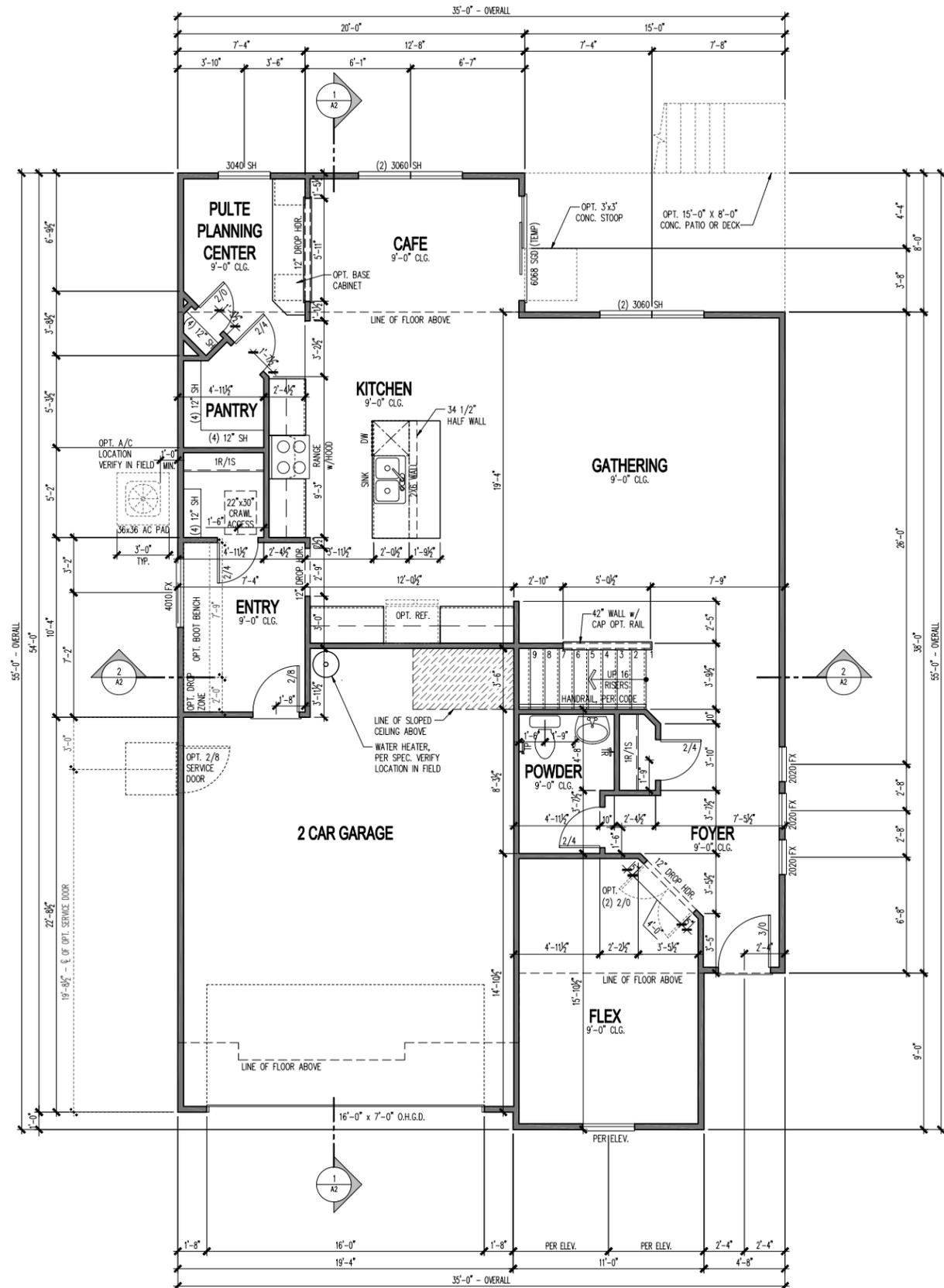
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



# FLOORPLAN NOTES

## GENERAL SPECIFICATIONS

- ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
- ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
- ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
- ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
- PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
- PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
- PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
- ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
- ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-FLOOR WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



**FIRST FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"



PRODUCTION MANAGER	
Andy Kuntz	
INITIAL RELEASE DATE:	
09/30/2014	
CURRENT RELEASE DATE:	
09/30/2014	

REV #	DATE	DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
NPC PLAN NUMBER  
**1956**  
LAWSON PLAN ID

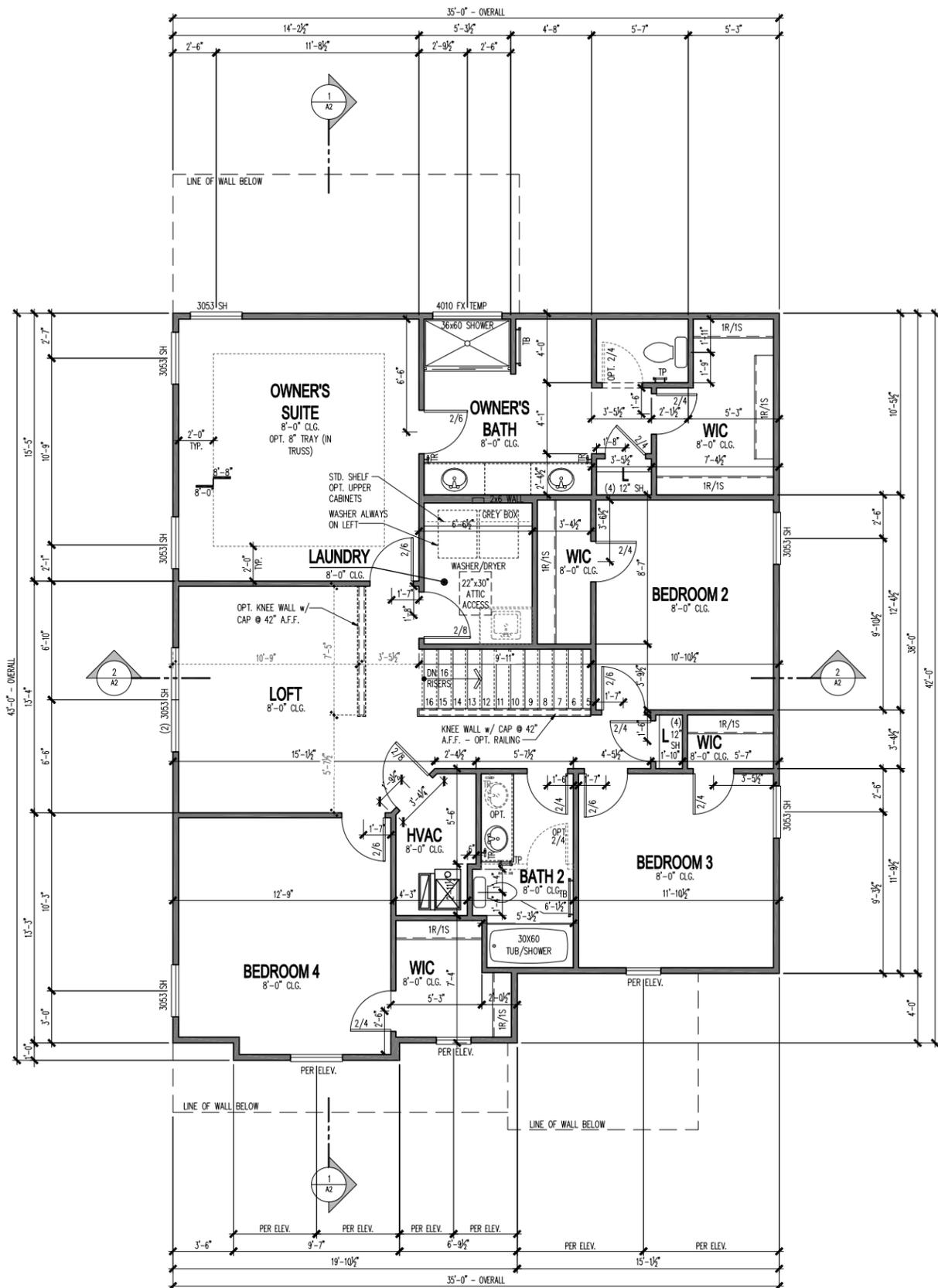
SHEET  
**A1**  
**4-1.1**



# FLOORPLAN NOTES

## GENERAL SPECIFICATIONS

- ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
- ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
- ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
- ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
- PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
- PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
- PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE 3/4" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
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- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



**SECOND FLOOR PLAN - 4" EXTERIOR WALLS**

SCALE: 1/4" = 1'-0"

PLOTTED: September 30, 2014 / Moe Lee (Illinois) / 1956-BOARDWALK-CZ-BASE-PLANNING

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**Pulte Central Zone**  
1901 North Roselle Road, Suite 1000  
Schaumburg, Illinois 60195



**Second Floor Plan**  
4" Exterior Walls

PRODUCTION MANAGER  
Andy Kuntz  
INITIAL RELEASE DATE:  
09/30/2014  
CURRENT RELEASE DATE:  
09/30/2014

REV #	DATE	DESCRIPTION

GARAGE HANDING  
**LEFT**

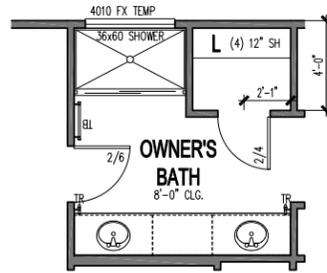
PLAN NAME  
**BOARDWALK**  
NPC PLAN NUMBER  
**1956**  
LAWSON PLAN ID

SHEET  
**A1**  
4-2.1

# FLOORPLAN NOTES

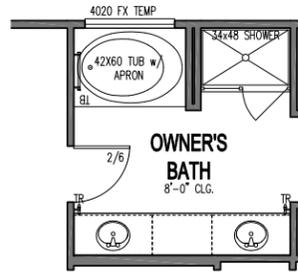
## GENERAL SPECIFICATIONS

- ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
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- ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
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- PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
- PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
- PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
- ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
- ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-FLOOR WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



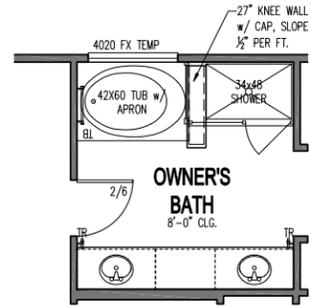
**OWNER'S BATH 1 OPTION**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



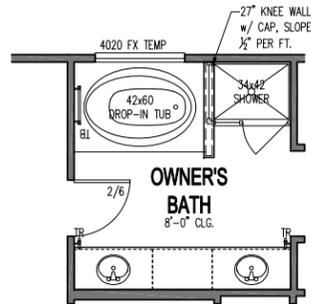
**OWNER'S BATH 2 OPTION**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



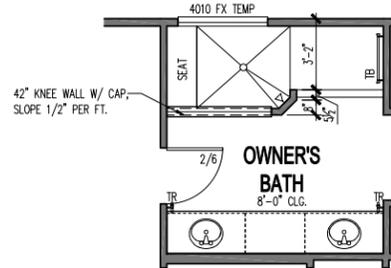
**OWNER'S BATH 3 OPTION**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



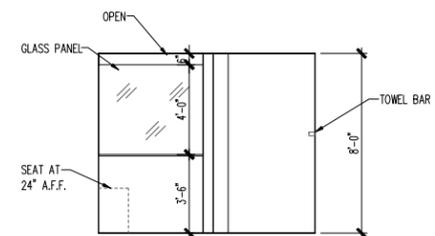
**OWNER'S BATH 4 OPTION**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



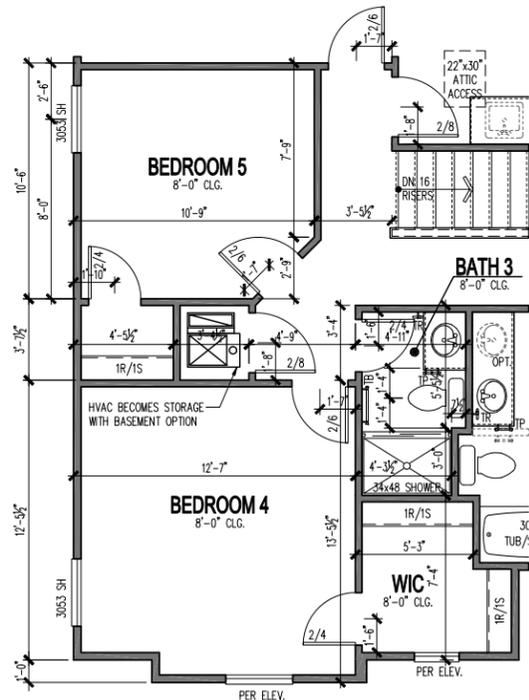
**OWNER'S BATH 5 OPTION**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



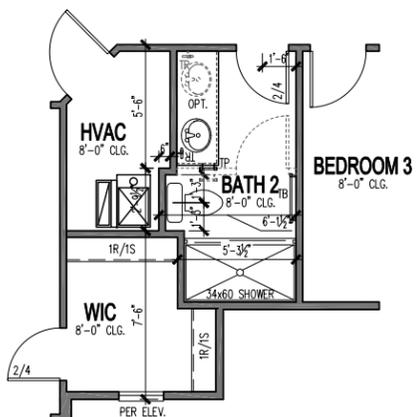
**OWNER'S BATH 5 OPTION ELEVATION**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



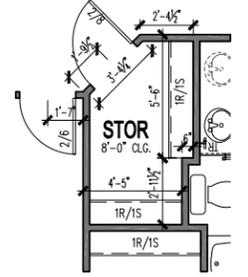
**BEDROOM 5 OPTION w/ BATH 3 OPTION**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**BATH 2 w/ SHOWER OPTION**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**STORAGE w/ BASEMENT OPTION**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

PLOTTED: September 30, 2014 / Mia Lee (Illinois) / 1956-BOARDWALK-CZ-BASE-PLAN.DWG

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**Pulte Central Zone**  
1901 North Roselle Road, Suite 1000  
Schaumburg, Illinois 60195



Second Floor Plan  
Options  
4" Exterior Walls

PRODUCTION MANAGER  
Andy Kuntz  
INITIAL RELEASE DATE:  
09/30/2014  
CURRENT RELEASE DATE:  
09/30/2014

REV #	DATE	DESCRIPTION

GARAGE HANDING  
**LEFT**

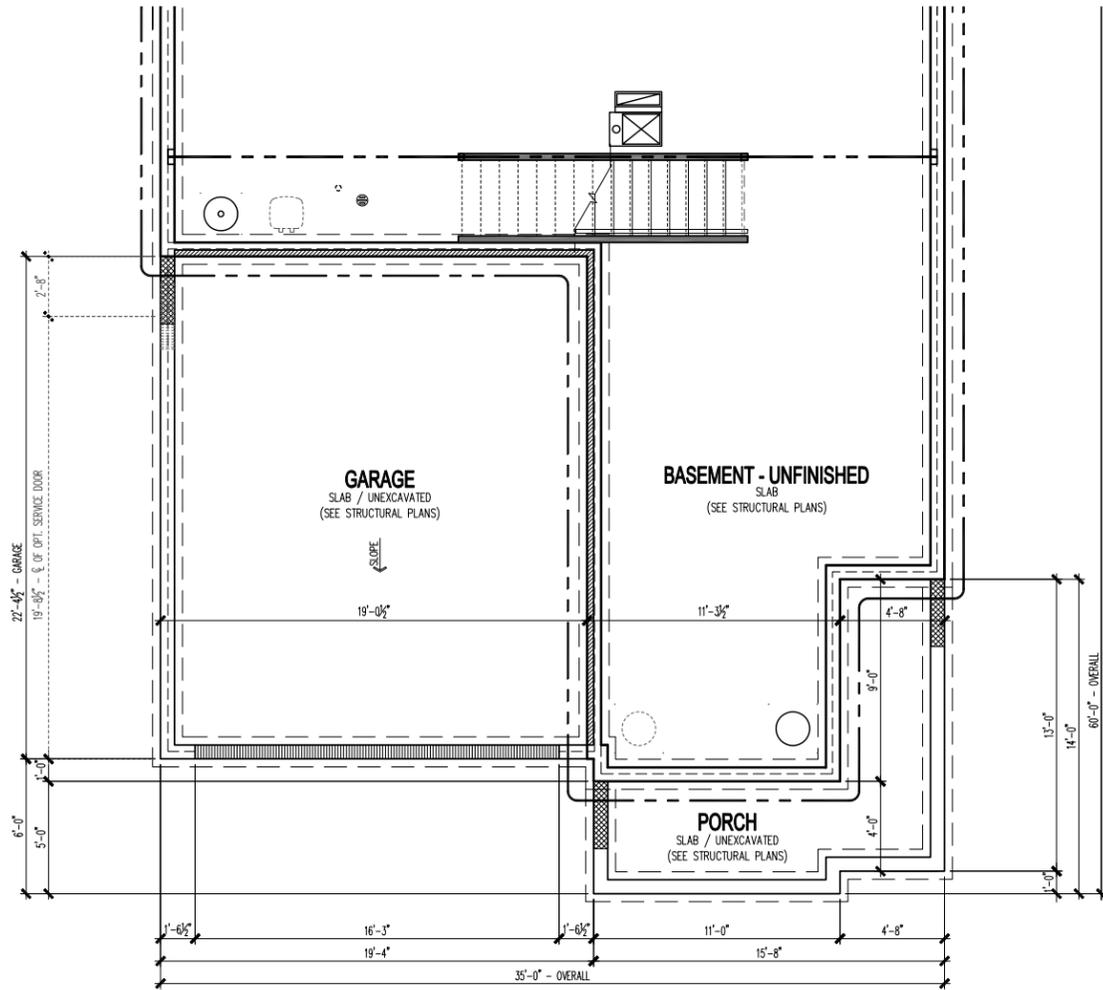
PLAN NAME  
**BOARDWALK**  
NPC PLAN NUMBER  
**1956**  
LAWSON PLAN ID  
--

SHEET  
**A1**  
**4-2.2**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS







**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* CRAWL BASEMENT/FOUNDATION PLAN SIMILAR



**Elevation 1 - Basement**  
**2 Car Front Entry**  
**Partial Foundation Plans**

PRODUCTION MANAGER  
 Andy Kunz  
 INITIAL RELEASE DATE:  
 09/30/2014  
 CURRENT RELEASE DATE:  
 09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID  
 --

SHEET  
**A3-1-MO1**  
**2FB4.2**

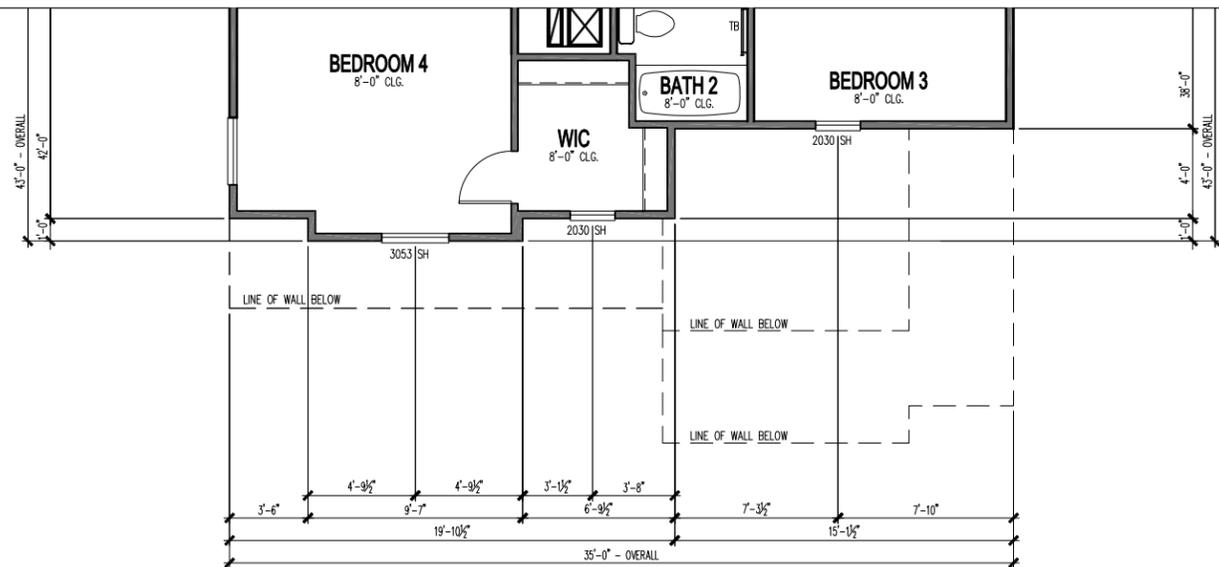
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

SCHEDULE of AREAS	
<b>BASE HOUSE - HEATED</b>	
FIRST FLOOR	1257
SECOND FLOOR	1405
<b>TOTAL BASE HEATED</b>	<b>2662</b>
<b>BASE HOUSE - UNDER ROOF</b>	
GARAGE - 2 CAR FRONT ENTRY	487
HOUSE SLAB	1257
<b>TOTAL BASE UNDER ROOF</b>	<b>1744</b>
<b>BASE OPTIONS - HEATED</b>	
SUNROOM	120
MODERN FIREPLACE	18
FIREPLACE	8
<b>FINISHED BASEMENT OPTIONS</b>	
FINISHED BASEMENT	909
PARTIAL FINISHED BASEMENT	909
CRAWL	84
MECHANICAL / STORAGE	208
STORAGE W/ FINISHED BASEMENT	90
FINISHED BASEMENT BEDROOM 7	198
FINISHED BASEMENT BATH 7	59
ADDITIONAL AREA W/ SUNROOM	120
<b>BASE OPTIONS</b>	
BASEMENT	1207
CRAWL	1158
PARTIAL BASEMENT	1117
CRAWL	84
BASEMENT / SUNROOM	120
CRAWL / SUNROOM	120
SLAB / SUNROOM	120
COVERED PORCH	120
COVERED PORCH W/ FIREPLACE	120
WOOD DECK	120
WOOD DECK W/ SUNROOM	150
CONCRETE PATIO	120
CONCRETE PATIO W/ SUNROOM	150
3 CAR FRONT GARAGE	200

LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 3	121.92	9.75	4.88	23.40	10.00
BEDROOM 4	162.62	13.01	6.50	18.90	7.60

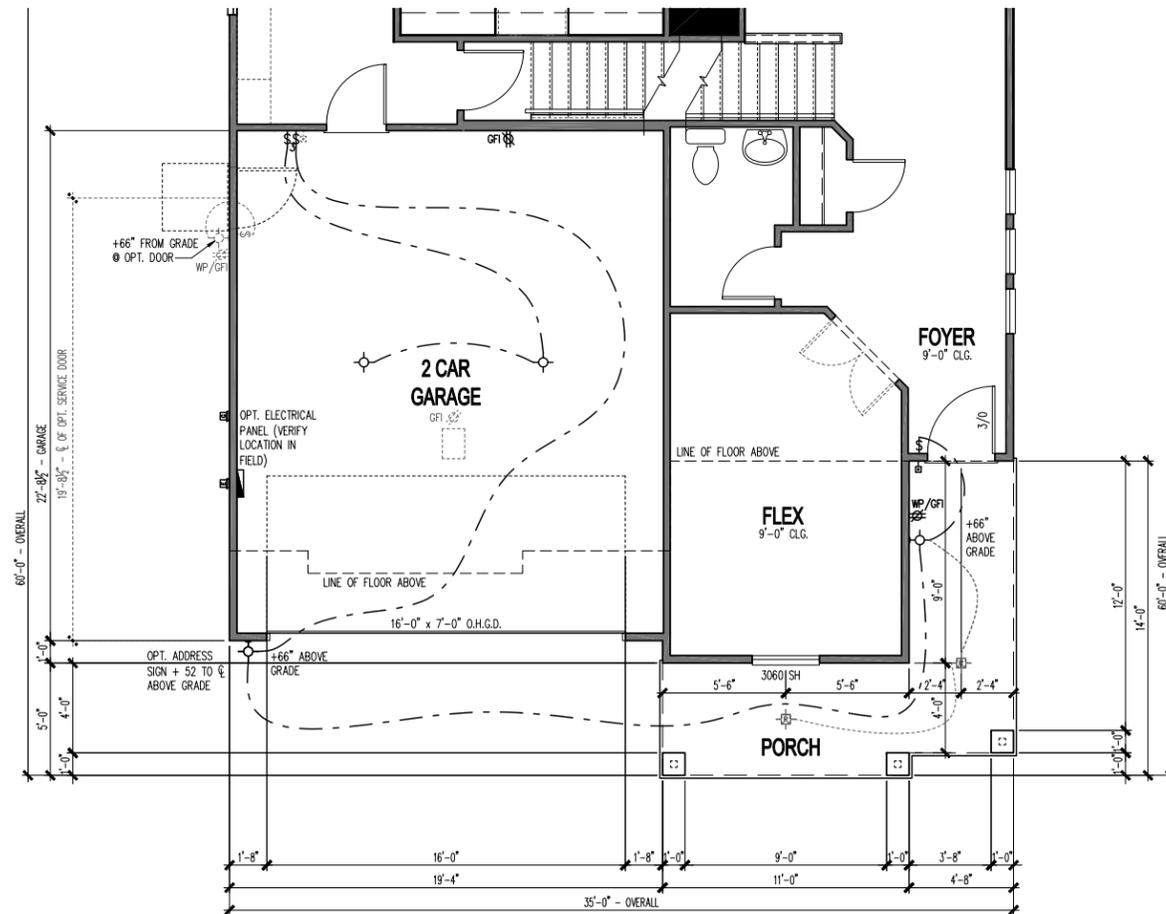
\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SHEET FOR INFORMATION NOT SHOWN HERE.

ELEVATION 1	
ADDITIONAL 1ST FLOOR - HEATED	0
TOTAL 1ST FLOOR	1257
ADDITIONAL 2ND FLOOR - HEATED	0
TOTAL 2ND FLOOR	1405
<b>TOTAL ELEV. HEATED</b>	<b>2662</b>
ADDITIONAL GARAGE - 2 CAR FRONT	0
TOTAL GARAGE	487
ADDITIONAL HOUSE SLAB	0
TOTAL HOUSE SLAB	1257
FRONT PORCH	115
<b>TOTAL ELEV. FOOTPRINT</b>	<b>1859</b>



**2ND FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**1ST FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

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**Pulte Central Zone**  
1901 North Roselle Road, Suite 1000  
Schaumburg, Illinois 60195



**Elevation 1**  
**2 Car Front Entry**  
**Partial Floor and Utility Plans**

PRODUCTION MANAGER  
Andy Kunz  
INITIAL RELEASE DATE:  
09/30/2014  
CURRENT RELEASE DATE:  
09/30/2014

REV #	DATE	DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
NPC PLAN NUMBER  
**1956**  
LAWSON PLAN ID  
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SHEET  
**A3-1-MO1**

**2FB4.3**

REV #	DATE	DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID

SHEET  
**A3-2-MO1**  
 2FB4.1

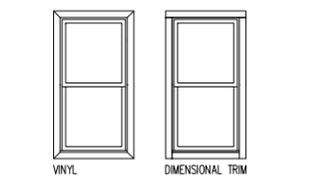
### ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.  
 \*\* CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS.  
 \* SCHEDULE HAS BEEN CALCULATED ASSUMING LEAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION.

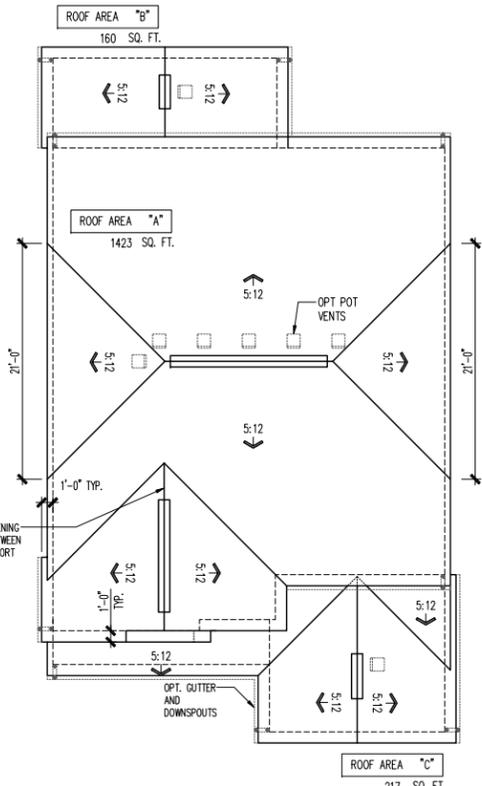
ELEVATION 2									
ROOF AREA "A"		SQ FTG		1423		AT / NEAR RIDGE		AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. EACH)	POT SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. EACH)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. EACH)	
HIGH - POT VENTS ONLY	1.90 - 2.37	2.54	45.41	6	0				
AT EAVE	2.85 - 2.37	3.06	54.59				0	44.00	
<b>TOTAL (MIN)</b>	<b>4.74 - 4.74</b>	<b>5.60</b>	<b>100.00</b>						
HIGH - RIDGE VENT	1.90 - 2.37	3.00	49.54	0	0	24.00			
AT EAVE	2.85 - 2.37	3.06	50.46				0	44.00	
<b>TOTAL (MIN)</b>	<b>4.74 - 4.74</b>	<b>6.06</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					

ROOF AREA "B"		SQ FTG		160		AT / NEAR RIDGE		AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. EACH)	POT SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. EACH)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. EACH)	
HIGH - POT VENTS ONLY	0.21 - 0.27	0.42	46.56	1	0				
AT EAVE	0.32 - 0.27	0.49	53.44				0	7.00	
<b>TOTAL (MIN)</b>	<b>0.53 - 0.53</b>	<b>0.91</b>	<b>100.00</b>						
HIGH - RIDGE VENT	0.21 - 0.27	0.38	43.55	0	0	3.00			
AT EAVE	0.32 - 0.27	0.49	56.45				0	7.00	
<b>TOTAL (MIN)</b>	<b>0.53 - 0.53</b>	<b>0.86</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					

ROOF AREA "C"		SQ FTG		217		AT / NEAR RIDGE		AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. EACH)	POT SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. EACH)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. EACH)	
HIGH - POT VENTS ONLY	0.29 - 0.36	0.42	43.28	1	0				
AT EAVE	0.43 - 0.36	0.56	56.74				0	8.00	
<b>TOTAL (MIN)</b>	<b>0.72 - 0.72</b>	<b>0.98</b>	<b>100.00</b>						
HIGH - RIDGE VENT	0.29 - 0.36	0.50	47.37	0	0	4.00			
AT EAVE	0.43 - 0.36	0.56	52.63				0	8.00	
<b>TOTAL (MIN)</b>	<b>0.72 - 0.72</b>	<b>1.06</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					



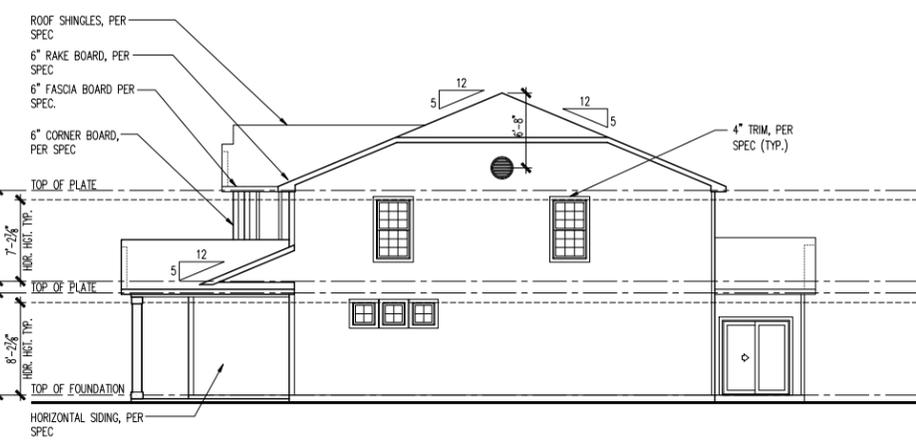
**SIDE AND REAR WINDOW TRIM PER COMMUNITY SPECS**  
 SCALE: 1/4" = 1'-0"



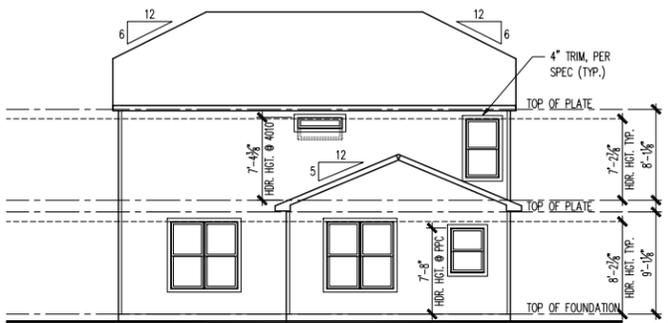
**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



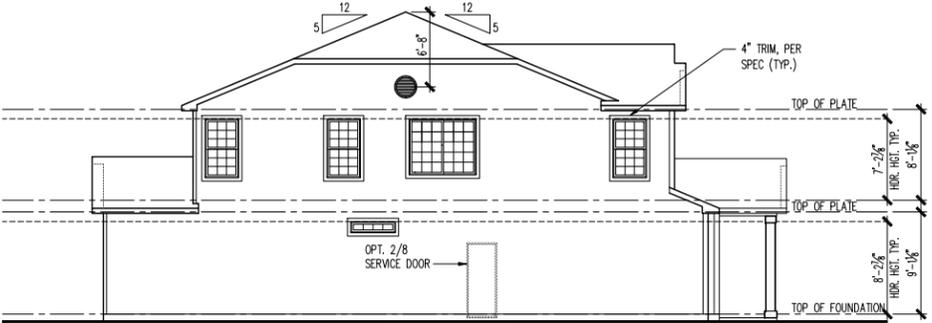
**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



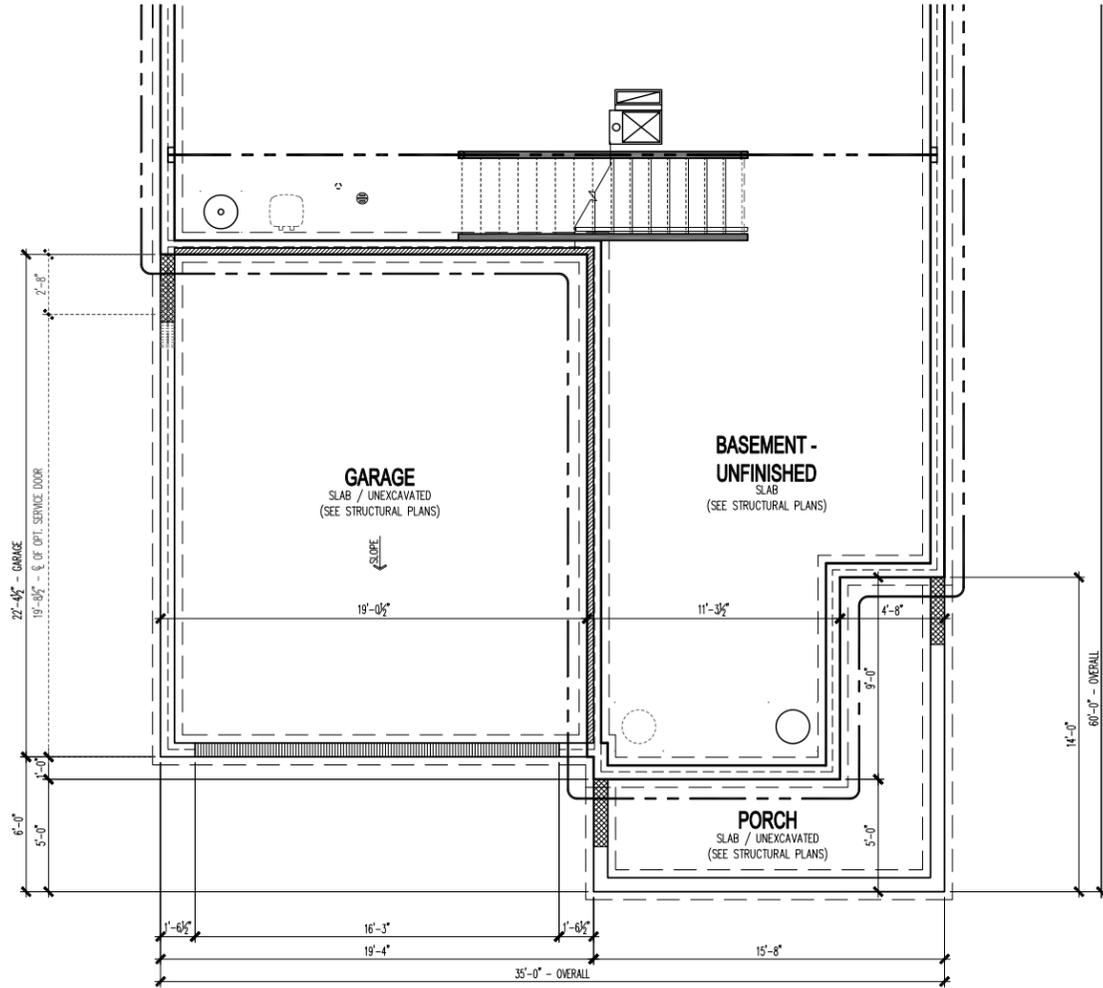
**RIGHT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* CRAWL BASEMENT/FOUNDATION PLAN SIMILAR



**Elevation 2 - Basement**  
**2 Car Front Entry**  
**Partial Foundation Plans**

PRODUCTION MANAGER  
 Andy Kunz  
 INITIAL RELEASE DATE:  
 09/30/2014  
 CURRENT RELEASE DATE:  
 09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID  
 --

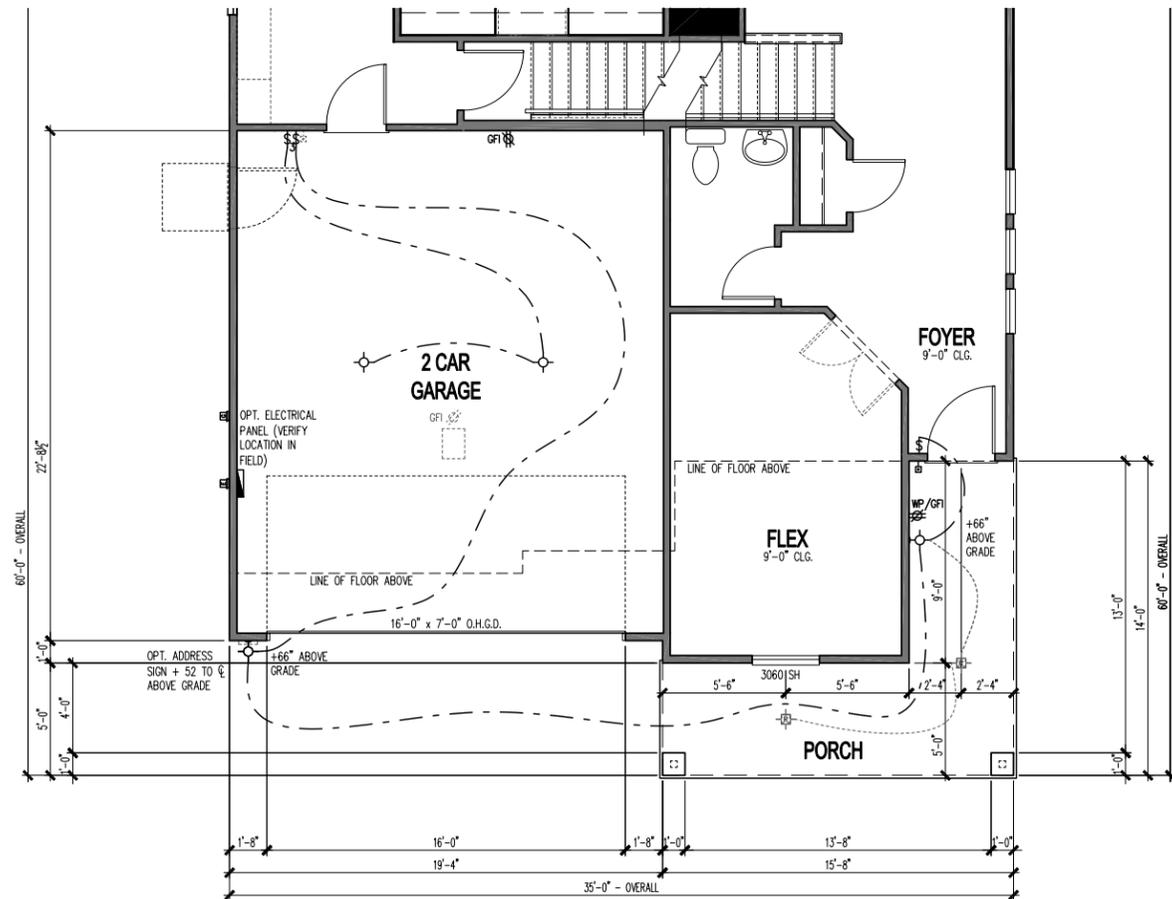
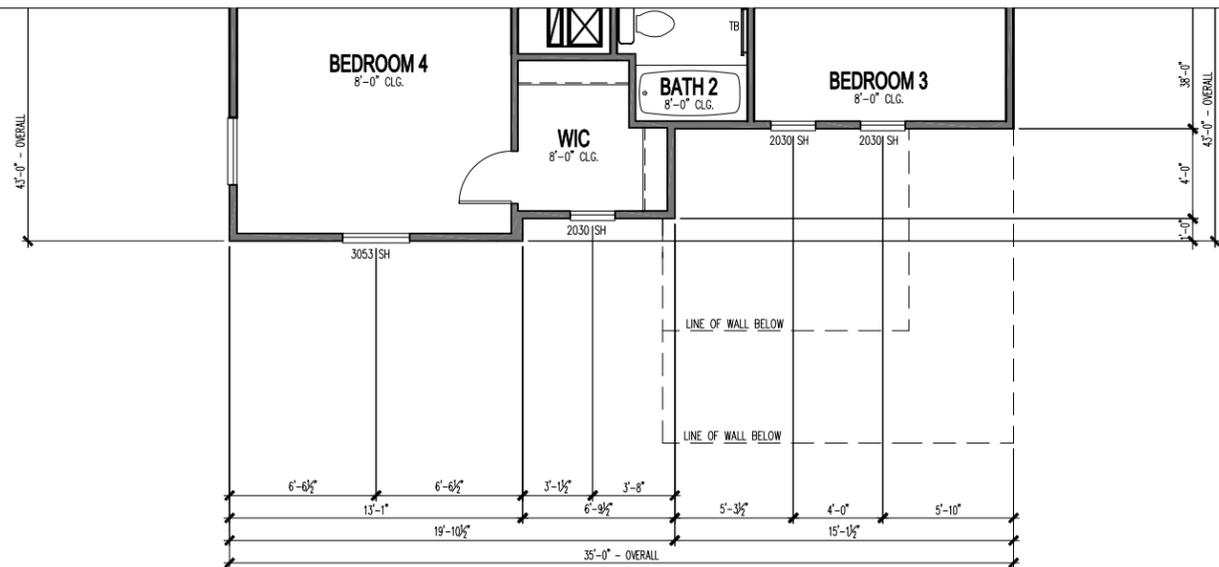
SHEET  
**A3-2-MO1**  
 2FB4.2

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

SCHEDULE of AREAS	
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<b>TOTAL BASE HEATED</b>	<b>2662</b>
<b>BASE HOUSE - UNDER ROOF</b>	
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HOUSE SLAB	1257
<b>TOTAL BASE UNDER ROOF</b>	<b>1744</b>
<b>BASE OPTIONS - HEATED</b>	
SUNROOM	120
MODERN FIREPLACE	18
FIREPLACE	8
<b>FINISHED BASEMENT OPTIONS</b>	
FINISHED BASEMENT	909
PARTIAL FINISHED BASEMENT	909
CRAWL	84
MECHANICAL / STORAGE	208
STORAGE W/ FINISHED BASEMENT	90
FINISHED BASEMENT BEDROOM 7	198
FINISHED BASEMENT BATH 7	59
ADDITIONAL AREA W/ SUNROOM	120
<b>BASE OPTIONS</b>	
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PARTIAL BASEMENT	1117
CRAWL	84
BASEMENT / SUNROOM	120
CRAWL / SUNROOM	120
SLAB / SUNROOM	120
COVERED PORCH	120
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3 CAR FRONT GARAGE	200

LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 3	121.92	9.75	4.88	23.40	10.00
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\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SHEET FOR INFORMATION NOT SHOWN HERE.



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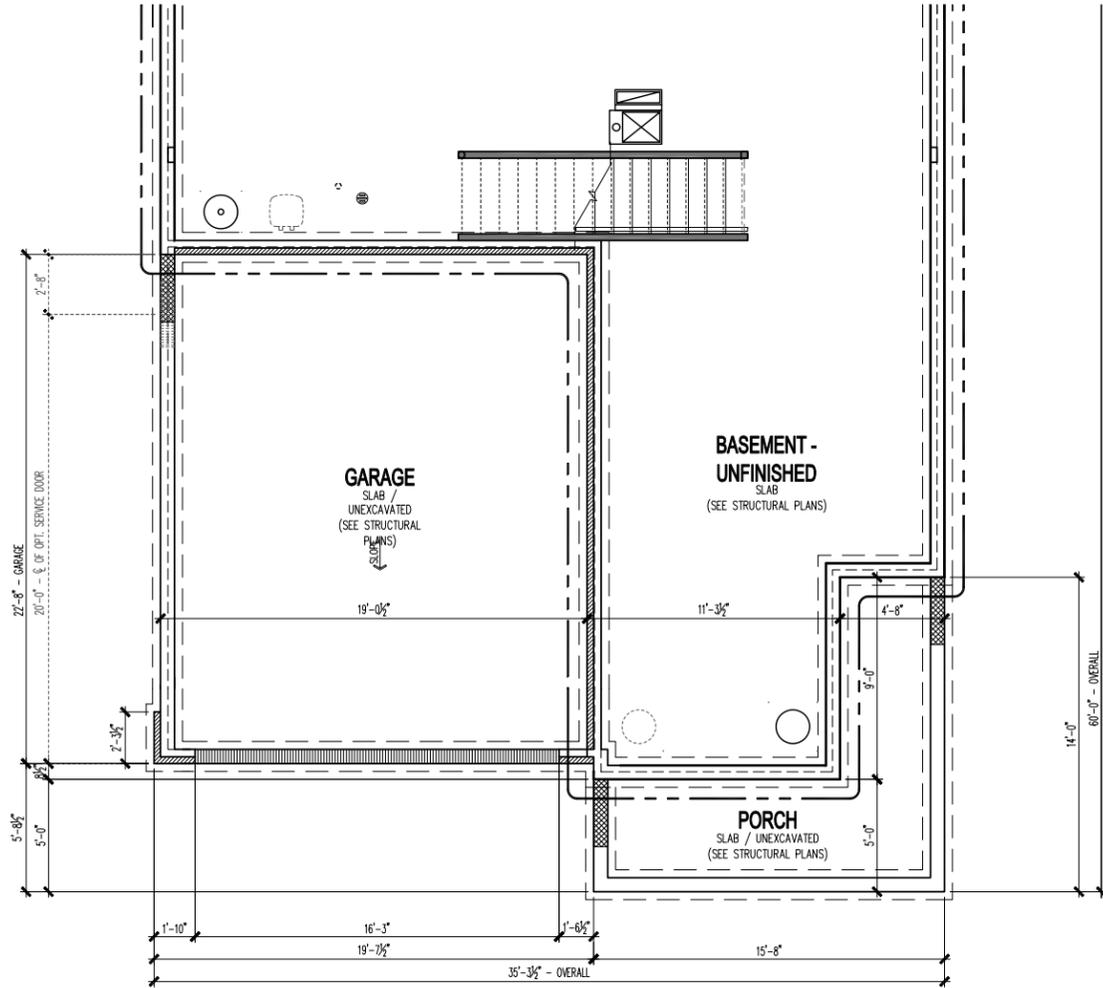
REV #	DATE	DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
NPC PLAN NUMBER  
**1956**  
LAWSON PLAN ID  
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SHEET  
**A3-2-MO1**  
**2FB4.3**





**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* CRAWL BASEMENT/FOUNDATION PLAN SIMILAR

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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GARAGE HANDING  
**LEFT**

PLAN NAME  
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 LAWSON PLAN ID  
 --

SHEET  
**A3-4-MO1**  
 2FB4.2

Elevation 4 - Basement  
 2 Car Front Entry  
 Partial Foundation Plans

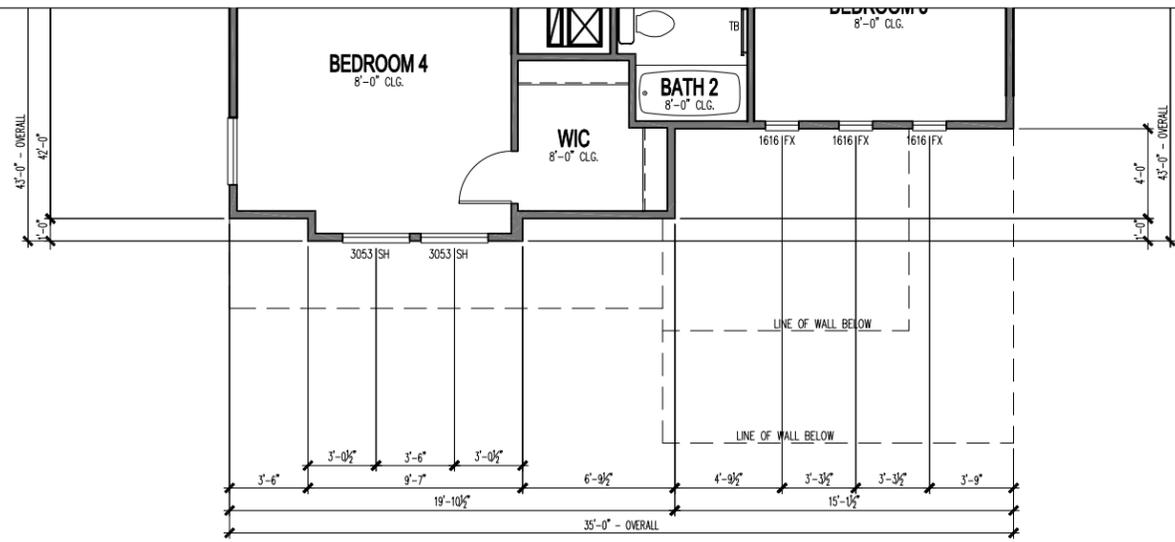


**Pulte Central Zone**  
 1901 North Roselle Road, Suite 1000  
 Schaumburg, Illinois 60195

SCHEDULE of AREAS	
<b>BASE HOUSE - HEATED</b>	
FIRST FLOOR	1257
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WOOD DECK W/ SUNROOM	150
CONCRETE PATIO	120
CONCRETE PATIO W/ SUNROOM	150
3 CAR FRONT GARAGE	200

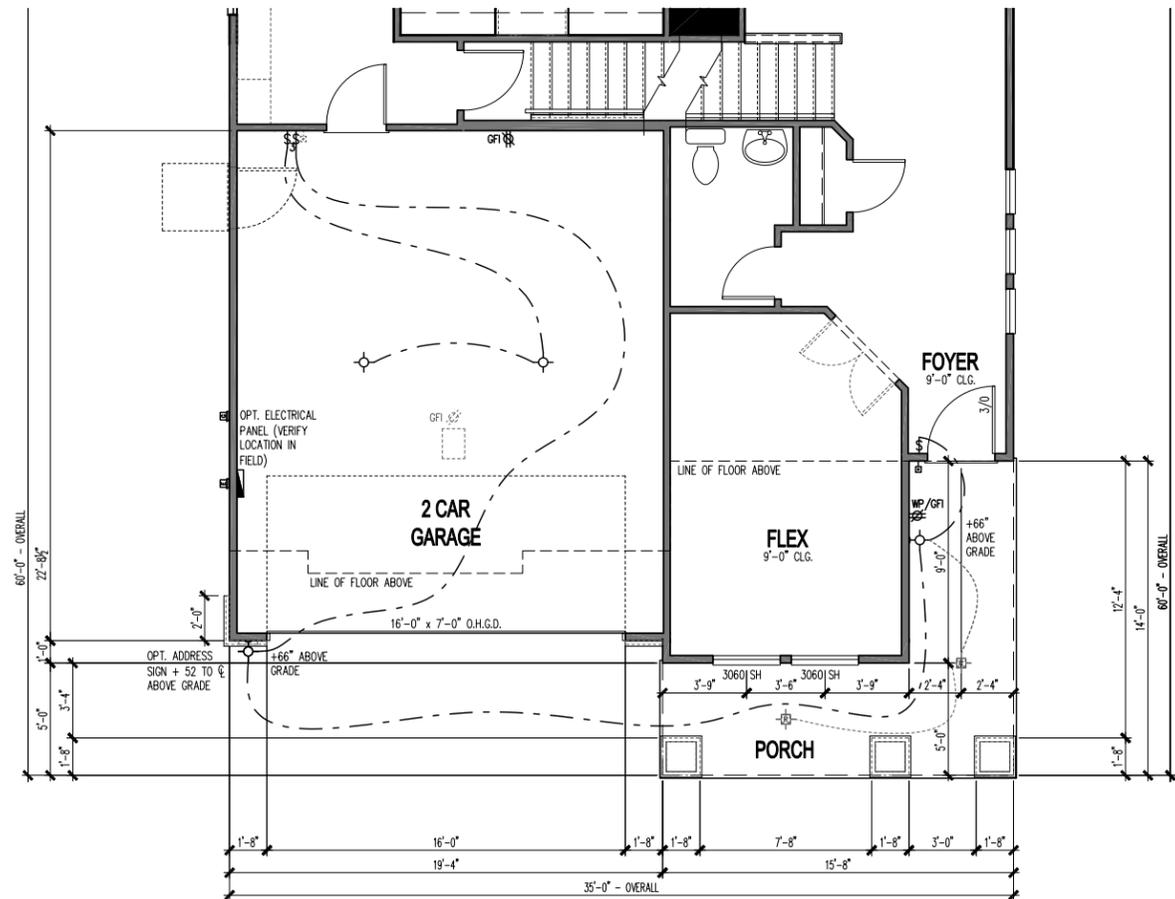
LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 3	121.92	9.75	4.88	15.30	6.30
BEDROOM 4	159.12	12.73	6.36	21.45	5.00

\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SHEET FOR INFORMATION NOT SHOWN HERE.



**2ND FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

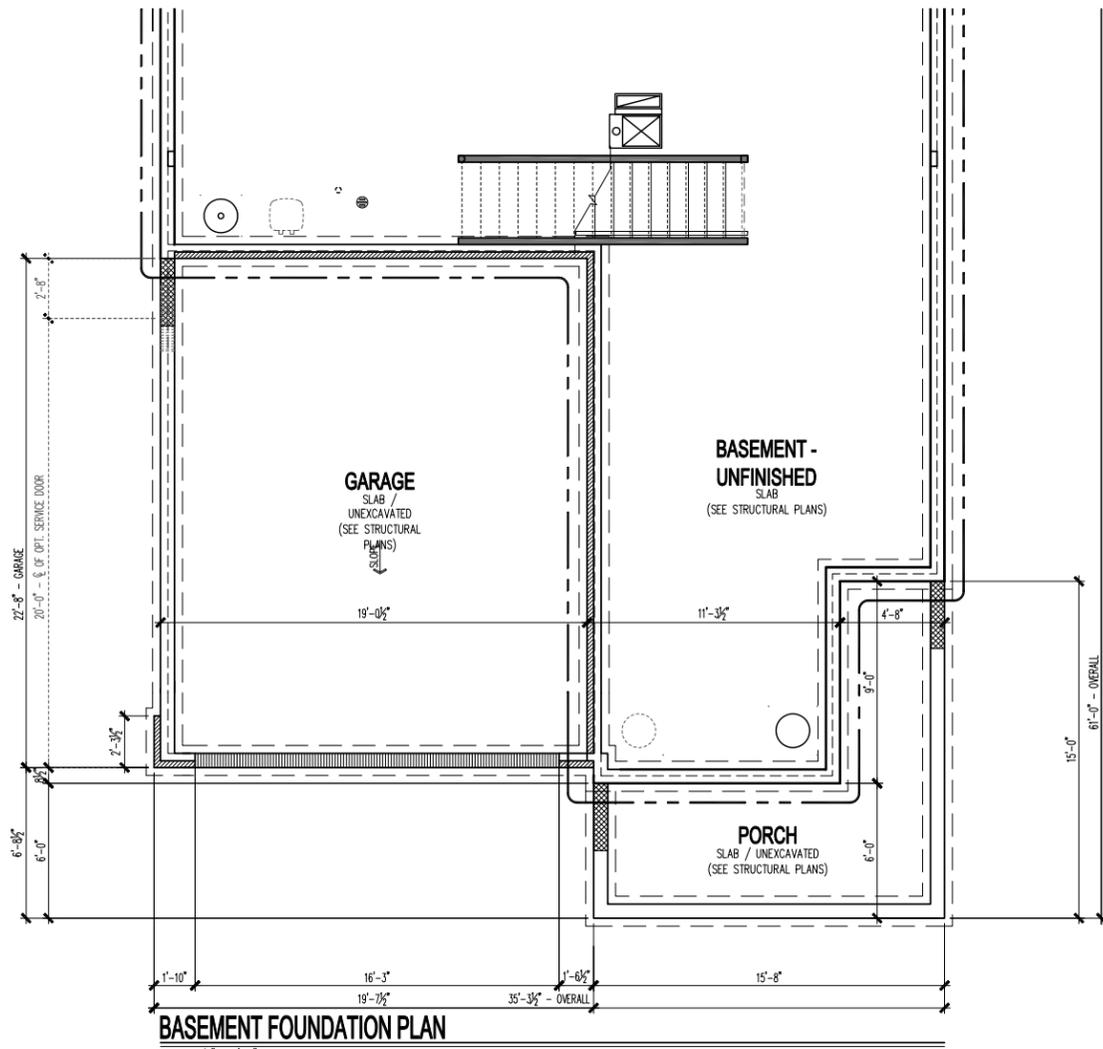


**1ST FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN

REV #	DATE	DESCRIPTION





NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER  
 Andy Kunz  
 INITIAL RELEASE DATE:  
 09/30/2014  
 CURRENT RELEASE DATE:  
 09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID  
 --

SHEET  
**A3-5-MO1**  
 2FB4.2

Elevation 5 - Basement  
 2 Car Front Entry  
 Partial Foundation Plans

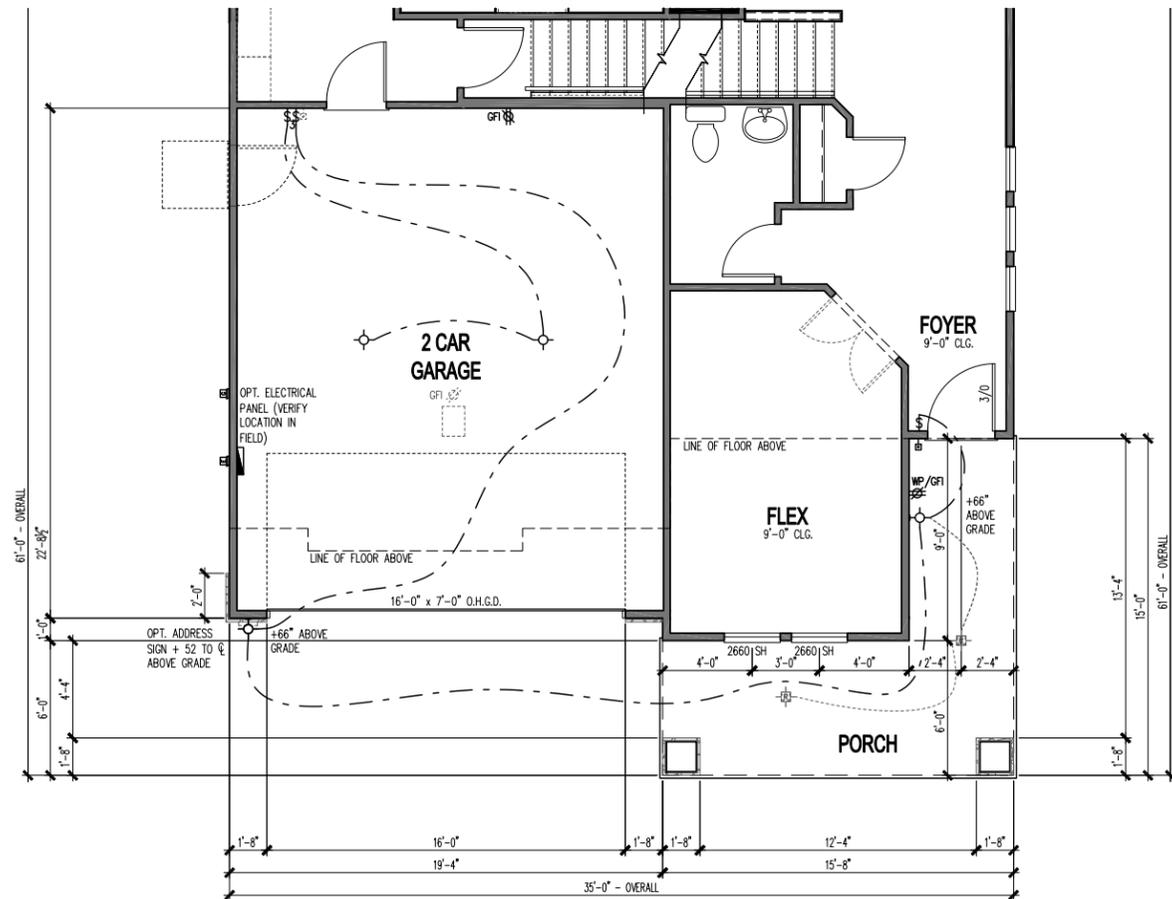
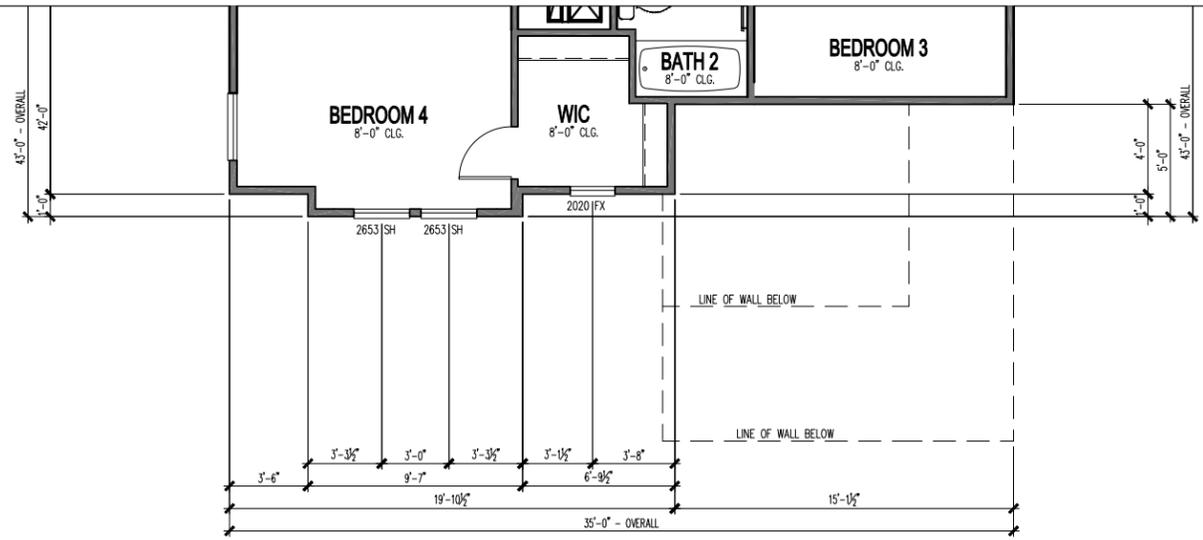


**Pulte Central Zone**  
 1901 North Roselle Road, Suite 1000  
 Schaumburg, Illinois 60195

SCHEDULE of AREAS	
<b>BASE HOUSE - HEATED</b>	
FIRST FLOOR	1257
SECOND FLOOR	1405
<b>TOTAL BASE HEATED</b>	<b>2662</b>
<b>BASE HOUSE - UNDER ROOF</b>	
GARAGE - 2 CAR FRONT ENTRY	487
HOUSE SLAB	1257
<b>TOTAL BASE UNDER ROOF</b>	<b>1744</b>
<b>BASE OPTIONS - HEATED</b>	
SUNROOM	120
MODERN FIREPLACE	18
FIREPLACE	8
<b>FINISHED BASEMENT OPTIONS</b>	
FINISHED BASEMENT	909
PARTIAL FINISHED BASEMENT	909
CRAWL	84
MECHANICAL / STORAGE	208
STORAGE W/ FINISHED BASEMENT	90
FINISHED BASEMENT BEDROOM 7	198
FINISHED BASEMENT BATH 7	59
ADDITIONAL AREA W/ SUNROOM	120
<b>BASE OPTIONS</b>	
BASEMENT	1207
CRAWL	1158
PARTIAL BASEMENT	1117
CRAWL	84
BASEMENT / SUNROOM	120
CRAWL / SUNROOM	120
SLAB / SUNROOM	120
COVERED PORCH	120
COVERED PORCH W/ FIREPLACE	120
WOOD DECK	120
WOOD DECK W/ SUNROOM	150
CONCRETE PATIO	120
CONCRETE PATIO W/ SUNROOM	150
3 CAR FRONT GARAGE	200

LIGHT & VENT SCHEDULE					
ROOM NAME	AREA	REQUIRED		SUPPLIED	
		LIGHT	VENT	LIGHT	VENT
BEDROOM 3	121.92	9.75	4.88	11.70	5.00
BEDROOM 4	159.12	12.73	6.36	32.70	13.00

\*\* REFER TO LIGHT & VENT SCHEDULE ON COVER SHEET FOR INFORMATION NOT SHOWN HERE



PLOTTED: January 30, 2015 / SouthernDesigns / 1956-BOARDWALK-MC-WMD-EL05.DWG

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Schaumburg, Illinois 60195



**Elevation 5**  
2 Car Front Entry  
Partial Floor and Utility Plans

PRODUCTION MANAGER  
Andy Kunz  
INITIAL RELEASE DATE:  
09/30/2014  
CURRENT RELEASE DATE:  
09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
NPC PLAN NUMBER  
**1956**  
LAWSON PLAN ID  
--

SHEET  
**A3-5-MO1**

**2FB4.3**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

REV #	DATE	DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID

SHEET  
**A3-6-MO1**

2FB4.1

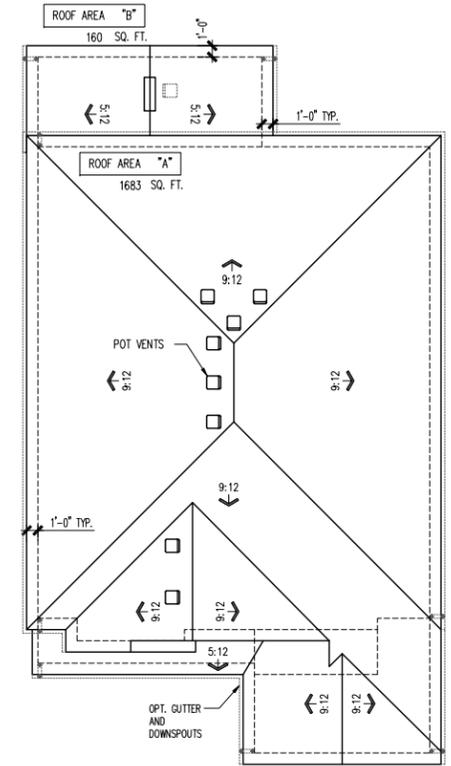
### ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.  
 \*\* CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS.  
 \* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION.

ELEVATION 6									
ROOF AREA "A"		SO. FTG.	1683	AT / NEAR RIDGE			AT / NEAR EAVE		
VENT TYPE	SO. FT. REQUIRED RANGE	SO. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. EACH)	POT SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. EACH)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. EACH)	
HIGH - POT VENTS ONLY	2.24 - 2.81	3.39	49.39	0	0				
AT EAVE	3.37 - 2.81	3.47	50.61				0	50.00	
<b>TOTAL (MIN)</b>	<b>5.61 - 5.61</b>	<b>6.86</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					
HIGH - RIDGE VENT	2.24 - 2.81	3.39	49.39	0	0	0.00			
AT EAVE	3.37 - 2.81	3.47	50.61				0	50.00	
<b>TOTAL (MIN)</b>	<b>5.61 - 5.61</b>	<b>6.86</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					

ROOF AREA "B"		SO. FTG.	160	AT / NEAR RIDGE			AT / NEAR EAVE		
VENT TYPE	SO. FT. REQUIRED RANGE	SO. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. EACH)	POT SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. EACH)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. EACH)	
HIGH - POT VENTS ONLY	0.21 - 0.27	0.42	46.56	1	0				
AT EAVE	0.32 - 0.27	0.49	53.44				0	7.00	
<b>TOTAL (MIN)</b>	<b>0.53 - 0.53</b>	<b>0.91</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					
HIGH - RIDGE VENT	0.21 - 0.27	0.38	43.55	0	0	3.00			
AT EAVE	0.32 - 0.27	0.49	56.45				0	7.00	
<b>TOTAL (MIN)</b>	<b>0.53 - 0.53</b>	<b>0.86</b>	<b>100.00</b>	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE					

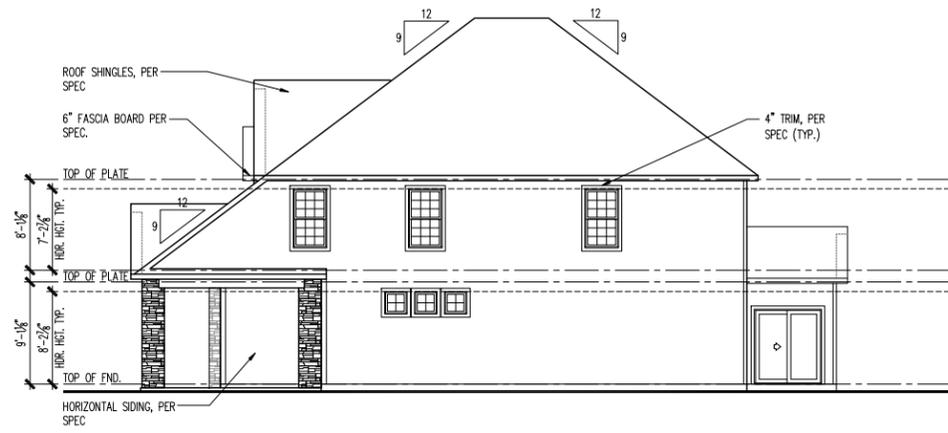
**SIDE AND REAR WINDOW TRIM PER COMMUNITY SPECS**  
 SCALE: 1/4" = 1'-0"



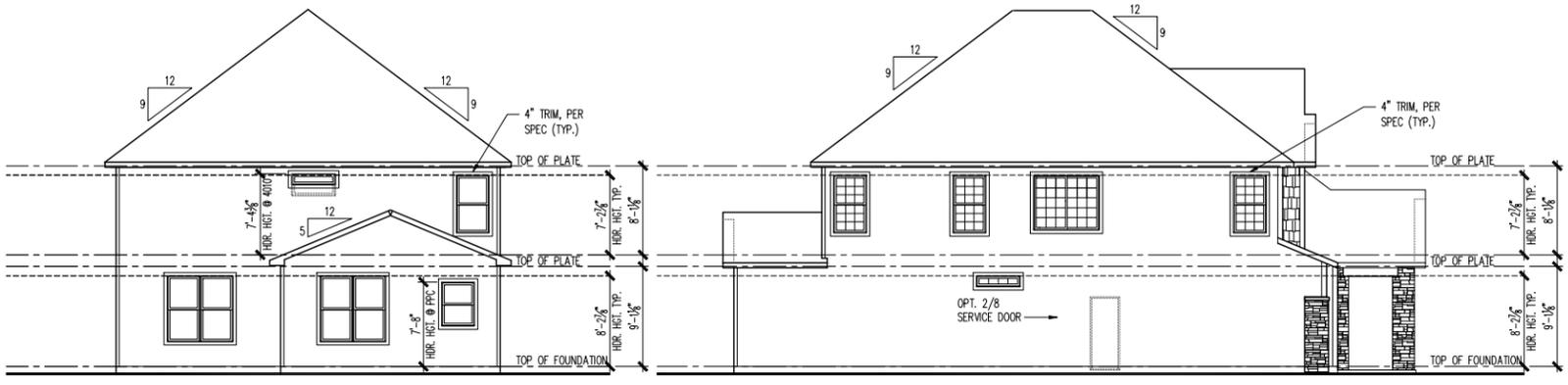
**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

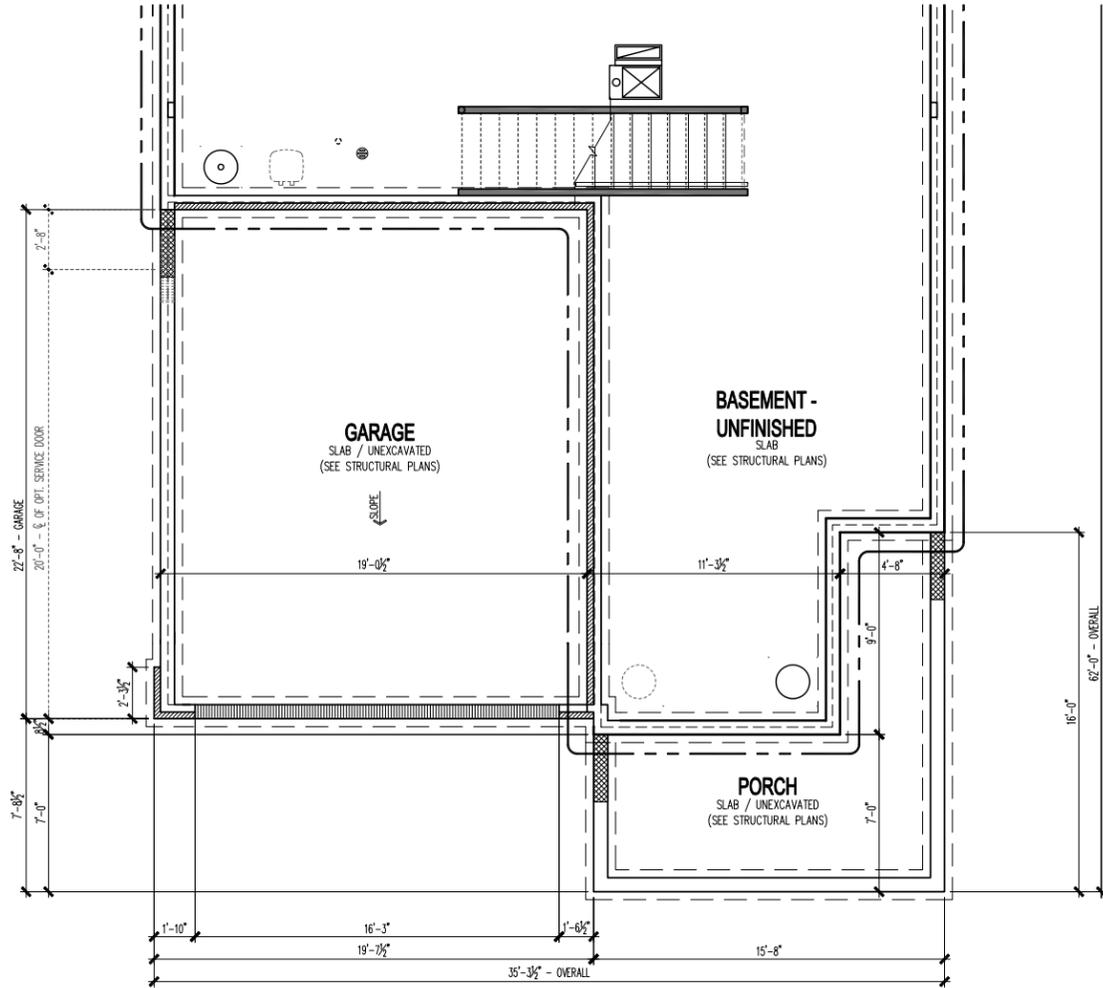


**RIGHT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

**LEFT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**BASEMENT FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* CRAWL BASEMENT/FOUNDATION PLAN SIMILAR



**Pulte Central Zone**  
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Elevation 6 - Basement  
 2 Car Front Entry  
 Partial Foundation Plans

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER  
 Andy Kuntz  
 INITIAL RELEASE DATE:  
 09/30/2014  
 CURRENT RELEASE DATE:  
 09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING  
**LEFT**

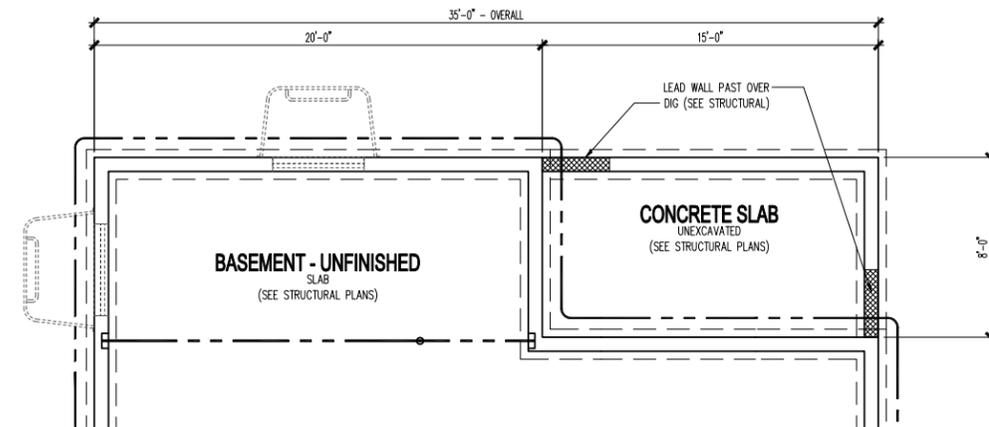
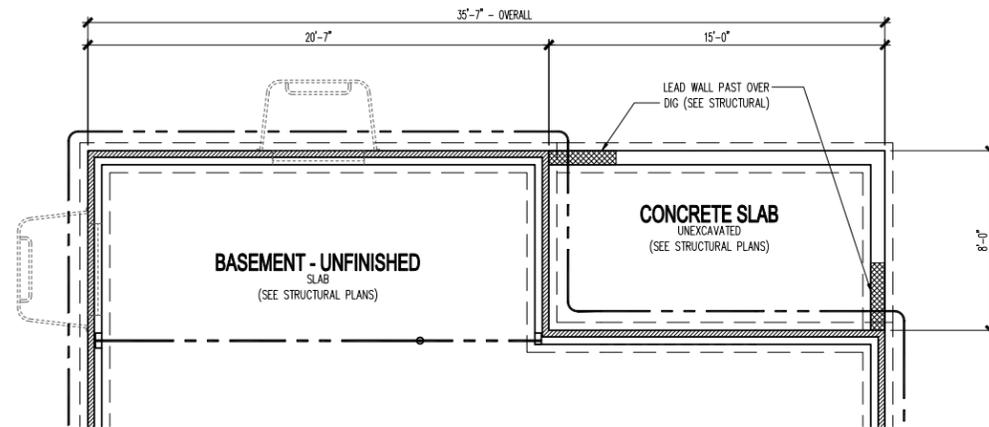
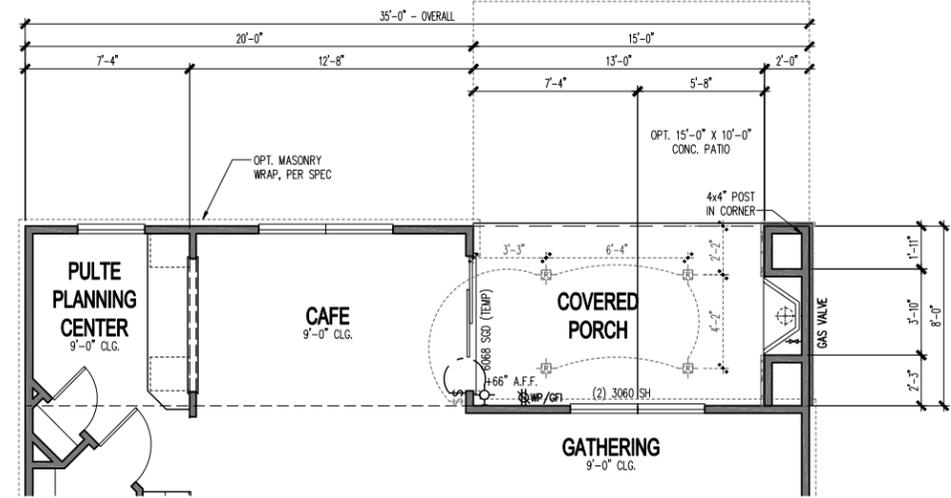
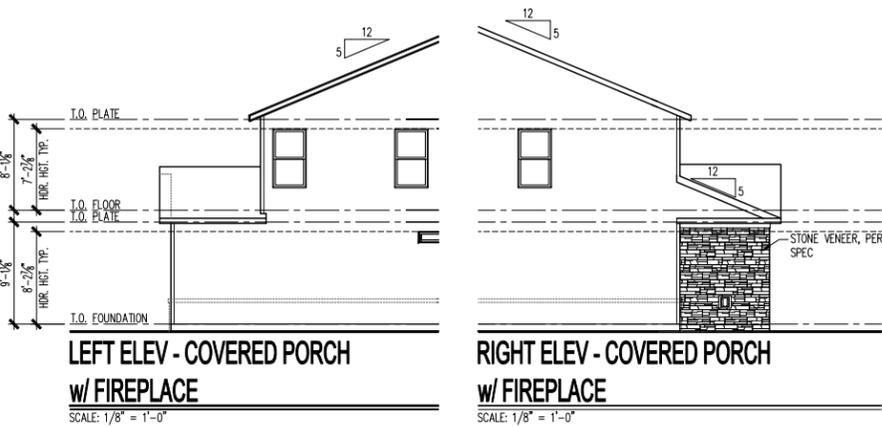
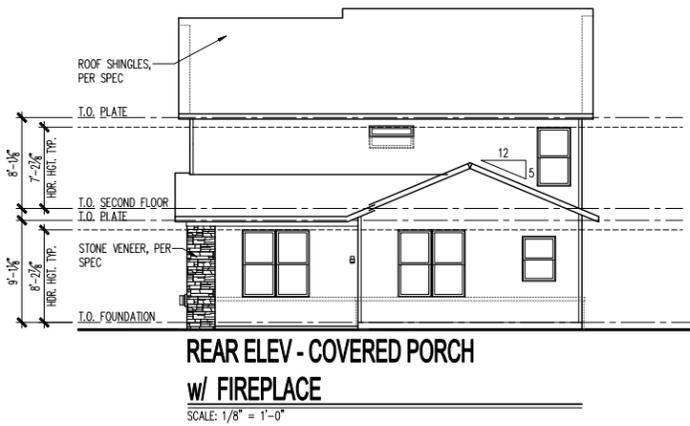
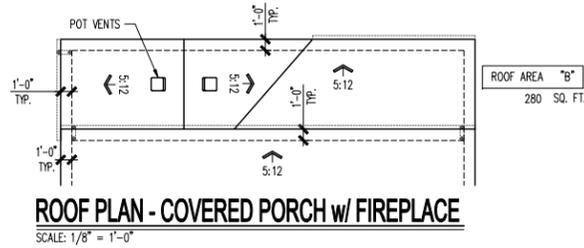
PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID  
 --

SHEET  
**A3-6-MO1**  
 2FB4.2



OUTDOOR FIREPLACE (ADDITIONAL VENTING REQUIRED PER ELEVATION)						
ROOF AREA "A"	SO FIG	280	AT / NEAR RIDGE		AT / NEAR EAVE	
VENT TYPE	REQ'D RANGE	PERCENT OF TOTAL SUPPLIED	POT RANGE (SQ. FT. SUPPLIED)	POT SMALL (SQ. FT. SUPPLIED)	RIDGE VENT (SQ. FT. SUPPLIED)	EAVE VENT (SQ. FT. SUPPLIED)
POT VENTS ONLY	0.37	0.47	0.42	43.28	1	0
AT EAVE	0.54	0.47	0.54	54.78	0	0
<b>TOTAL (MIN)</b>	<b>0.93</b>	<b>0.93</b>	<b>0.98</b>	<b>100.00</b>		<b>8.00</b>
ROOF AREA "B"	SO FIG	280	AT / NEAR RIDGE		AT / NEAR EAVE	
VENT	0.37	0.47	0.50	47.37	0	4.00
AT EAVE	0.54	0.47	0.54	52.43	0	0
<b>TOTAL (MIN)</b>	<b>0.93</b>	<b>0.93</b>	<b>1.04</b>	<b>100.00</b>		<b>8.00</b>

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.  
 \*\* CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS.  
 \* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION IS 50% OF TOTAL AND RIDGE AT 40% OF TOTAL REQUIRED VENTILATION.



PLOTTED: September 30, 2014 / Mica Lee (Illinois) / 1956-BOARDWALK-CZ-BASE-OPTIS.DWG

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Covered Porch w/ Fireplace - 4" Walls  
 Floor, Foundation, Utility Plans and Elevations  
 In-Grade Foundation

PRODUCTION MANAGER  
 Andy Kuntz  
 INITIAL RELEASE DATE:  
 09/30/2014  
 CURRENT RELEASE DATE:  
 09/30/2014

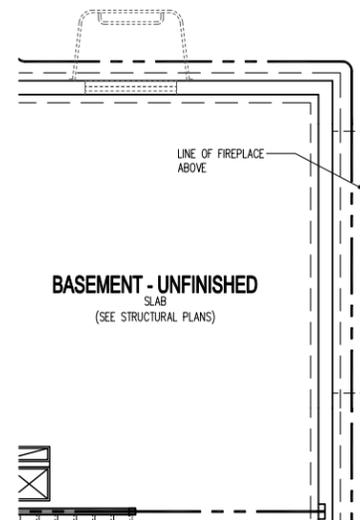
REV #	DATE	DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID

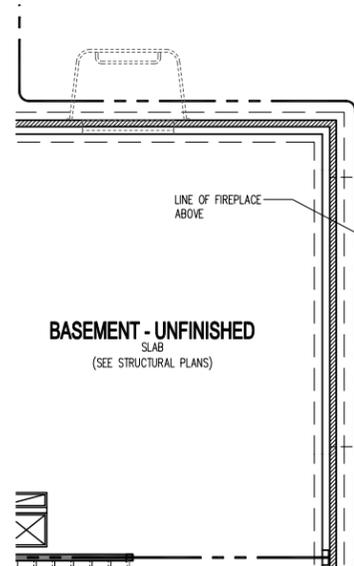
SHEET  
**A4**  
**CPF4I.1**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



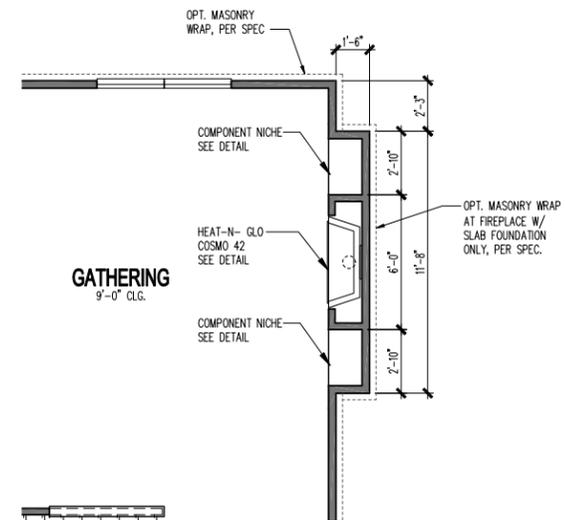
**IN-GRADE FOUNDATION PLAN - MODERN FIREPLACE**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



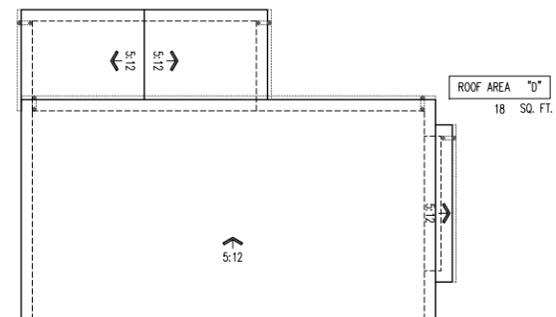
**IN-GRADE FOUNDATION PLAN w/ MASONRY - MODERN FIREPLACE**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



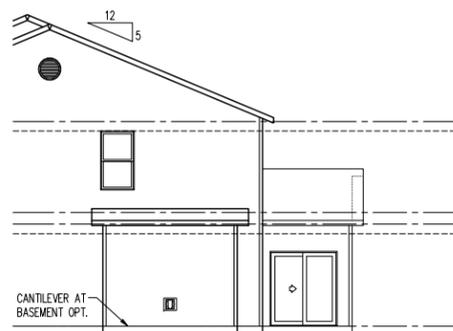
**FIRST FLOOR PLAN - MODERN FIREPLACE OPTION - 4" WALLS**

SCALE: 1/4" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**ROOF PLAN - MODERN FIREPLACE**

SCALE: 1/8" = 1'-0"  
\* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**RIGHT ELEV - MODERN FIREPLACE**

SCALE: 1/8" = 1'-0"



**REAR ELEV - MODERN FIREPLACE**

SCALE: 1/8" = 1'-0"

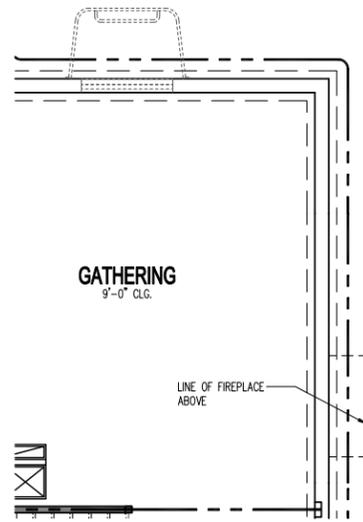
PRODUCTION MANAGER	Andy Kunz
INITIAL RELEASE DATE:	09/30/2014
CURRENT RELEASE DATE:	09/30/2014

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GARAGE HANDING  
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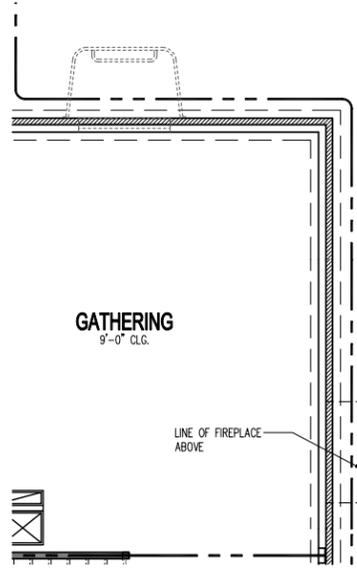
PLAN NAME  
**BOARDWALK**  
NPC PLAN NUMBER  
**1956**  
LAWSON PLAN ID

SHEET  
**A4**  
**MF41.1**



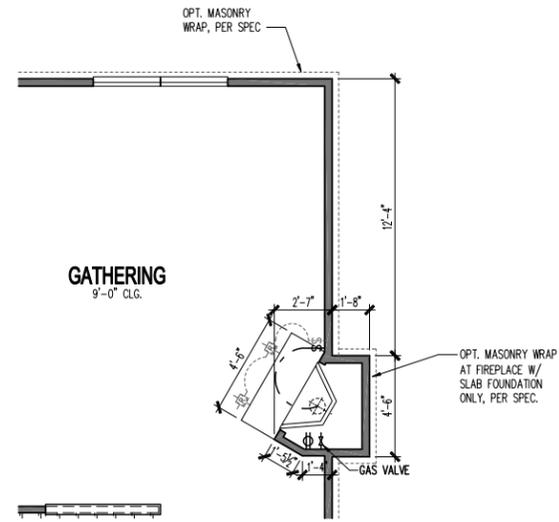
**IN-GRADE FOUNDATION PLAN - FIREPLACE**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN



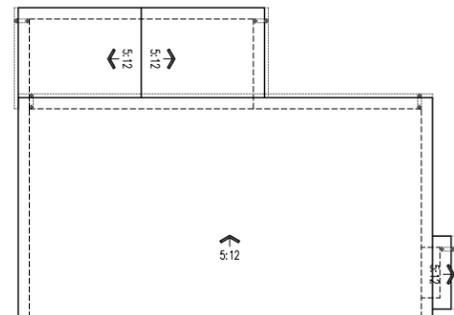
**IN-GRADE FOUNDATION PLAN w/ MASONRY - FIREPLACE**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN



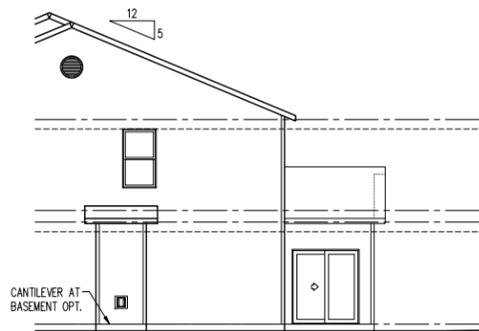
**FIRST FLOOR PLAN - FIREPLACE - 4\"/>**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**ROOF PLAN - FIREPLACE**

SCALE: 1/8" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN



**RIGHT ELEV - FIREPLACE**

SCALE: 1/8" = 1'-0"



**REAR ELEV - FIREPLACE**

SCALE: 1/8" = 1'-0"

PLOTTED: September 30, 2014 / Mia Lee (Illinois) / 1956-BOARDWALK-CZ-BASE-OPT1.DWG

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**Pulte Central Zone**  
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 Schaumburg, Illinois 60195



**Fireplace - 4" Walls**  
**Floor, Foundations, Roof Plan, and Elevations**  
**In-Grade Foundation**

PRODUCTION MANAGER  
 Andy Kunz  
 INITIAL RELEASE DATE:  
 09/30/2014  
 CURRENT RELEASE DATE:  
 09/30/2014

REV #	DATE	DESCRIPTION
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GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID

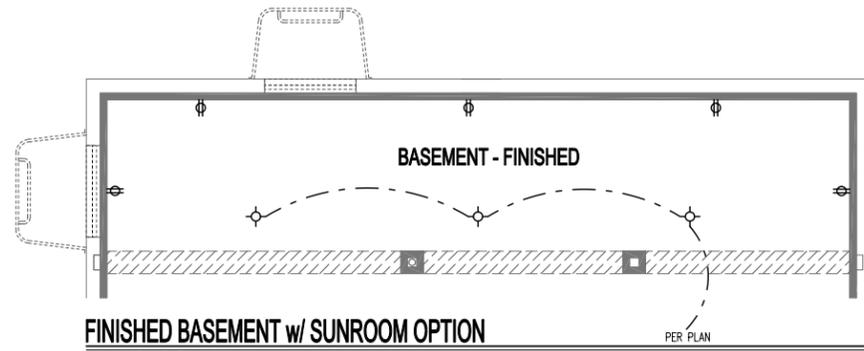
SHEET  
**A4**  
**F4I.1**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



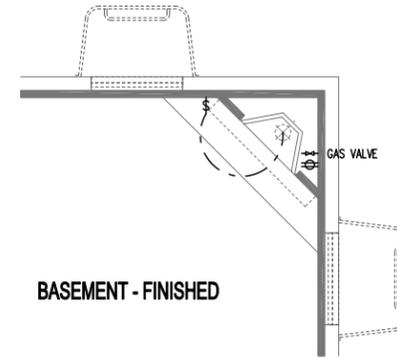






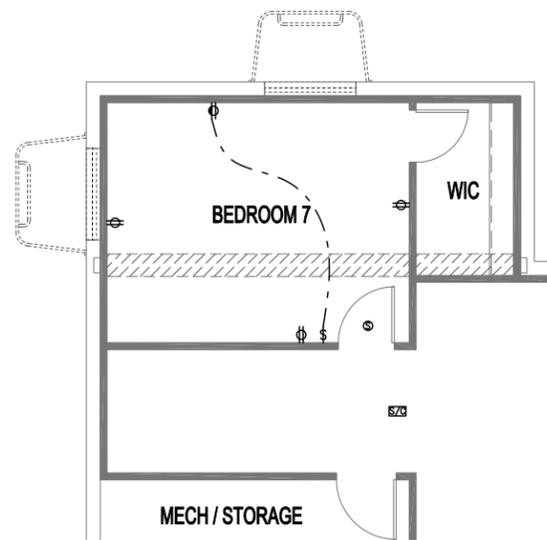
**FINISHED BASEMENT w/ SUNROOM OPTION**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



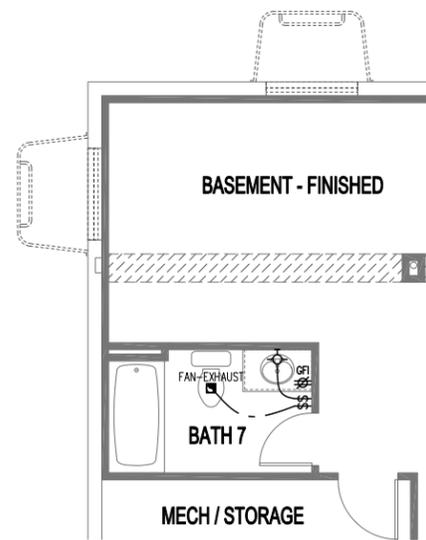
**TRADITIONAL FIREPLACE OPTION**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



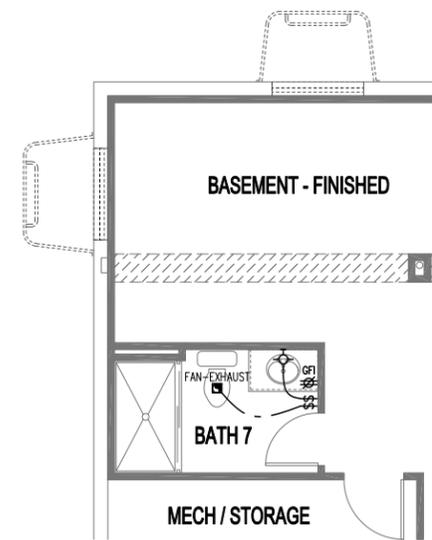
**BEDROOM 7 OPTION**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



**BATH 7 OPTION**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



**BATH 7 w/ SHOWER OPTION**

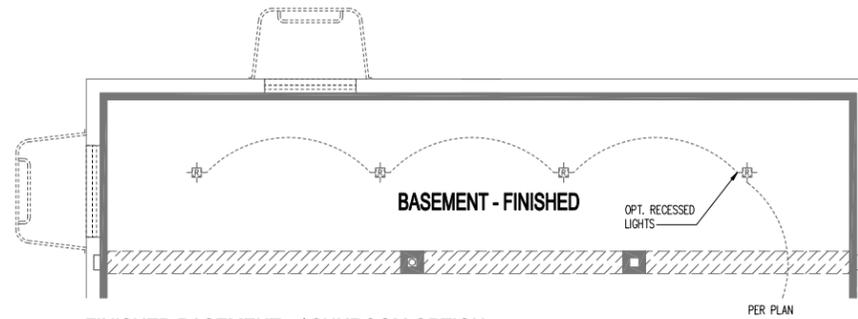
SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY

REV #	DATE	DESCRIPTION
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GARAGE HANDING  
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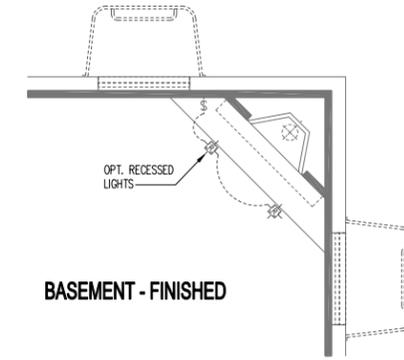
PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID  
 -

SHEET  
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**0.20**



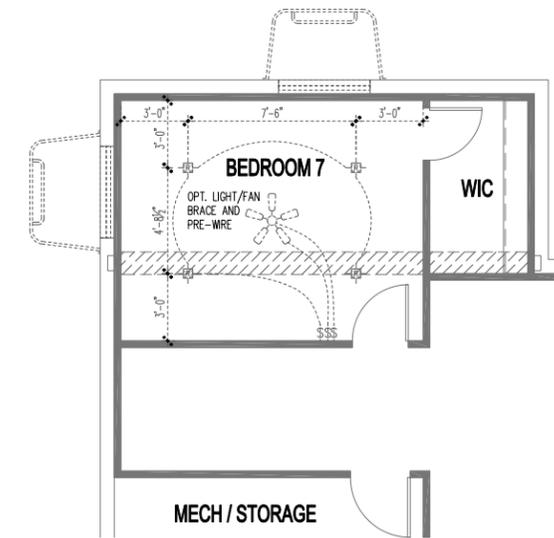
**FINISHED BASEMENT w/ SUNROOM OPTION**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



**TRADITIONAL FIREPLACE OPTION**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



**BEDROOM 7 OPTION**

SCALE: 1/4" = 1'-0"  
 \* SEE BASE PLANS FOR INFORMATION NOT SHOWN  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



Finished Basement Utility Plan Options  
 Optional Lighting Package  
 All Foundation Wall Conditions

PRODUCTION MANAGER	Andy Kunz
INITIAL RELEASE DATE:	09/30/2014
CURRENT RELEASE DATE:	09/30/2014
REV #	DATE / DESCRIPTION
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GARAGE HANDING  
**LEFT**

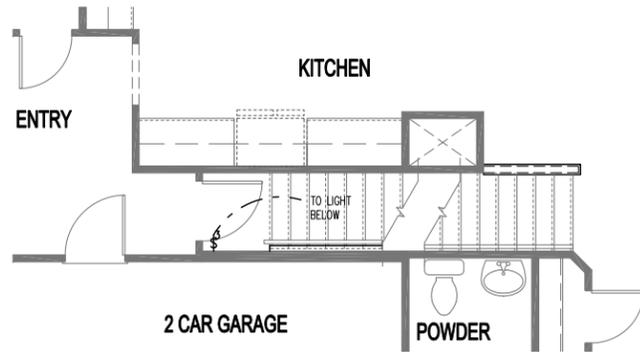
PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID  
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SHEET  
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NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

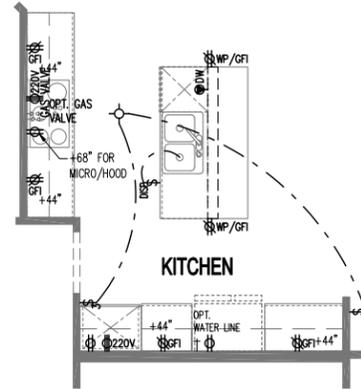






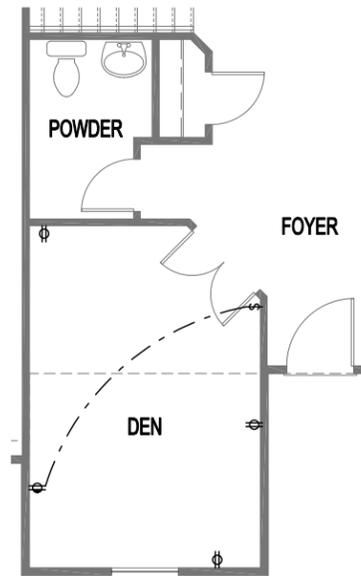
**STAIRS w/ BASEMENT OPTION**

SCALE: 1/4" = 1'-0"  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



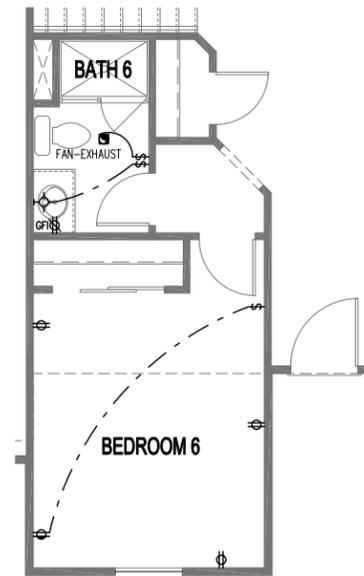
**KITCHEN w/ BUILT-IN APPLIANCES OPTION**

SCALE: 1/4" = 1'-0"  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



**DEN OPTION**

SCALE: 1/4" = 1'-0"  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



**BATH 6 OPTION w/ BEDROOM 6 OPTION**

SCALE: 1/4" = 1'-0"  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



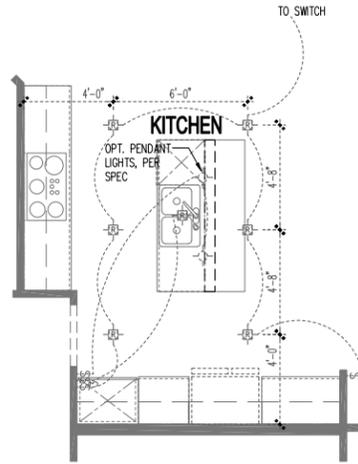
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GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID

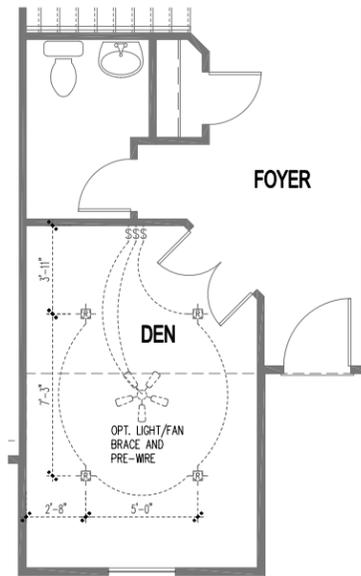
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**U1**  
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NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



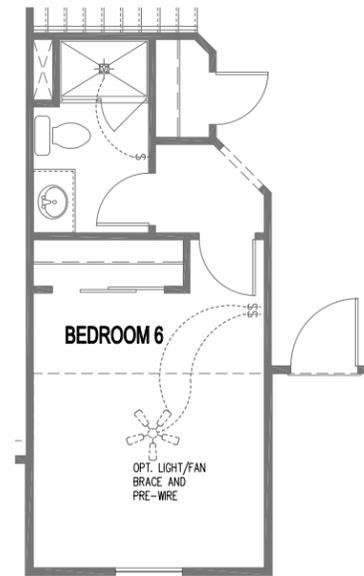
**KITCHEN w/ BUILT-IN APPLIANCES OPTION**

SCALE: 1/4" = 1'-0"  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



**DEN OPTION**

SCALE: 1/4" = 1'-0"  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



**BATH 6 OPTION w/ BEDROOM 6 OPTION**

SCALE: 1/4" = 1'-0"  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



First Floor Utility Plan Options  
 Optional Lighting Package  
 4" Exterior Walls

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GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID

SHEET  
**U1**  
 4-1.21

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

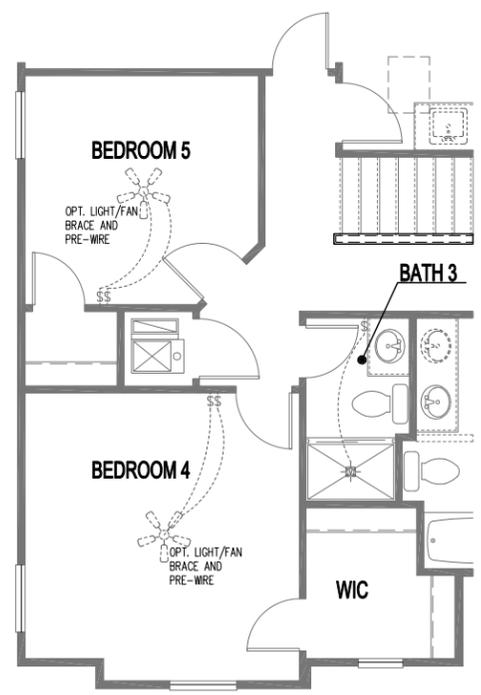






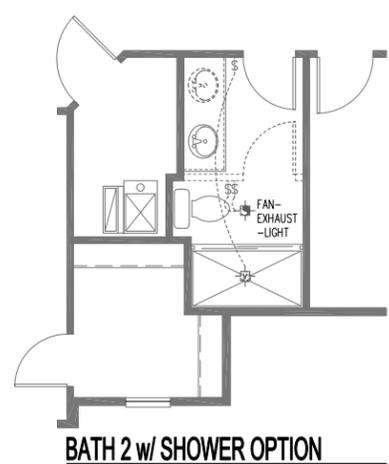


**Second Floor Utility Plan Options**  
**Optional Lighting Package**  
 4" Exterior Walls



**BEDROOM 5 OPTION w/ BATH 3 OPTION**

SCALE: 1/4" = 1'-0"  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY



**BATH 2 w/ SHOWER OPTION**

SCALE: 1/4" = 1'-0"  
 \* DIMENSIONS TO FIXTURES INDICATE PLACEMENT INTENT ONLY, ADJUST IN FIELD AS NECESSARY

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

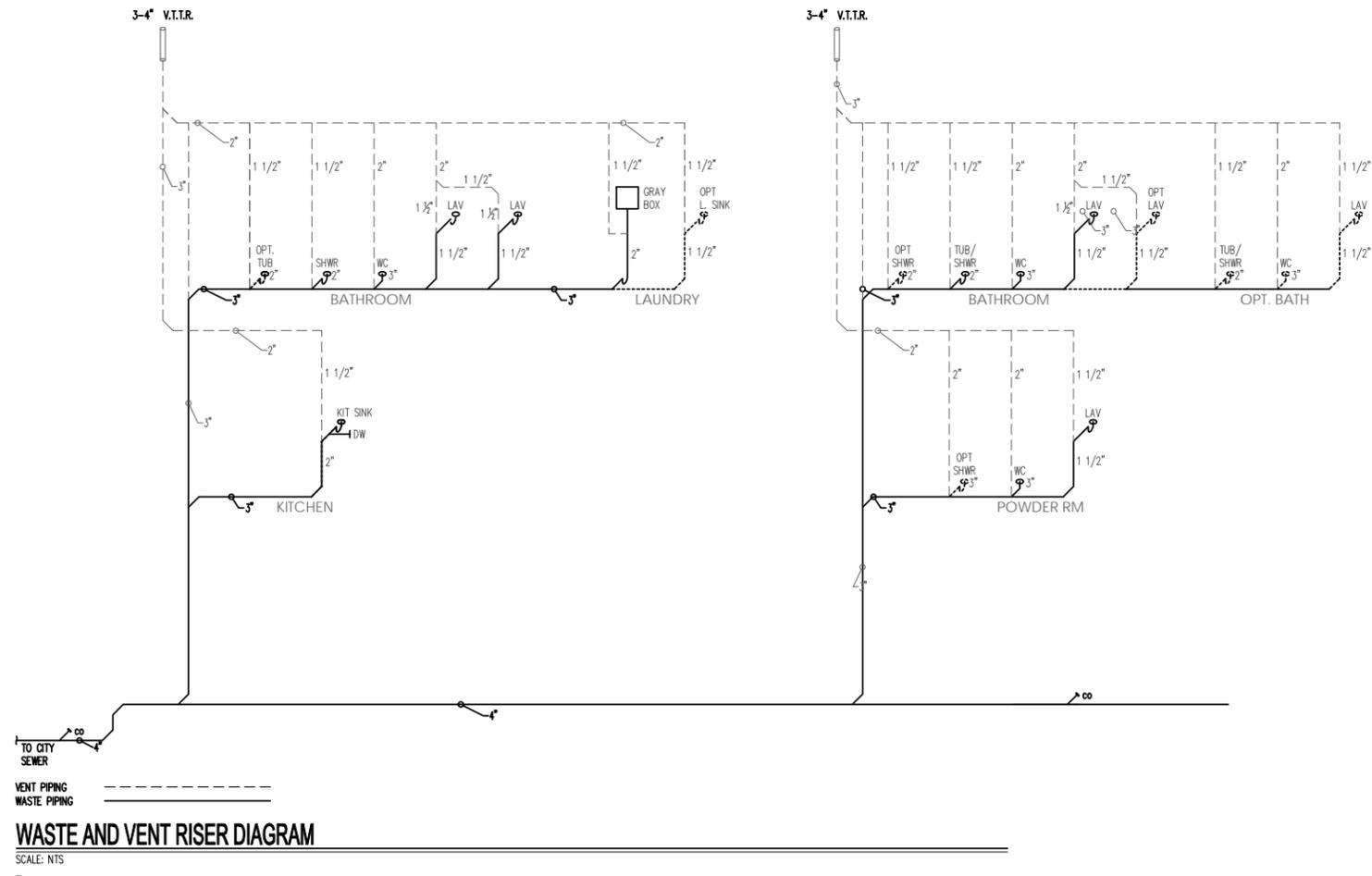
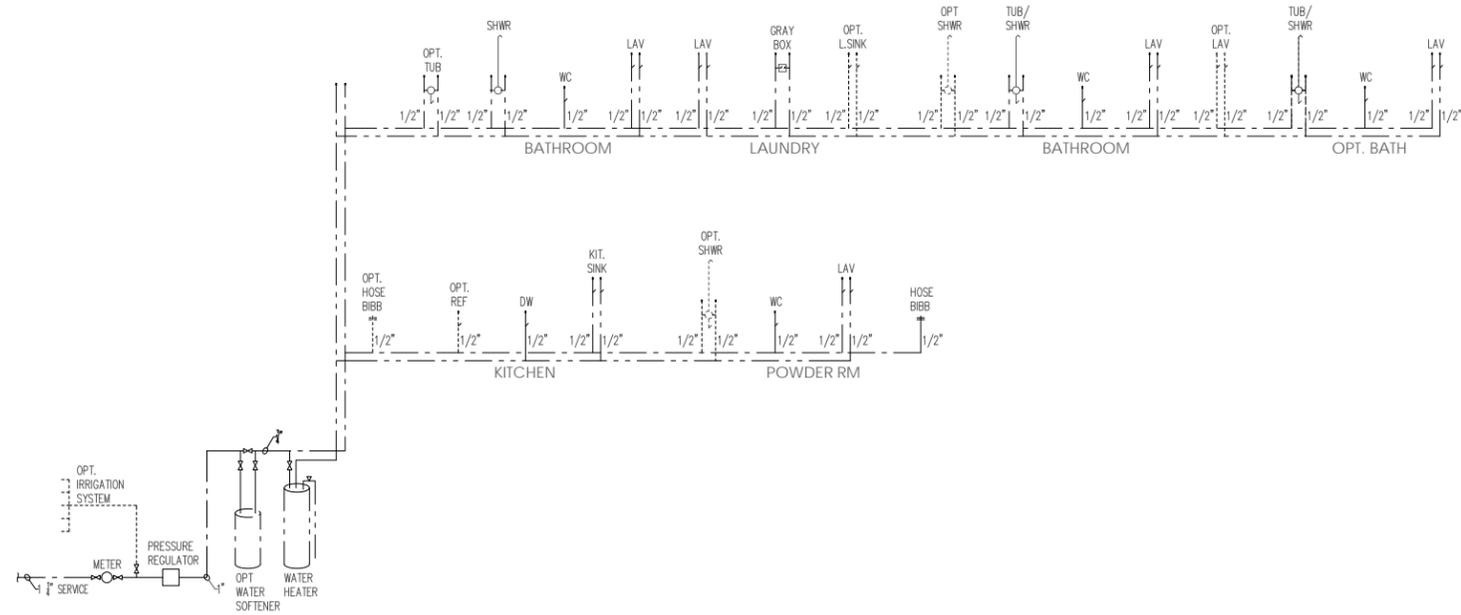
PRODUCTION MANAGER  
 Andy Kunz  
 INITIAL RELEASE DATE:  
 09/30/2014  
 CURRENT RELEASE DATE:  
 09/30/2014

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GARAGE HANDING  
**LEFT**

PLAN NAME  
**BOARDWALK**  
 NPC PLAN NUMBER  
**1956**  
 LAWSON PLAN ID  
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 U1  
 4-2.21



**Plumbing Riser Diagrams**

PRODUCTION MANAGER Andy Kunz INITIAL RELEASE DATE: 09/30/2014 CURRENT RELEASE DATE: 09/30/2014	
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SHEET U2 1.1	

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS