



WILDWOOD

AGENDA

OF THE

CITY OF WILDWOOD'S

ARCHITECTURAL REVIEW BOARD

CITY HALL COUNCIL CHAMBERS

16860 Main Street

Thursday, October 13, 2016 - 7:00 p.m. to 9:00 p.m.

1. Welcome And Roll Call By Chair
2. Approval Of Meeting Minutes Of September 8, 2016

Documents:

[II. DRAFT SEPTEMBER 8, 2016 MINUTES.PDF](#)

3. Review Agenda Items To Be Discussed At Tonight's Meeting By Chair
4. New Business

4.I. Ready For Action – Two (2) Items

- 4.I.i. Review Of The Architectural Elevations And Related Materials For An Approved Single Family Residential Development That Is To Be Located On An Eight (8) Acre Tract Of Land; West Side Of Center Avenue, South Of Manchester Road; R1-A 22,000 Square Foot Residence District, With A Planned Residential Development Overlay District (PRD); A Total Of Twelve (12) Detached Single Family Dwellings. The Review Of Architectural Elevations And Related Materials By The City's Architectural Review Board Is A Requirement Of The Site-Specific Governing Ordinance (Ordinance #2088). P.Z. 21, 22, And 23-14, Stone Mill Subdivision, Whalen Custom Homes. (Ward Eight)

Documents:

[IV.1.A STONE MILL.PDF](#)

- 4.I.ii. Review Of An Outdoor Advertising Sign In Accordance With Chapter 415.450 Outdoor Lighting Requirements – Section D (3.) (F), Which States: “Outdoor Advertising Signs Of The Type Constructed Of Translucent Materials And Wholly Illuminated From Within Do Not Require Shielding. Dark Background With Light Lettering Or Symbols Is Required, Unless Otherwise Authorized By The Architectural Review Board Of The City,” For Quest Church; South Side Of Manchester Road, West Of State Route 109 (Locator Number 24V430174/Street Address 17126 Manchester Road); NU Non-Urban Residence District (“Cultural/Institutional” Town Center Designation). (Ward 1)

Documents:

[IV.1.B. QUEST CHURCH SIGN.PDF](#)

- 4.II. Not Ready For Action – No Items
5. Old Business

- 5.I. Ready For Action – One (1) Item

- 5.I.i. Town Center Development Manual’s Review And Update, After The Completion Of The Overall Plan’s Ten (10) Year Update [Approved December 2013]. The Board Will Review The Revised Town Center Plan’s Architectural Guidelines Document, In Its Entirety. (Wards – 1, 4, 5, 6, 7, And 8)

Documents:

[V.1.A. ROOF SECTION AND ARCHITECTURAL GUIDELINES.PDF](#)

- 5.II. Not Ready For Action – No Items
6. Other
7. Public Comment
8. Closing Remarks And Adjournment

Note: The Architectural Review Board will consider and act upon these matters listed above and any such others as may be presented at the meeting and determined appropriate for discussion at that time.

The City of Wildwood will provide reasonable accommodations for persons attending Architectural Review Board meetings. Requests for reasonable accommodations should be made by contacting Liz Weiss, City Clerk, at 636-458-0440 or by email at liz@cityofwildwood.com, at least 48 hours prior to the start of the meeting.

**CITY OF WILDWOOD
RECORD OF PROCEEDINGS**

**MEETING OF THE ARCHITECTURAL REVIEW BOARD
CITY HALL, 16860 MAIN STREET, WILDWOOD, MISSOURI
September 8, 2016**

The Architectural Review Board meeting began at 7:00 pm, on Thursday, September 8, 2016, in the Wildwood City Hall Council Chambers, 16860 Main Street, Wildwood, Missouri.

I. Welcome and Roll Call

Chair Hoffmann called the meeting to order and welcomed everyone. The following members were in attendance, as noted:

Present [5]
Chair Hoffmann
Vice-Chair Dial
Board Member Teller
Board Member Hensic
Alternate Lindberg

Absent [3]
Secretary Crow
Council Liaison Baugus
Commission Liaison Lee

Staff present: Director Vujnich and Planner Newberry
City Officials: None
Petitioners present: Tom Cummings, Eva Walsh, Vince Gelezunas, and other representatives of Payne Family Homes; and Don Roseman, Bill Biermann, and Dan Thies, representatives of Stonecrest at Wildwood

II. Approval of Meeting Minutes from August 11, 2016

A motion was made by Board Member Teller, seconded by Board Member Hensic, for the approval of the August 11, 2016 meeting minutes, as prepared. There being no discussion or changes, the motion passed by a voice vote [5-0].

III. Agenda Items to be Discussed at Tonight's Meeting

Chair Hoffmann noted three (3) items under New Business "Ready for Action". No modifications to the agenda were made and the meeting proceeded, as outlined.

IV. New Business

1. Ready for Action [Three (3) Items]

- a) Review of the Architectural Elevations and related materials for an approved single family residential development that is to be located on a 28 acre tract of land; east side of State Route

109, south of State Route 100; R-4 7,500 square foot Residence District, with a Planned Residential Development Overlay District (PRD) (Town Center "Neighborhood Edge District"); a total of 104 detached single-family dwellings; P.Z. 25, 26, and 26a – 14 Main Street Crossing, Payne Family Homes L.L.C. (Ward Eight)

Director Vujnich outlined the approved development and described the adjacent land uses. He noted it has a "Neighborhood Edge" Town Center Area designation. Director Vujnich explained there are a mix of units, some with front entry garages and some with rear entry types. He outlined the requirements of the site-specific governing ordinance regarding streetscape and architectural requirements.

Discussion was held among Board Members regarding the future roundabout at Main Street and Eatherton Road; the street connectivity, with adjacent existing and future developments; the vertical changes in materials depicted on the elevations; the number of materials shown on some elevations and the possibility some have too many materials; and the steps Payne Family Homes would take to ensure architectural variety throughout the development.

Tom Cummings and Vince Gelezunas, Payne Family Homes, explained the rationale behind the number of materials and vertical changes. They stated Payne Family Homes intended to monitor the homes chosen by their purchasers to ensure architectural variety throughout the development.

A motion by Board Member Teller, seconded by Member Hensic, to approve the elevations, as presented. The motion passed by a voice vote [4-0; with one (1) abstention by Alternate Lindberg].

- b) Review of the Architectural Elevations and related materials for an approved senior living facility and associated retail that is to be located on a 1.6 acre tract of land; south side of State Route 100, north of Plaza Drive, and west of Fountain Place; Amended C-8 Planned Commercial District (Town Center "Neighborhood General District"); A three (3), story senior housing facility, with limited ground floor retail; **P.Z. 5 and 5(a)-16, Stonecrest at Wildwood, NorthPoint Development. (Ward Eight)**

Director Vujnich explained the zoning history and site characteristics of the approved senior living facility. He highlighted components of this development, including the screened loading space and trash service; the outdoor patio that will serve as a public space component; and the east portion of the building that is planned to be retail and service space on its first floor.

Don Roseman, Project Architect, explained the operation of the senior living facility. He shared samples of the proposed materials, to be kept on file with the Department of Planning.

Discussion was held among Board Members regarding the possible extension of Plaza Drive to the west of its current terminus; the large size of the building; and the false terrace, as an architectural feature.

A motion by Vice-Chair Dial, seconded by Member Teller, to approve the elevations, with the condition Board Members would be provided with electronic versions of the proposed elevations to more closely review¹. The motion passed by a voice vote [5-0].

- c) Second review and discussion of Architectural Elevations and related materials for the City of Wildwood's Salt Storage Facility, c/o Department of Public Works; northwest corner of Manchester Road and St. Albans Road; 17955 Manchester Road (Locator Number 24X630103); NU Non-Urban Residence District. **(Ward - One)**

Director Vujnich explained the petitioner for this project was not in attendance at tonight's meeting and respectfully requested the Board postpone the item.

No vote was taken, but a consensus was reached among Board Members to postpone the item.

2. Not Ready for Action [No Items]

V. Old Business

1. Ready for Action [No Items]

2. Not Ready for Action [One (1) Item]

- a) Town Center Development Manual's review and update, after the completion of the overall plan's ten (10) year update [approved December 2013]. The Board will review the revised Town Center Plan's Architectural Guidelines document, in its entirety. (Wards – 1, 4, 5, 6, 7, and 8)

VI. Other [No Items]

VII. Public Comment

VIII. Closing Remarks and Adjournment:

Director Vujnich noted the next regularly scheduled meeting will be held on October 13, 2016.

Board Member Teller made a motion, which was seconded by Board Member Hensic, to adjourn. The motion was passed by a voice vote [5-0]. The meeting was adjourned at 9:00 p.m.

Approved by:

Date Approved:

Secretary Crow
City of Wildwood Architectural Review Board

¹ Electronic versions were provided by the petitioner. Correspondence among Board Members and the Department of Planning ultimately resulted in the elevations being approved, as submitted, by a vote of 4-1.

WHALEN
Custom Homes

ARCHITECTURAL REVIEW BOARD SUBMISSION
SEPTEMBER 8, 2016

STONE MILL LOT 1



Architectural Statement

The proposed home and development embodies the New Urbanism Movement. This community is framed by its architecture and landscape design which utilizes its local history, climate, ecology and building practices. The subject property is based on a Craftsmen Style with Neo-Modernism features.

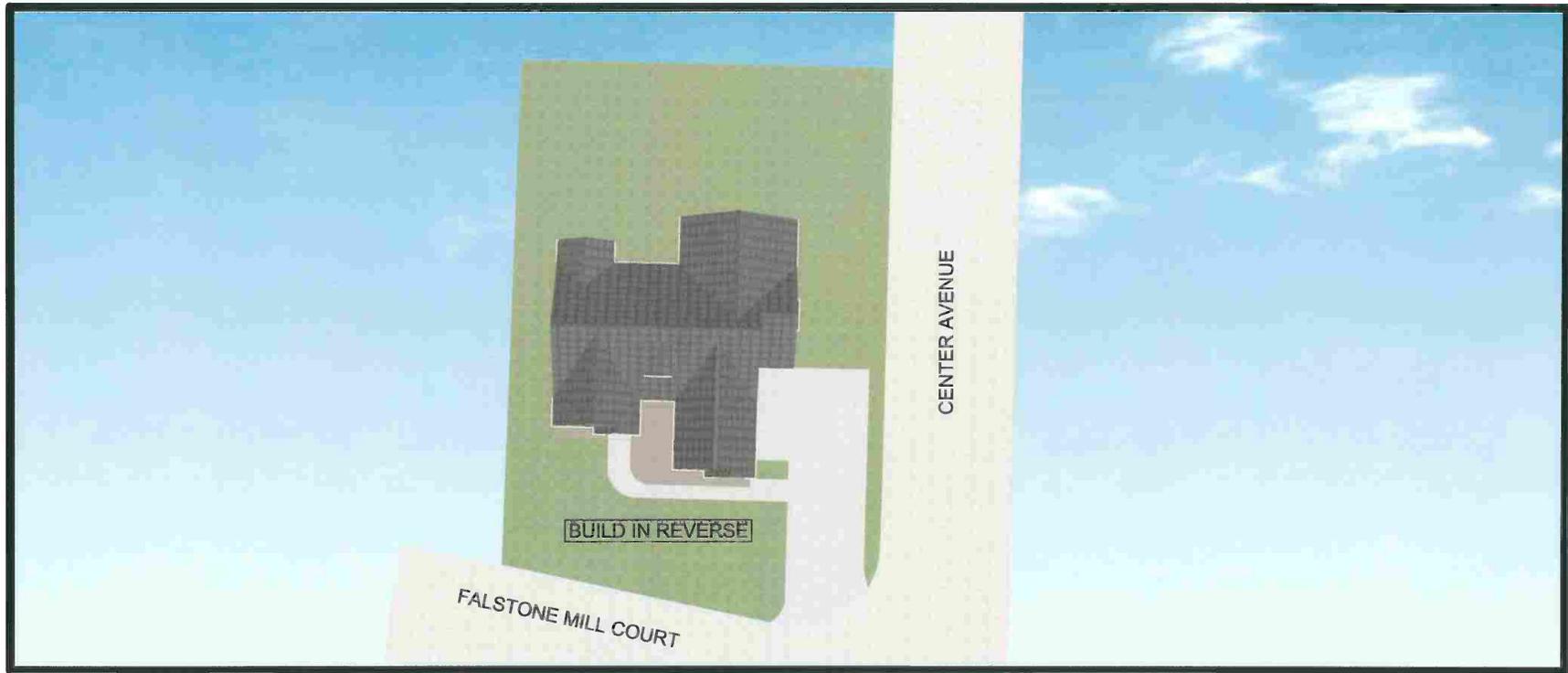
The placement of Stone Mill Display on Lot 1 is such that it allows for a side car entry and maximizes the rear yard while meeting all required setbacks and easements. The building materials and colors create a subtle but impactful feel with Gray Slate Hardie Lap Siding and tumbled light stone. It will create a peaceful statement as you enter Stone Mill.

The design is in compliance with all requirements.

We appreciate the Architectural Review Boards consideration of this application.

Sincerely,

Mike Whalen



DEVELOPMENT PLAN AND LANDSCAPE PLAN

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NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

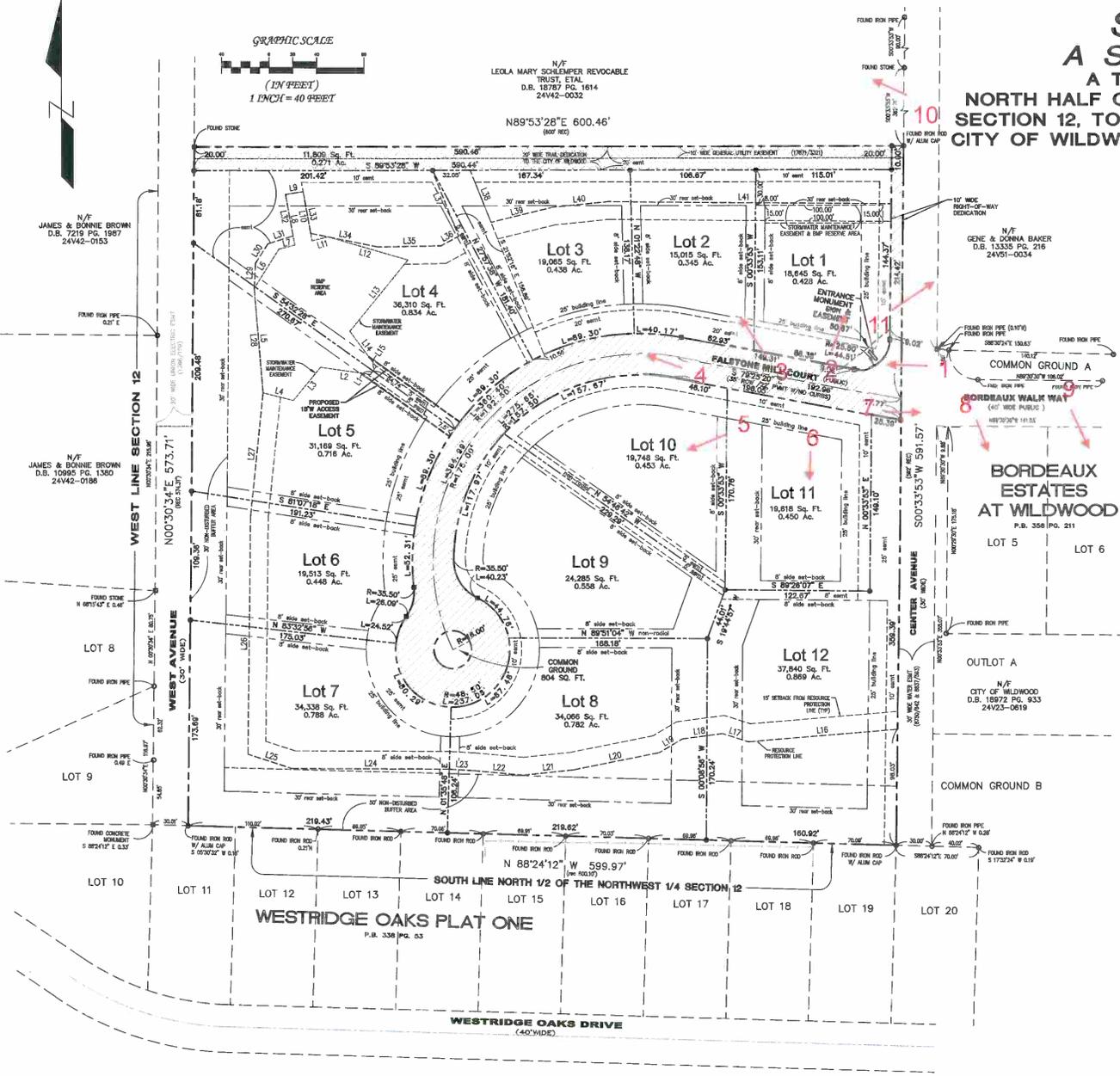
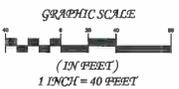
STONE MILL LOT 1

NEW RESIDENCE DISPLAY

DATE:

SCALE:

SHEET:



STONE MILL A SUBDIVISION PLAT

A TRACT OF LAND IN THE
NORTH HALF OF THE NORTHWEST QUARTER OF
SECTION 12, TOWNSHIP 44 NORTH, RANGE 3 EAST
CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 89°53'28" W	200.00	L22	N 84°42'00" W	42.99
L2	S 89°53'28" W	200.00	L23	S 89°53'28" W	200.00
L3	S 89°53'28" W	200.00	L24	N 89°41'14" W	152.80
L4	N 78°50'48" W	28.49	L25	N 77°52'04" W	109.24
L5	N 78°50'48" W	28.49	L26	N 00°50'25" E	201.63
L6	N 78°50'48" W	28.49	L27	N 00°50'25" E	109.24
L7	N 78°50'48" W	28.49	L28	N 04°50'24" W	186.20
L8	N 78°50'48" W	28.49	L29	N 03°51'14" W	152.80
L9	N 78°50'48" W	28.49	L30	N 32°02'00" E	185.44
L10	N 78°50'48" W	28.49	L31	N 32°02'00" E	185.44
L11	N 78°50'48" W	28.49	L32	N 10°51'24" E	200.00
L12	N 78°50'48" W	28.49	L33	N 10°51'24" E	200.00
L13	N 78°50'48" W	28.49	L34	N 10°51'24" E	200.00
L14	N 78°50'48" W	28.49	L35	N 10°51'24" E	200.00
L15	N 78°50'48" W	28.49	L36	N 10°51'24" E	200.00
L16	N 78°50'48" W	28.49	L37	N 10°51'24" E	200.00
L17	N 78°50'48" W	28.49	L38	N 10°51'24" E	200.00
L18	N 78°50'48" W	28.49	L39	N 10°51'24" E	200.00
L19	N 78°50'48" W	28.49	L40	N 10°51'24" E	200.00
L20	N 78°50'48" W	28.49	L41	S 89°53'28" E	240.34
L21	S 89°53'28" E	240.34			

□: PERMANENT MONUMENT TO BE SET UPON COMPLETION OF GRADING.
 ○: SEMI-PERMANENT MONUMENT TO BE SET AT ALL REAR LOT CORNERS.
 NOTE: CROSSES SHALL BE CUT AT THE INTERSECTION OF THE EXTENSION OF EACH LOT LINE WITH THE CENTERLINE OF THE STREET.

LAND DESCRIPTION:
 A TRACT OF LAND IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 44 NORTH, RANGE 3 EAST, CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO LELA MARY SCHLEMPER REVOCABLE TRUST RECORDED IN DEED BOOK 1872 PAGE 1014 OF THE ST. LOUIS COUNTY RECORDS, SAID RIGHT BEING THE WEST LINE OF CENTER AVENUE, BEING 15' WEST OF AND PARALLEL TO THE CENTERLINE THEREOF SOUTH OF CROSSING 34 MINUTES 53 SECONDS WEST BEING THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 12, SAID POINT ALSO BEING THE NORTH LINE OF WESTRIDGE OAKS PLAT ONE AS SHOWN ON THE PLAT RECORDED IN DEED BOOK 338 PAGE 53 OF THE ST. LOUIS COUNTY RECORDS, THESE DEPARTING THE WEST LINE OF CENTER AVENUE WITH THE NORTH LINE OF WESTRIDGE OAKS PLAT ONE NORTH 89 DEGREES 54 MINUTES 19 SECONDS EAST AND PARALLEL WITH THE WEST LINE OF SECTION 12 NORTH 0 DEGREES 30 MINUTES 34 SECONDS EAST 87°31 FEET TO THE SOUTHWEST CORNER OF THE AFORESAID LELA MARY SCHLEMPER REVOCABLE TRUST TRACT THENCE WITH THE LINE OF SAID LELA MARY SCHLEMPER REVOCABLE TRUST TRACT, NORTH 89 DEGREES 53 MINUTES 28 SECONDS EAST 600.46 FEET TO THE POINT OF BEGINNING AND CONTAINING 348.07 (GROSS ACRES), MORE OR LESS, SUBJECT TO ALL EASEMENTS, CONDITIONS AND RESTRICTIONS OF RECORD, IF ANY.

BASIS OF BEARING:
 BEARINGS ARE IN RELATION TO WESTRIDGE OAKS PLAT ONE, AS RECORDED IN PLAT BOOK 338, PAGE 53, ST. LOUIS COUNTY RECORDS.

SOURCE OF RECORD TITLE:
 LAND OF THE STATE OF MISSOURI, RECORDED IN DEED BOOK 3240, PAGE 14, ST. LOUIS COUNTY MISSOURI RECORDS.

NOTES:
 ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL FRACTIONS THEREOF.
 ALL EASEMENTS AND CONDITIONS WHICH AFFECT THIS SITE AS RECORDED IN ASSIGNED TITLE COMPANY AS AGENT FOR COMMONWEALTH LAND TITLE INSURANCE COMPANY, FILE NO. 836695 REVISION 1, DATED FEBRUARY 23, 2023.

ITEMS 1-6: STANDARD EXCEPTIONS WITH NO COMMENT BY SURVEYOR.
 ITEM 15: EASEMENT GRANTED PUBLIC WATER SUPPLY DISTRICT #1 OF ST. LOUIS COUNTY, MISSOURI RECORDED IN BOOK 8750 PAGE 842 AND ASSIGNED TO ST. LOUIS COUNTY WATER COMPANY BY INSTRUMENT RECORDED IN BOOK 8837 PAGE 683, PLATS WITHIN THE 30 FOOT WIDE STRIP TO THE EAST BOUND BY CENTER AVENUE AND DOES NOT ADVERSELY AFFECT THE SUBJECT TRACT.

ITEM 16: TERMS AND PROVISIONS OF MISSOURI HIGHWAYS AND TRANSPORTATION COMMODITY LIABILITY EASEMENT RECORDED IN BOOK 1771 PAGE 3323, 10' WIDE EASEMENT ALONG THE NORTH LINE OF THE SUBJECT TRACT PLATTED HERETO.

ITEMS 12-13: STANDARD EXCEPTIONS WITH NO COMMENT BY SURVEYOR.

TOTAL ACRES OF THIS PLAT: 8.022 ACRES.
 LOCATOR NO: 24942-000

BENCHMARK:
 ST. LOUIS COUNTY #M-108-108-794.70 (NOV/20) "I" ON THE WEST SIDE OF A CONCRETE PORCH OF BUILDING AT # 18972 MANCHESTER ROAD, 21 FEET EAST OF THE CENTERLINE OF EASTERTON ROAD AND 30' NORTH OF THE CENTERLINE OF MANCHESTER ROAD.

SITE BENCHMARK:
 ST. LOUIS COUNTY #M-108-108-794.70 (NOV/20) "I" ON THE WEST SIDE OF A CONCRETE PORCH OF BUILDING AT # 18972 MANCHESTER ROAD, 21 FEET EAST OF THE CENTERLINE OF EASTERTON ROAD AND 30' NORTH OF THE CENTERLINE OF MANCHESTER ROAD.

SURVEYOR'S CERTIFICATION:
 THIS IS TO CERTIFY TO WHALEN CUSTOM HOMES, INC. THAT AT THEIR REQUEST, SUBURBAN LAND SURVEY, INC. HAS PREPARED A BOUNDARY SURVEY AND RECORDING THAT DATES PRECEDED 2016 OF A TRACT OF LAND BEING IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 44 NORTH, RANGE 3 EAST CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI, AND THAT THIS PLAT IS A BOUNDARY SURVEY COMPLETED ON THE GROUND, THAT THE RESULTS OF SAID SURVEY ARE SHOWN HEREON, AND THAT SAID SAID BOUNDARY SURVEY MEETS OR EXCEEDS THE CURRENT MINIMUM STANDARDS FOR URBAN CLASS BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, DIVISION OF GEOLOGY.



DATE: 07/14/24
 SHEET: 12/21/2016
 JOB NUMBER: 18972
 FILE NAME: Stone Mill
 FIELDWORK BY: DLB, CLC
 DRAWN BY: DLB
 CHECKED BY: [Signature]
 SUBURBAN LAND SURVEY, INC. LS-378-D



Suburban Land Survey
 2007 Bellevue Ave., St. Louis MO 63143
 (314) 945-7055 Fax: (314) 644-1225
 LICENSED IN MISSOURI AND ILLINOIS

STONE MILL
 CITY OF WILDWOOD
 ST. LOUIS COUNTY, MISSOURI

PREPARED FOR:
 Whalen Custom Homes
 338 S. Kirkwood Road
 St. Louis, MO 63122
 (314) 821-1745

DATE: 12/21/2016
 JOB NUMBER: 18972
 FILE NAME: Stone Mill
 FIELDWORK BY: DLB, CLC
 DRAWN BY: DLB
 CHECKED BY: [Signature]

1



2



3



4



5



6





8



9

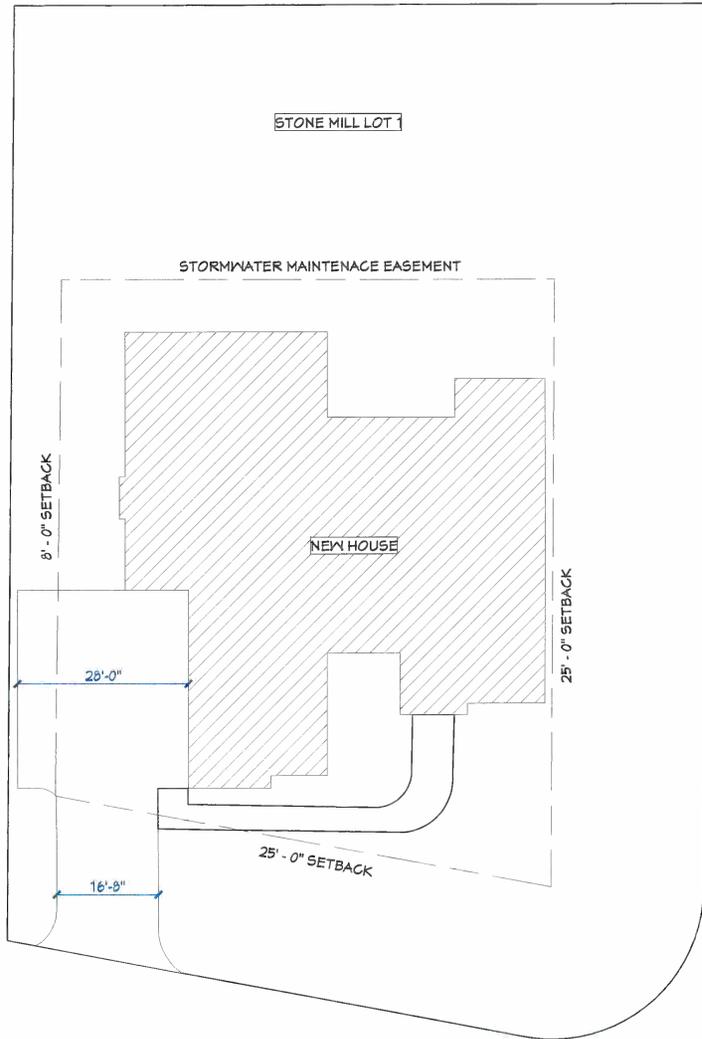


10

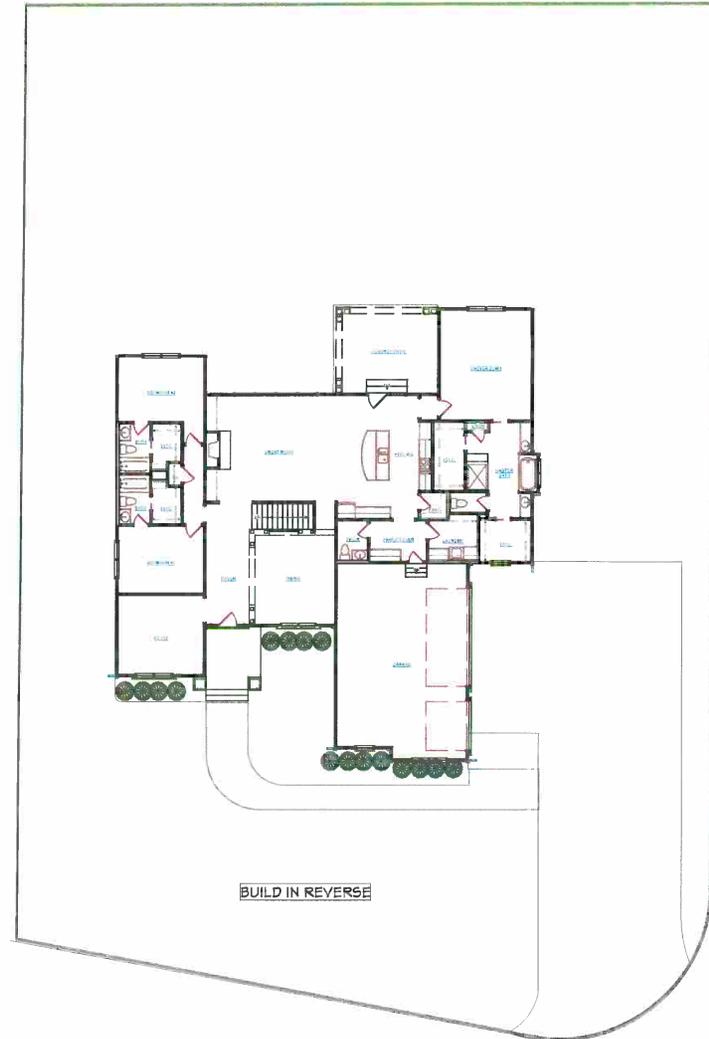


11





FOOTPRINT OF HOUSE ON LOT
SCALE: 1" = 20'-0"



GENERAL FLOOR PLAN
SCALE: 1" = 20'-0"

--

NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

STONE MILL LOT 1

NEW RESIDENCE DISPLAY

DATE:

SCALE:

SHEET:

--



FRONT ELEVATION

BUILD IN REVERSE



REAR ELEVATION

SEE "MATERIALS AND COLORS SECTION" FOR DESCRIPTIONS

--

NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

STONE MILL LOT 1

NEW RESIDENCE DISPLAY

DATE:

SCALE:

SHEET:

--



RIGHT ELEVATION



LEFT ELEVATION

SEE "MATERIALS AND COLORS SECTION" FOR DESCRIPTIONS

--

NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

STONE MILL LOT 1

NEW RESIDENCE DISPLAY

DATE:

SCALE:

SHEET:



FRONT RENDERINGS

--

NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

STONE MILL LOT 1

NEW RESIDENCE DISPLAY

DATE:

SCALE:

SHEET:



REAR RENDERINGS

--

NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

STONE MILL LOT 1

NEW RESIDENCE DISPLAY

DATE:

SCALE:

SHEET:

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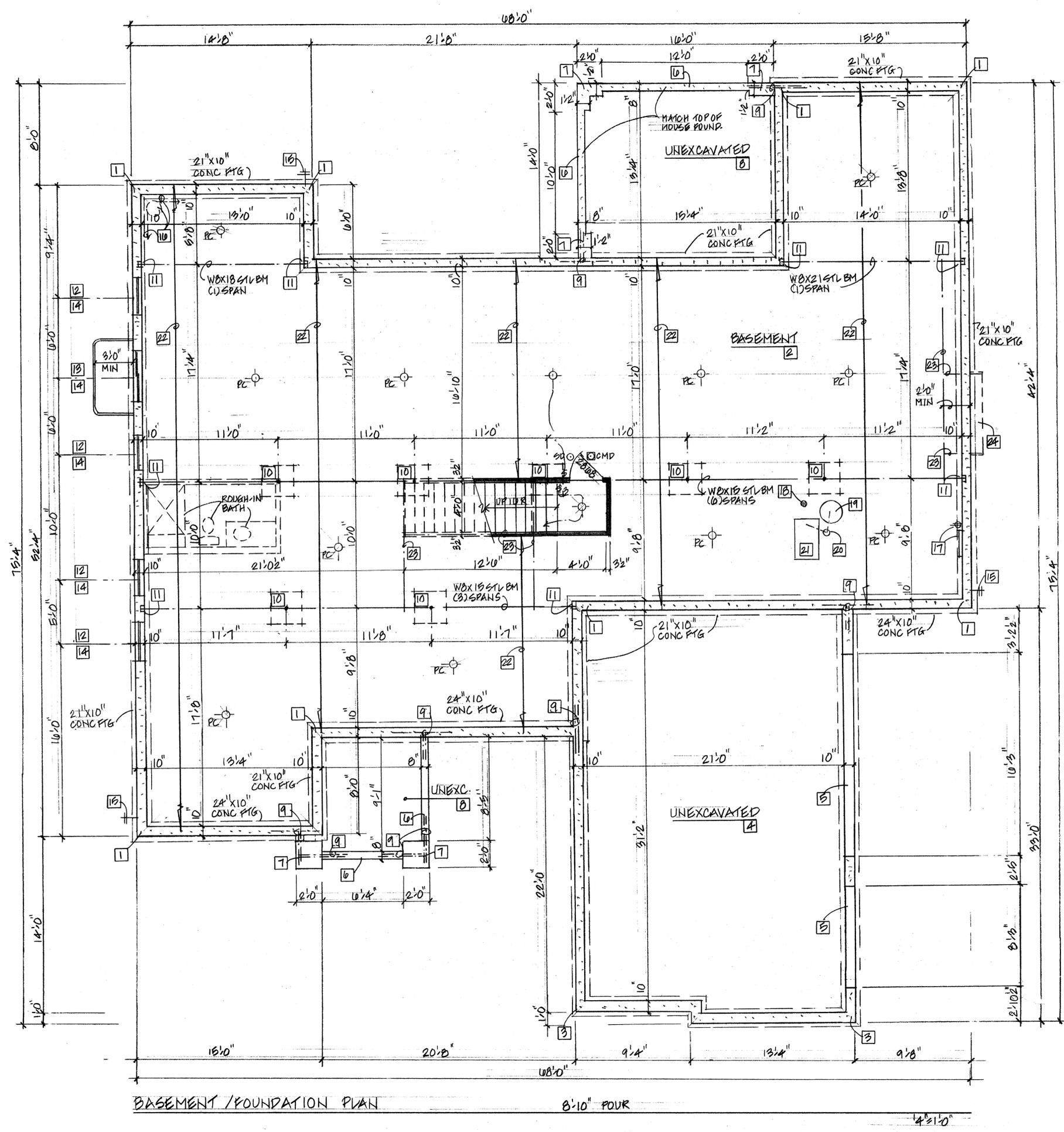
DATE: 10/15/10 (B.D. SET)
 COMPLETE: 5/11/10
 REVISIONS:

PAMELA L. ALSING
 ARCHITECTURAL DRAFTING & DESIGN
 3745 YAEGER ROAD
 ST. LOUIS, MO. 63129 (314) 845-9723
 NOT A LICENSED ARCHITECT

WHALEN CUSTOM HOMES
 898 S. KIRKWOOD ROAD
 KIRKWOOD, MO 63122
 (314) 575-71045

BASEMENT / FOUNDATION PLAN
 DISPLAY HOME
 LOT 1 STONE MILL
 WILLOWOOD, MO

SHEET NO
 1



BASEMENT / FOUNDATION PLAN NOTES

1. 10" TH CONC FOUNDATION (8" 10" POUR) SEE PLAN FOR FTG SIZES
2. 3/2" TH CONC SLAB ON 6 MIL PVB ON 4" GRAN FILL - SLOPE TO FUR DRN.
3. 10" TH CONC FOUND. ON 10" X 10" CONC FTG - 30" MIN BELOW FIN GRADE
4. 4" TH CONC SLAB W/ 10 X 10 X 10 WWF ON 6 MIL PVB ON 4" GRAN FILL - SLOPE TO OH DOORS
5. MOVE TOP OF FOUND DOWN FOR SLAB CLEARANCE
6. 8" TH CONC FOUND. TO 30" MIN BEL FIN GRADE
7. CONC PIER TO 30" MIN BELOW FIN GRADE
8. 4" TH CONC SLAB W/ #4'S @ 24" OC - 24" EW INTO FOUND. THICKEN EDGES & SLOPE AWAY FROM STRUCTURE
9. ADDIT (2) #4'S 24" EW TO B @ ALL FOUND INTERSECTIONS
10. 3/2" Ø STL COLUMN ON 30" X 30" X 12" TH CONC COLUMN PAD
11. BEAM POCKET W/ MIN 4" BEARING - GROUT LEVEL & SOLID
12. 10/20 BASEMENT SASH
13. ADD EGRESS SLIDER W/ STL @ MAX 44" AFF. IN APPROVED WDN WELL W/ GRAVEL BED & DRAIN TO HPR - SEE DTL ON SHT D3
14. ADDIT (2) #6'S AROUND WDN EXTENDING 24" PAST OPENING
15. FREEZE PROOF HOSE BIBB
16. 4" Ø PERF DRAIN PIPE @ FOUND PERIM TO SUMP W/ DEDICATED OUTLET OR DAYWATER
17. APPROX LOCAT OF 200 AMP ELECT PANEL W/ GFI - FIELD LOCATE
18. FLOOR DRAIN
19. GAS WATER HEATER W/ OVERFLOW TANK IF < 30 GALLON
20. METAL BOSTOS FLUE W/ UL APP'D CAP & CO
21. FORCED AIR GAS FURNACE
22. 1 1/8" 101 FLOOR SOLETS @ 16" OC - 210 SERIES BY TRUS JOIST INC'
23. 1 3/4" X 1 1/8" MICROWAVE
24. CANTILEVER ABOVE - ENCLOSE W/ EG. MTL, INSUL TO R-19 MIN & SEAL ALL JOINTS

BASEMENT / FOUNDATION PLAN

8" 10" POUR

4" 10"



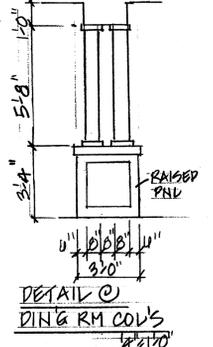
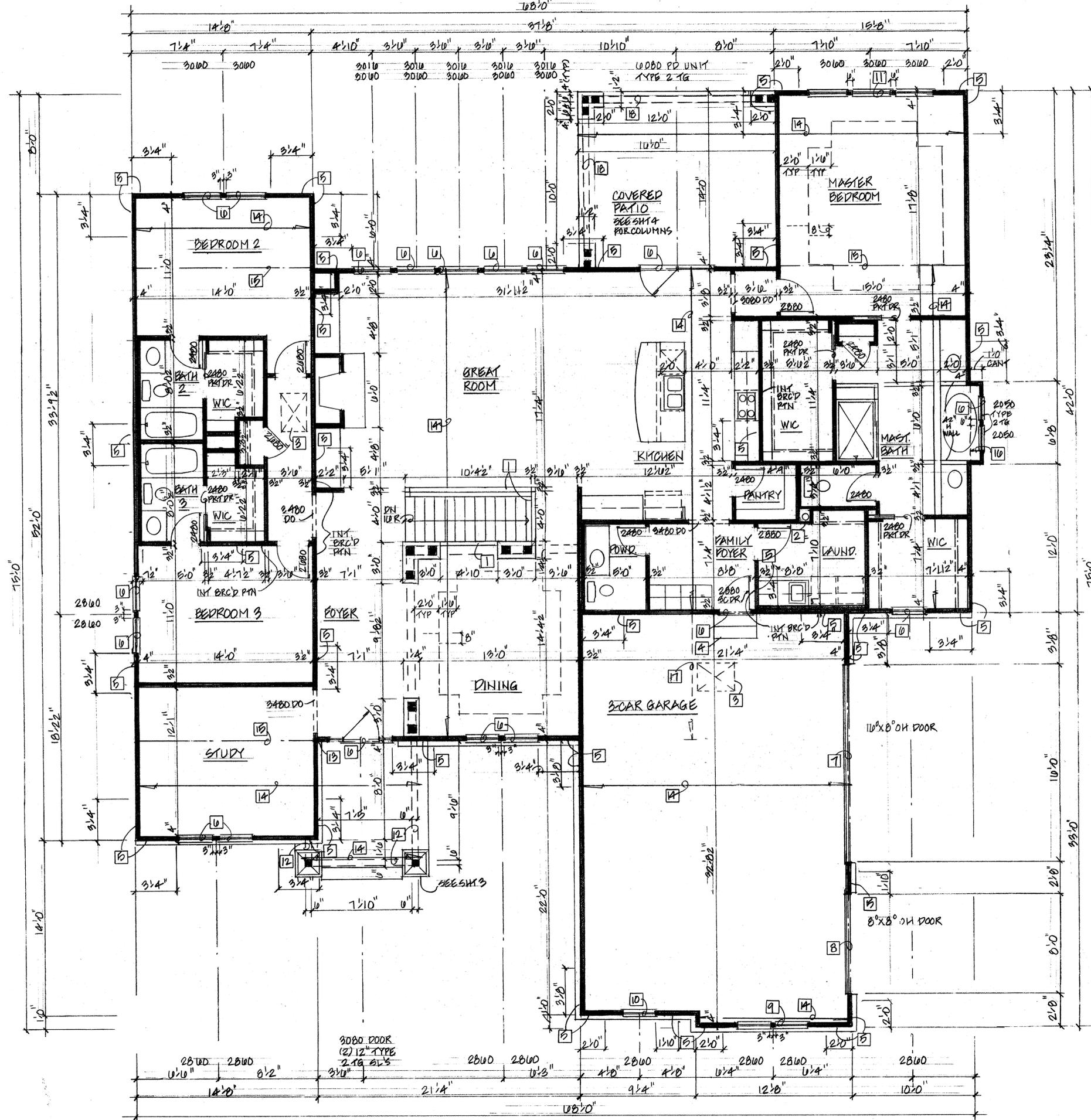
DATE: 07/15/10 (1 BID SET)
 COMPLETE: 01/01/10
 REVISIONS:

PAMELA L. ALSING
 ARCHITECTURAL DRAFTING & DESIGN
 3745 YAEGER ROAD
 ST. LOUIS, MO 63129 (314) 845-9723
 NOT A LICENSED ARCHITECT

WHALEN CUSTOM HOMES
 SUITE 103
 938 S. KIRKWOOD ROAD
 KIRKWOOD, MO 63122
 (314) 575-7104

FIRST FLOOR CONSTRUCTION PLAN
 DISPLAY HOME
 1011 STONE MILL
 WILDWOOD, MO

SHEET NO
 2
 OF 9



FIRST FLOOR CONSTRUCTION PLAN NOTES

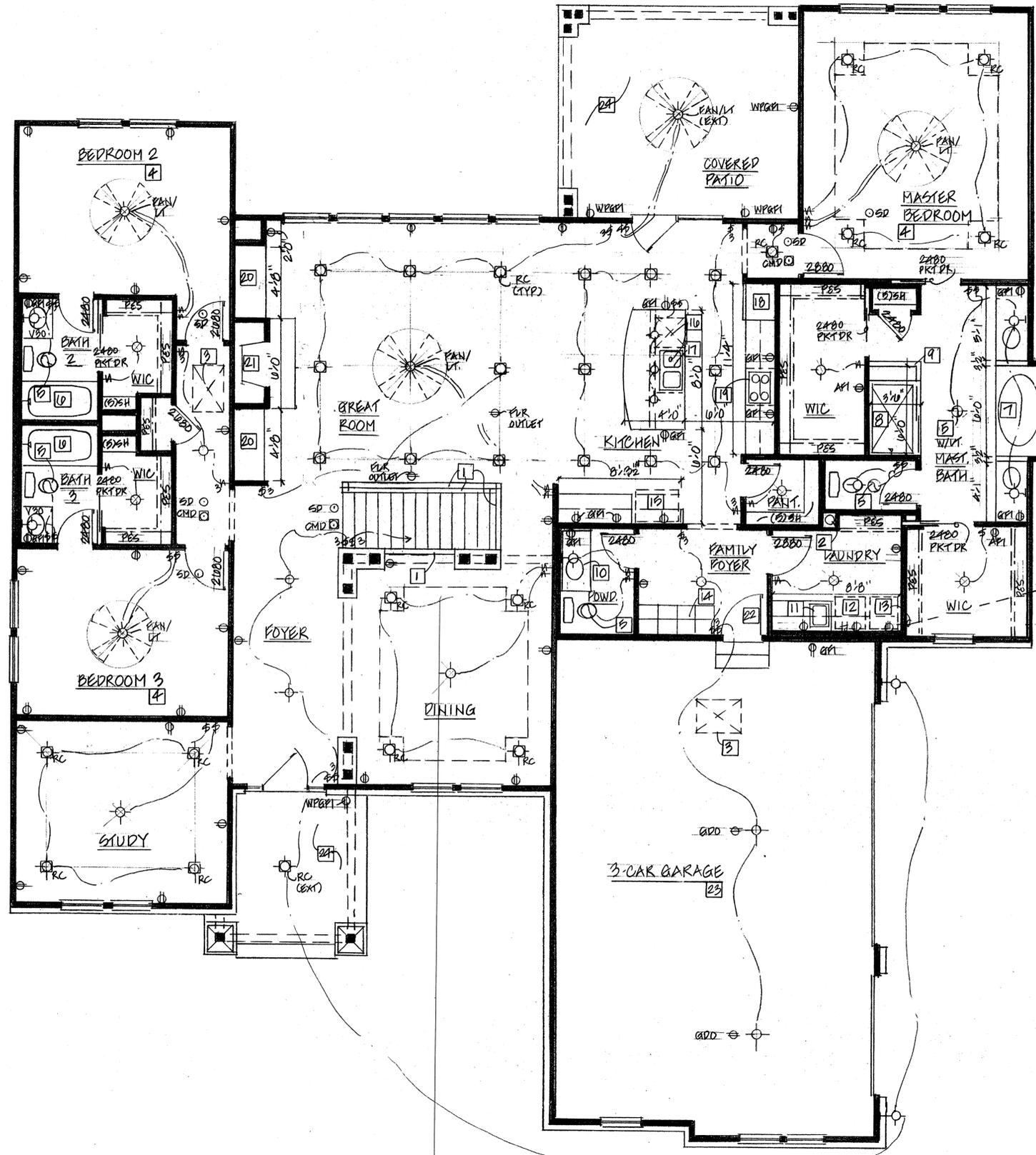
1. 36" H RAILING W/ MAX 4" OC SPACING BTWN BALUSTERS
2. FLUE SPACE - MIN 2" CLEAR
3. 22" X 30" ATIC ACCESS (PIRESTOPPED @ GARAGE)
4. MIN 4" STEP UP
5. IRC BRACED WALL PANEL - SEE IRC NOTE THIS SHIT
6. (2) 2X10 HEADER
7. (2) 1 3/4" X 11 3/8" ML HEADER
8. (2) 2X12 HEADER - 12' 6" LONG (PORTAL FRAME)
9. (2) 2X12 HEADER - 12' 8" LONG (PORTAL FRAME)
10. (2) 2X12 HEADER - 1' 10" LONG (PORTAL FRAME)
11. (2) 2X12 HEADER - 15' 8" LONG (PORTAL FRAME)
12. (2) 2X12 BOX BEAM
13. 600 LB HOLD DOWN
14. PREFAB TRUSSES @ 24" OC
15. PREFAB GIRDER TRUSS W/ (3) STUDS EE
16. 2X4 RAFTS & CLG JOISTS @ 16" OC
17. 2X6 OVERFRAMING
18. (2) 1 3/4" X 11 3/8" MICROWLAM BEAM - ALUM WRAP

IRC NOTE:
 SIMPLIFIED METHOD USED!
 THE INT & EXT WALL CONFIG. BRACES THE STRUCTURE IN ACCORD. W/ OR EQUAL TO THE LATERAL BRACING PROVISIONS OF 2009 IRC SECT R602.10 OR 2009 IBC SECT 2305 SHEATH ENTIRE STRUCT W/ 1/4" OSB OR PLYWD SEE SHIT D3 FOR DETAILS

FIRST FLOOR CONSTRUCTION PLAN 10' 1/8" PLATE 2099 SF
 WINDOW DESIGNATIONS



DATE: 01/15/16 (BID SET)
 COMPLETE: 5/16/16
 REVISIONS:



FIRST FLOOR FINISH & ELECTRIC PLAN NOTES

1. 36" H RAILING W/ MAX 4" OC SPACING BETWEEN BALUSTERS
2. FIVE SPACE - MIN 2" CLEAR
3. 22" X 36" ATTIC ACCESS - FIRST STOPPED IN GARAGE
4. AFI CIRCUITS IN THIS ROOM
5. EXHAUST FAN TO EXT - MIN 60 CFM
6. 40" X 32" TUB/SHOWER
7. 12" X 36" TUB
8. 42" X 60" SHOWER W/ TG DOORS
9. 12" SEAT W/ TG WALLS
10. FURNITURE STYLE VANITY
11. LAUNDRY SINK IN CABINET
12. WASHER SPACE W/ HEC & HI DRAIN
13. DRYER SPACE W/ 220V OR GAS HOOKUP & VENT TO EXT (IN PDN)
14. 60" CUBBIES
15. REFRIGERATOR SPACE
16. DISHWASHER
17. 36" SINK W/ DISPOSAL
18. OVENS W/ 220V OR GAS HOOKUP
19. COOKTOP W/ EXH HOOD & 220V OR GAS HOOKUP
20. BUILT INS
21. 'HEATILATOR NOVUS' 36" DIRECT VENT GAS FIREPLACE
22. 2000 SC DOOR
23. (1) LAYER 5/8" TYPE 'X' DW W/ 3/2" BATT (R-13 MIN) INSUL @ ALL WALLS BETWEEN HOUSE & GAR UP TO CEILING W/ (1) LAYER 5/8" TYPE 'X' DW ON GAR OUG.
24. VINYL SOFFIT CEILING

FIRST FLOOR FINISH & ELECTRIC PLAN

1/4" = 1'-0"

PAMELA L. AISING
 ARCHITECTURAL DRAFTING & DESIGN
 5145 YAEGER ROAD
 ST. LOUIS, MO 63121 (314) 845-9123
 NOT A LICENSED ARCHITECT

WILHELM CUSTOM HOMES
 998 S KIRKWOOD ROAD SUITE 103
 KIRKWOOD, MO 63122
 (314) 575-7045

FIRST FLOOR FINISH & ELECTRIC PLAN
 DISPLAY HOME
 LOT 1 STONE MILV
 WILKINWOOD, MO

SHEET NO

2A

OF 9



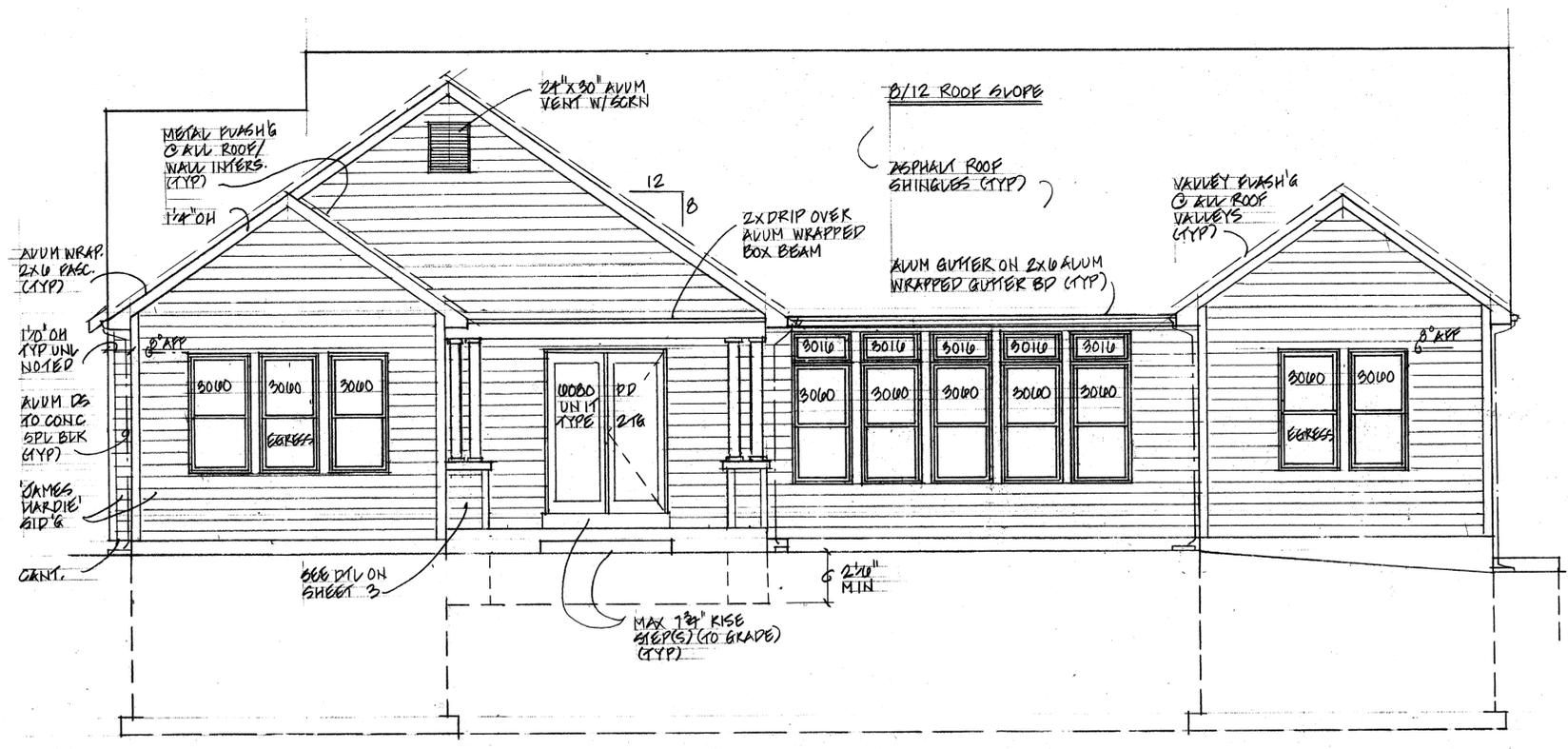
DATE: 10/15/16 (BID SET)
 COMPILED: 01/10/17
 REVISIONS:

PAMELA L. AUSING
 ARCHITECTURAL DRAFTING & DESIGN
 3145 YARBEEK ROAD
 ST. LOUIS, MO 63129 (314) 845-9703
 NOT A LICENSED ARCHITECT

WHALEN CUSTOM HOMES
 998 S. KIRKWOOD ROAD SUITE 103
 KIRKWOOD, MO 63122
 (314) 575-7104

FRONT & REAR ELEVATIONS
 DISPLAY HOME
 LOT 1 STONE MILL
 WOODWOOD, MO

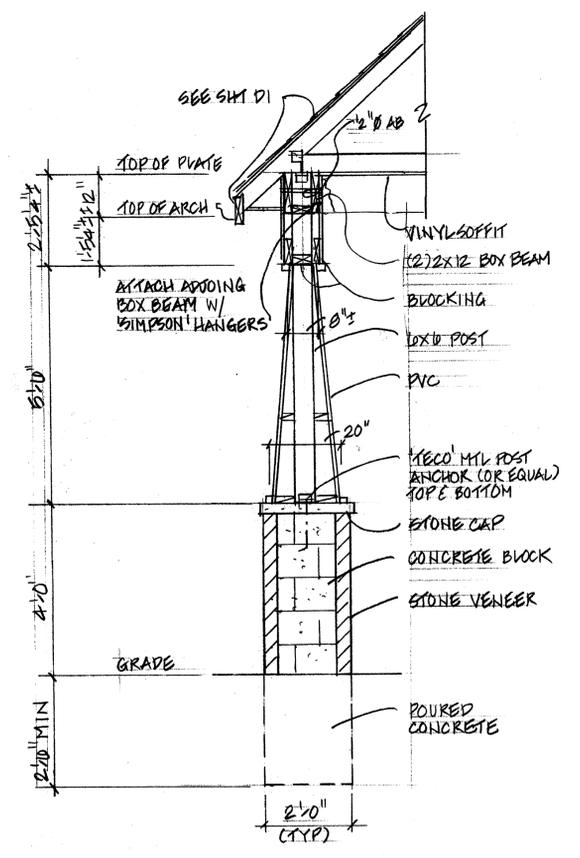
SHEET NO
 3
 OF 9



REAR ELEVATION

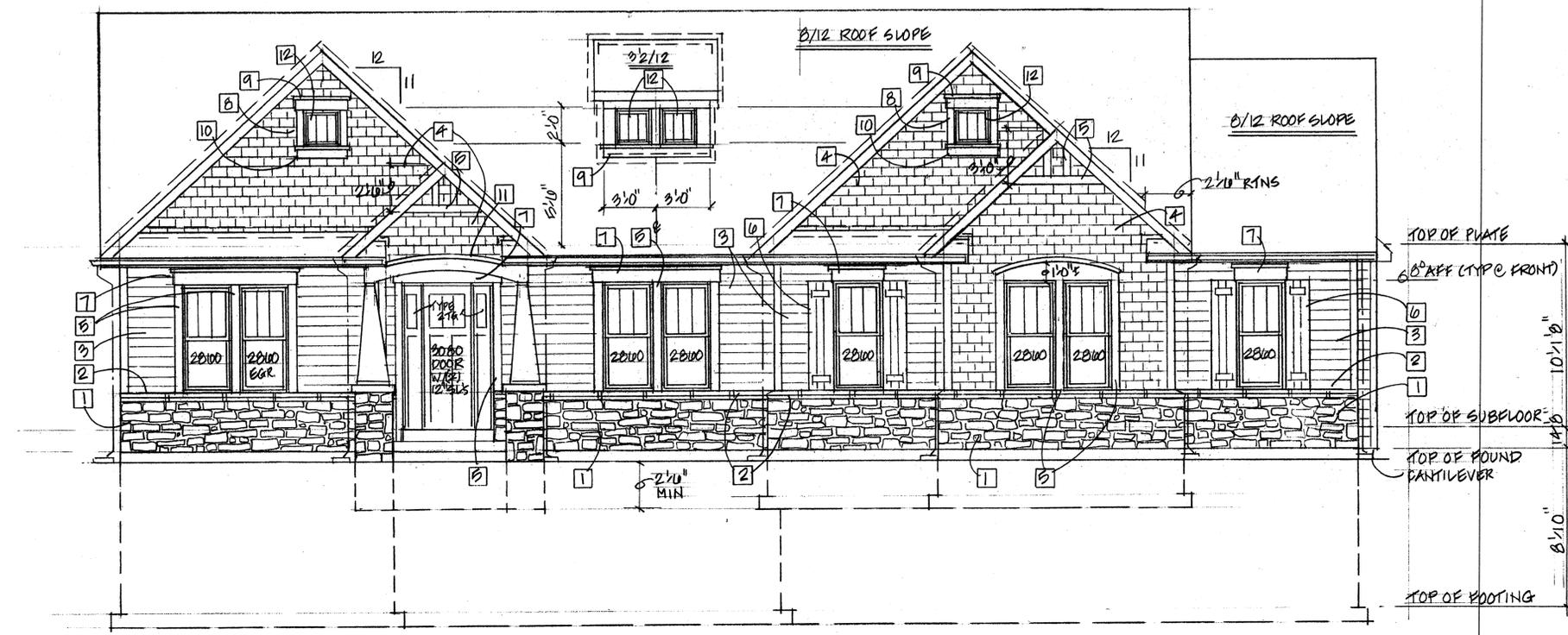
W/ARCHIT. WINDOW DESIGNATIONS (TYP)

4'5 1/2" 0"



DETAIL @ FRONT PORCH COLUMN

2'5 1/2" 0"



FRONT ELEVATION

SEE REAR ELEVATION FOR TYPICAL INFO

4'5 1/2" 0"

FRONT ELEVATION NOTES

- 1. STONE VENEER
- 2. CUT STONE SILL
- 3. 'JAMES HARDIE' LAP SIDING (CORNERS)
- 4. 'JAMES HARDIE' SHINGLE SIDING (CORNERS)
- 5. 1x4 TRIM
- 6. 1x4 SHUTTERS
- 7. 2x2 OVER 1x8
- 8. 1x4 TRIM
- 9. 2x2 OVER 1x6
- 10. 2x2 OVER 1x4
- 11. ARCHED 2x2 OVER 8" TRIM
- 12. 2x2 FIXED WINDOW



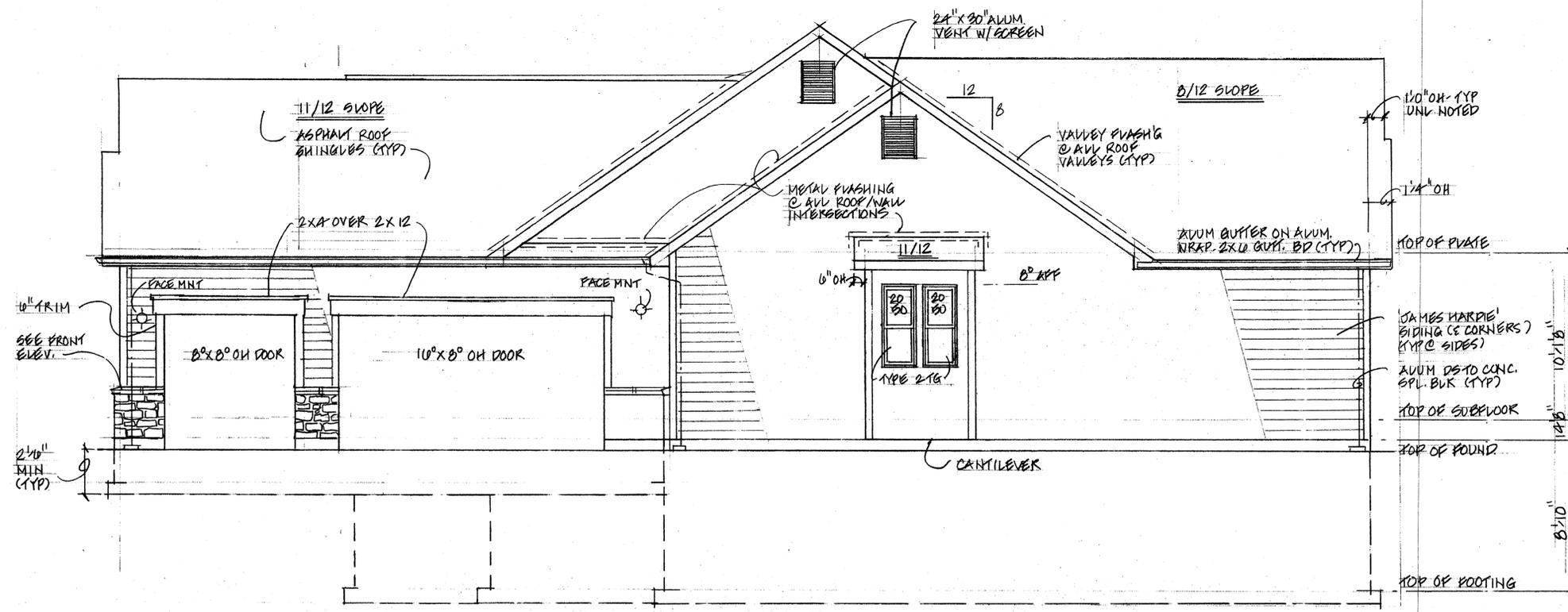
DATE: 10/15/16 (BID SET)
 COMPLETE: 8/16/16
 REVISIONS:

PAMELA L. AUSTING
 ARCHITECTURAL DRAFTING & DESIGN
 3745 YAGGER ROAD
 ST LOUIS, MO 63129 (314) 645-9703
 NOT A LICENSED ARCHITECT

WHALEN CUSTOM HOMES
 SUITE 103
 388 S KIRKWOOD ROAD
 KIRKWOOD, MO 63122
 (314) 675-7045

SIDE ELEVATIONS
 DISPLAY HOME
 1041 STONE MILL
 WILDERWOOD, MO

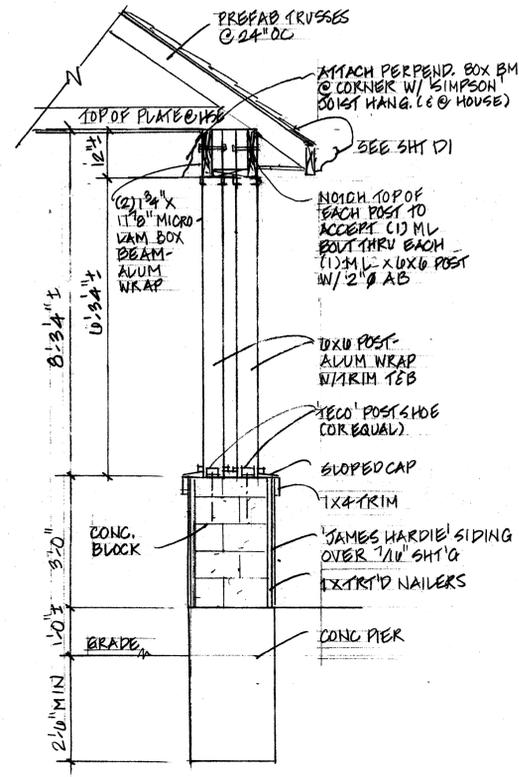
SHEET NO
 4
 OF 9



RIGHT SIDE ELEVATION

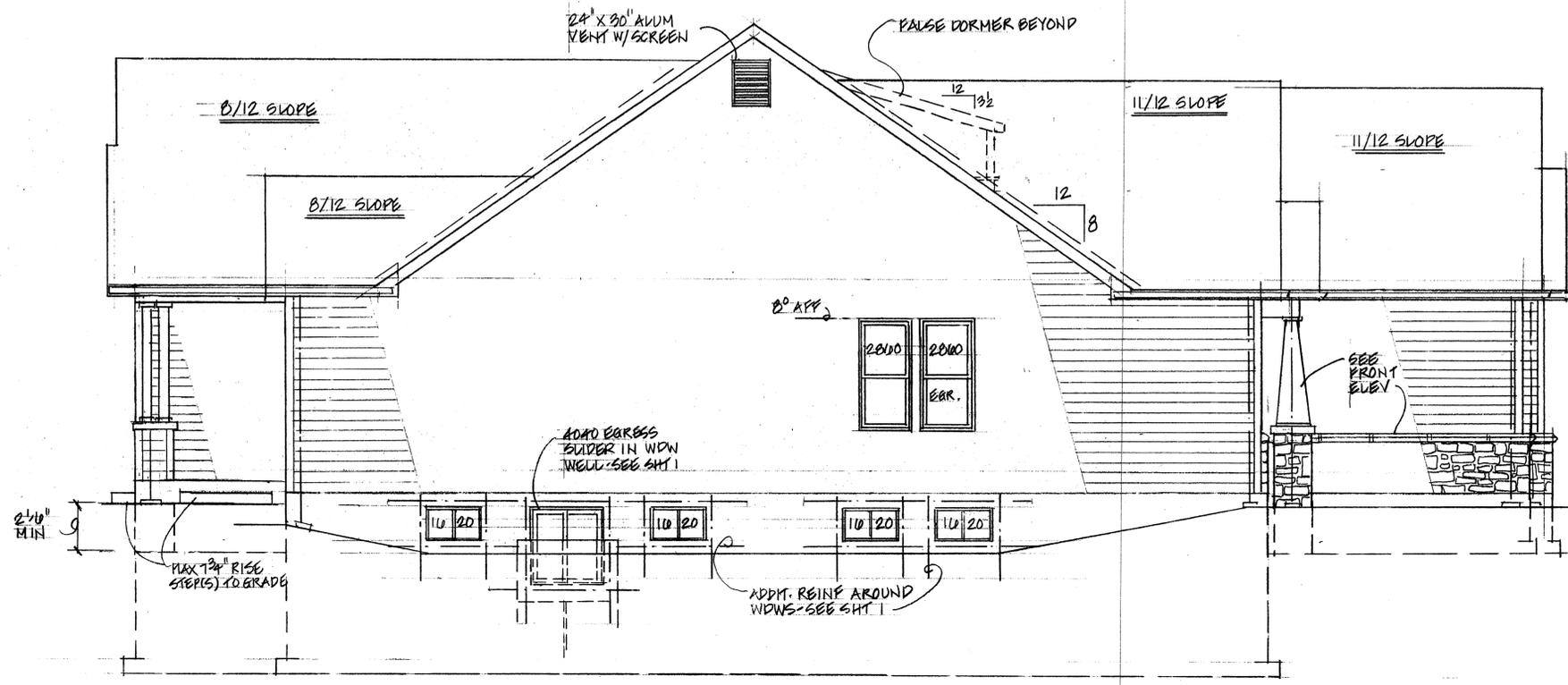
'CAFDU' WINDOW DESIGNATIONS (TYP)

4'-2 1/2"



DETAIL @ REAR PORCH

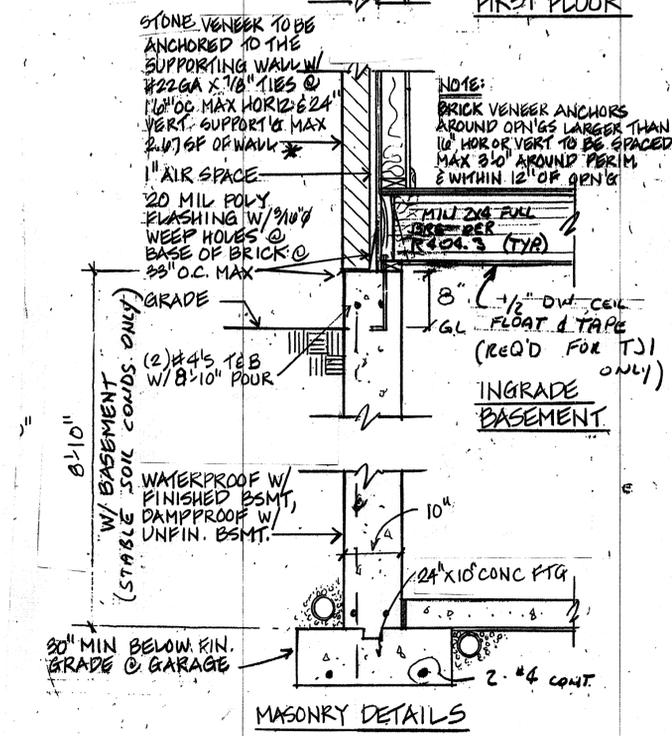
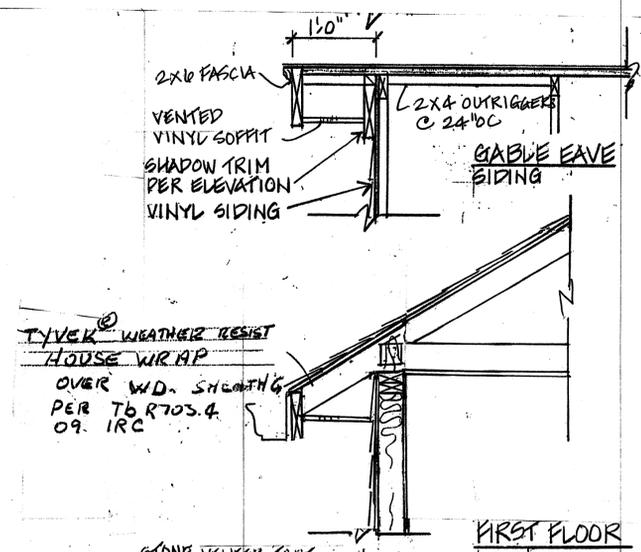
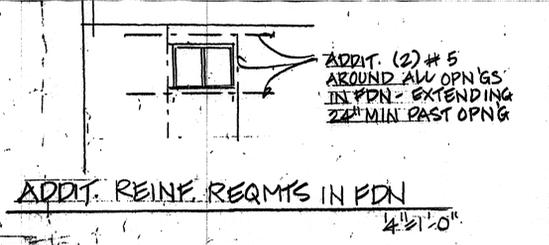
2'-2 1/2"



LEFT SIDE ELEVATION

SEE RIGHT SIDE ELEV. FOR TYP INFO

4'-2 1/2"



NOTE: SEE GENERAL NOTES FOR ADDITIONAL INFORMATION

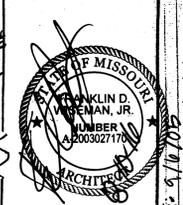
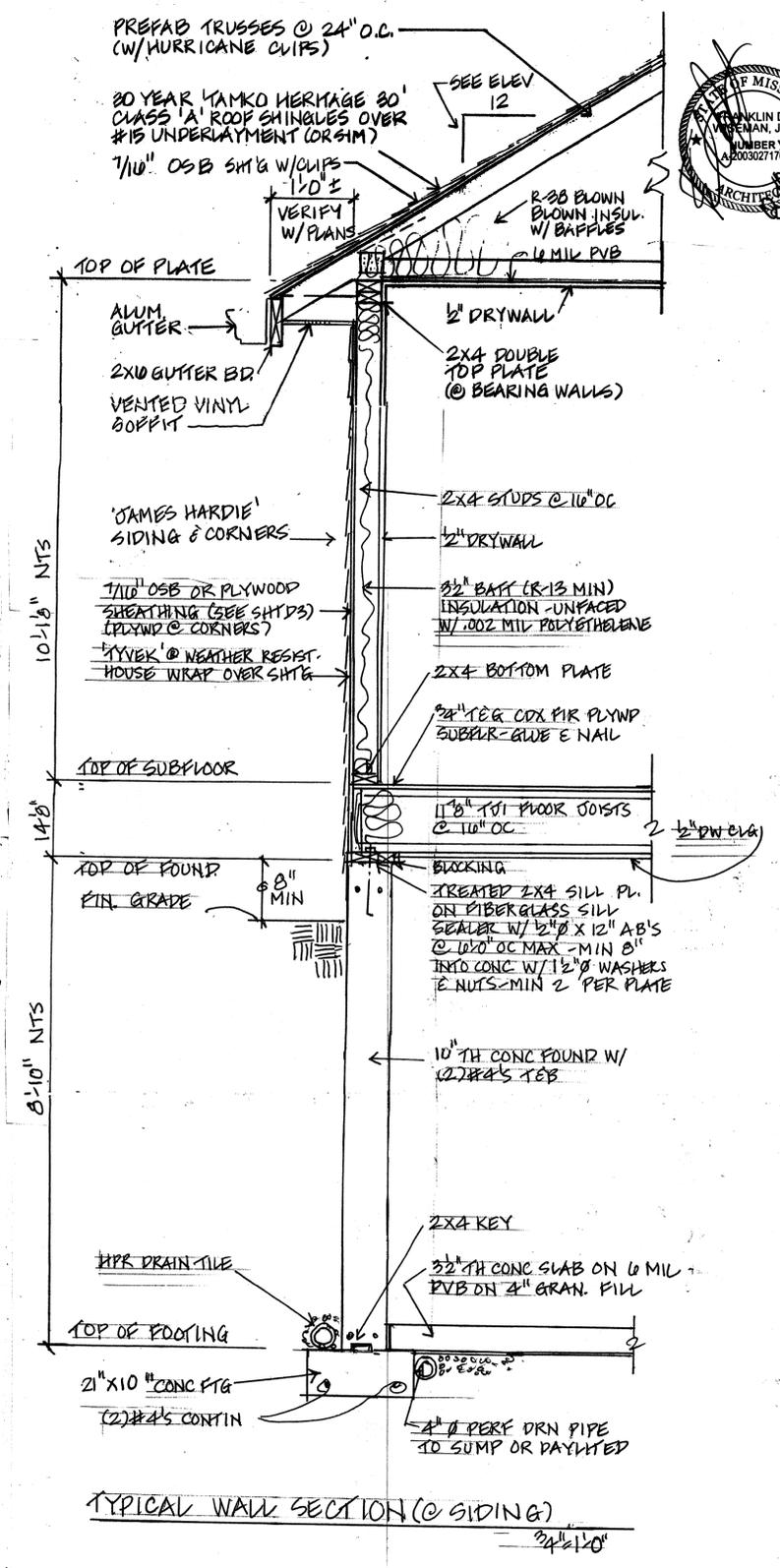
* BRICK VEN ANCHORS AROUND OPENGS LARGER THAN 16" IN EITHER DIRECTION SHALL BE SPACED 3'0" O.C. MAX AROUND PERIMETER AND WITHIN 12" OF OPENG

TYPICAL WALL SECTIONS

CUTTING OF STRUCTURAL FRAMING (W/ DIMENSIONAL LUMBER ONLY): N/A

PIPE NOTCHES: NOTCHING OF THE TOP OR BOTTOM OF THE JOIST FOR PIPING SHOULD NOT BE MORE THAN ONE SIXTH OF THE JOIST DEPTH AND SHOULD BE LOCATED ONLY IN THE END ONE THIRD OF THE JOIST

DRILLED HOLES IN JOISTS: HOLES MAY BE BORED IN JOIST IF THE DIAMETER IS NO GREATER THAN 1/4" AND THE EDGE OF THE HOLE IS NOT LESS THAN 2 INCHES FROM THE TOP OR BOTTOM EDGE OF THE JOIST. THIS LIMITS HOLE DRILLING TO A JOIST SIZE OF 2X6 OR GREATER.



DATE: 9/16/14
REVISIONS: 3/14/14

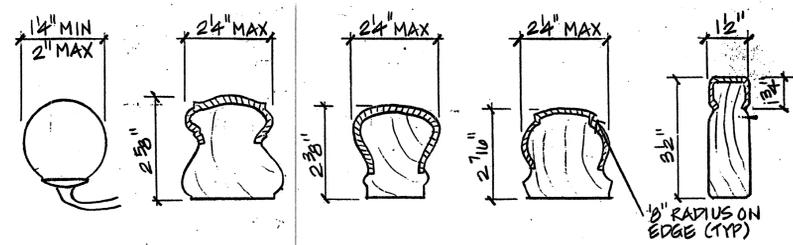
PAMELA L. AVISING
ARCHITECTURAL DRAFTING & DESIGN
5745 WAREHOUS ROAD
ST LOUIS, MO 63121 (314) 516-7045
NOT A LICENSED ARCHITECT

WHALEN CUSTOM HOMES
938 S. KIRKWOOD ROAD SUITE 103
KIRKWOOD, MO 63122 (314) 516-7104

WALL SECTIONS & MISC DETAILS
ONE STORY INGRADE



DATE: 9/20/09
 REVISIONS: 5/8/15

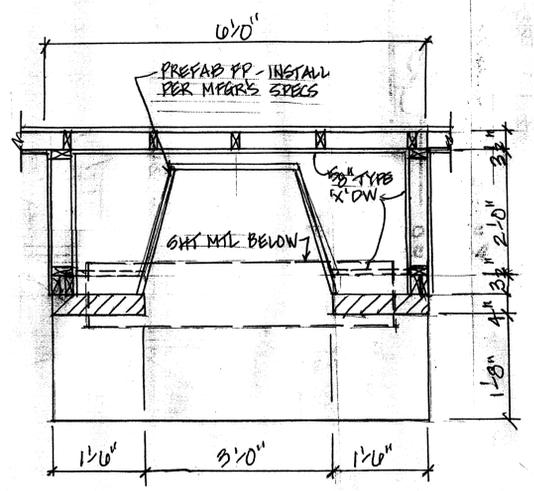


ACCEPTABLE RAIL PROFILES

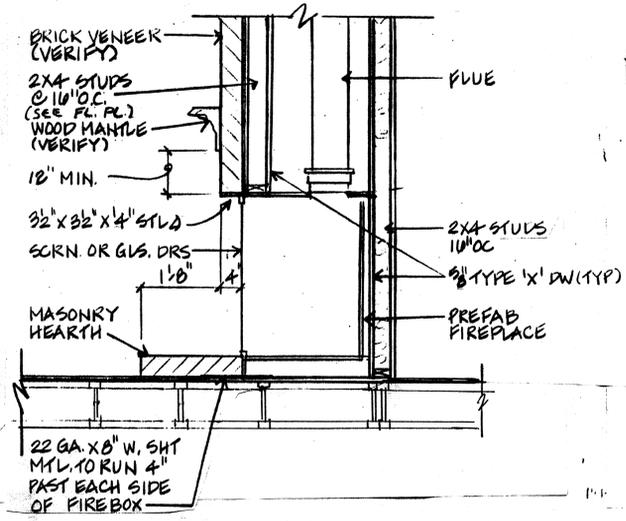
////// DENOTES GRASPABLE PERIMETER

- HANDRAILS SHALL MEET EITHER:
- CIRCULAR CROSS SECTION W/ MIN Ø OF 1 1/4" BUT LESS THAN 2"
 - OTHER SHAPES HAVING A MAX. ALLOWABLE HORIZ WIDTH OF 2 1/4", MAX. GRASPABLE PERIMETER DIMEN. OF 0 1/4" AND/OR MIN. 4" GRASPABLE DIMENSION

ALL RAILS TO BE CONTINUOUS & RETURN TO WALL OR NEWEL POST EA. END. NO "LADDER" DESIGN

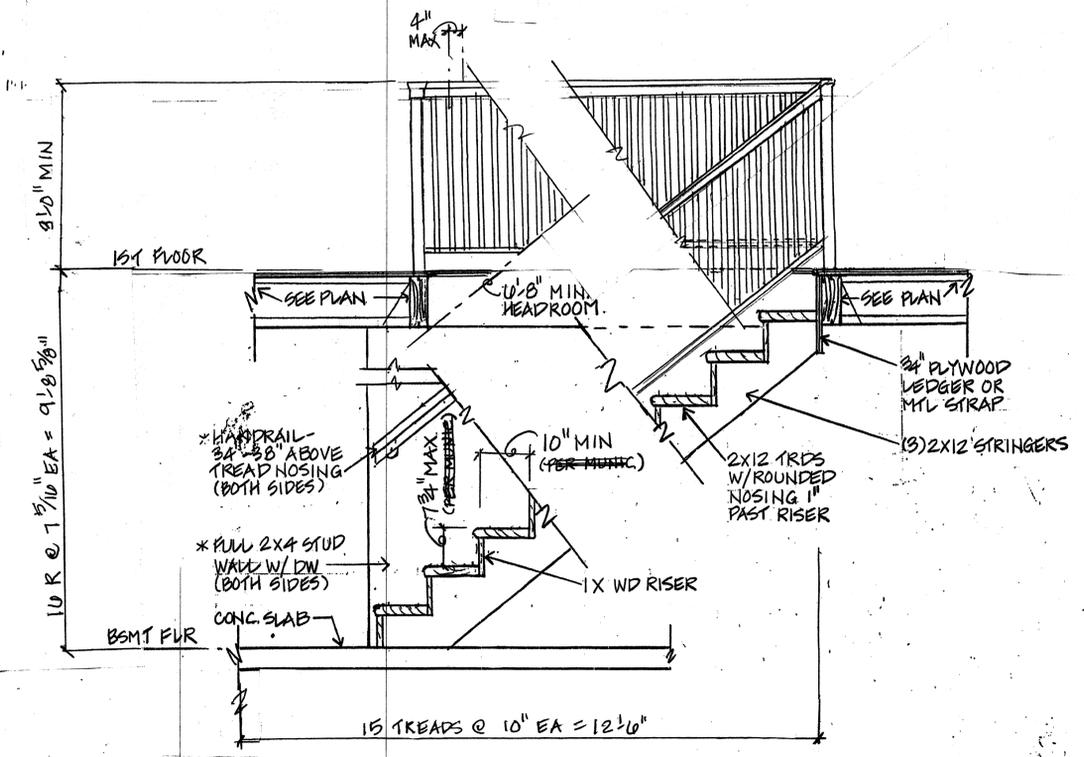


FIREPLACE PLAN

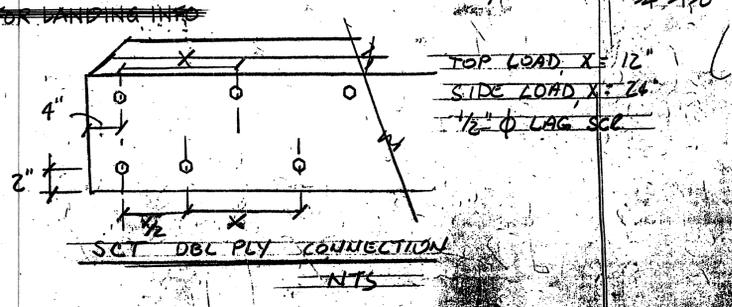
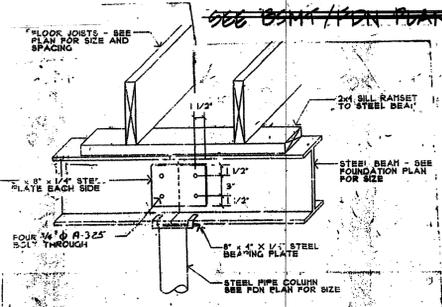


FIREPLACE SECTION

FIRESTOP REQ'D @ ALL CEILING LINES & ATTIC SPACES W/ 1/2\"/>



TYPICAL STAIR SECTION (U.N.O. ON SPECIFIC PLAN)

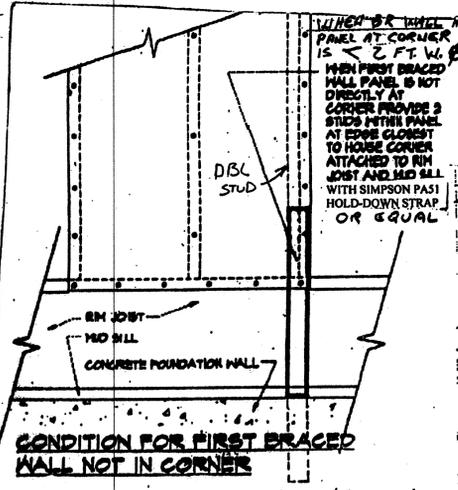


PAMELA L. ALSING
 ARCHITECTURAL DRAFTING & DESIGN
 3145 YAGGER ROAD
 ST. LOUIS, MO 63129 (314) 845-9123
 NOT A LICENSED ARCHITECT

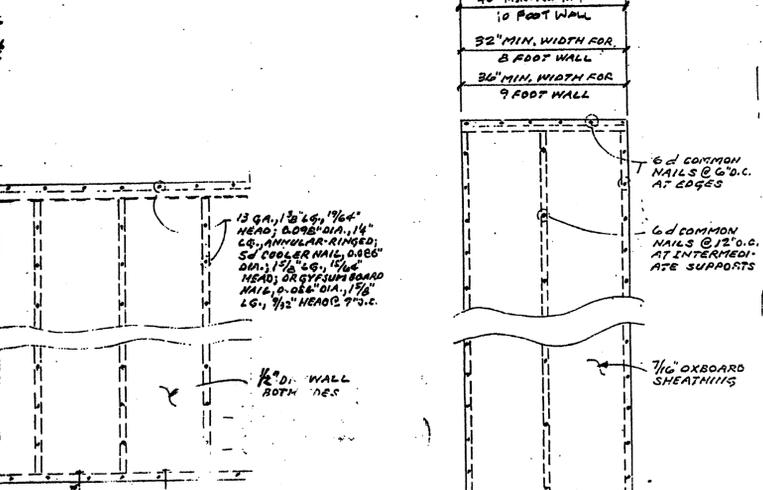
WHAVEN CUSTOM HOMES
 988 S. KIRKWOOD RD. STE 103
 KIRKWOOD, MO 63122
 (314) 575-7045

STAIR SECTION & MISC DETAILS
 ONE STORY INGRAPE

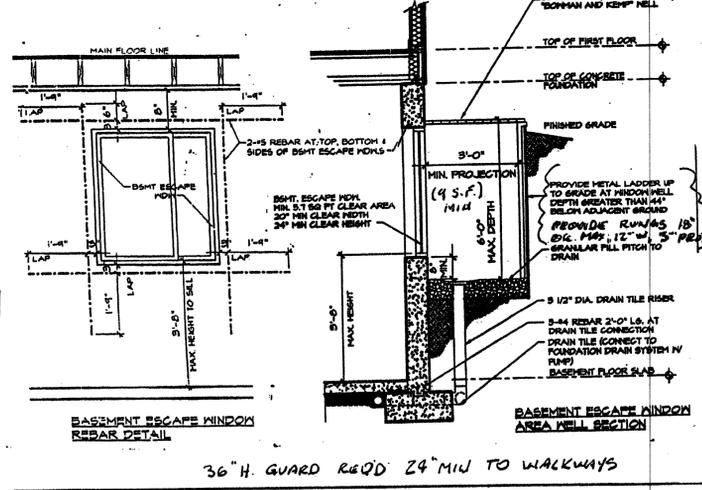
SHEET NO
D2



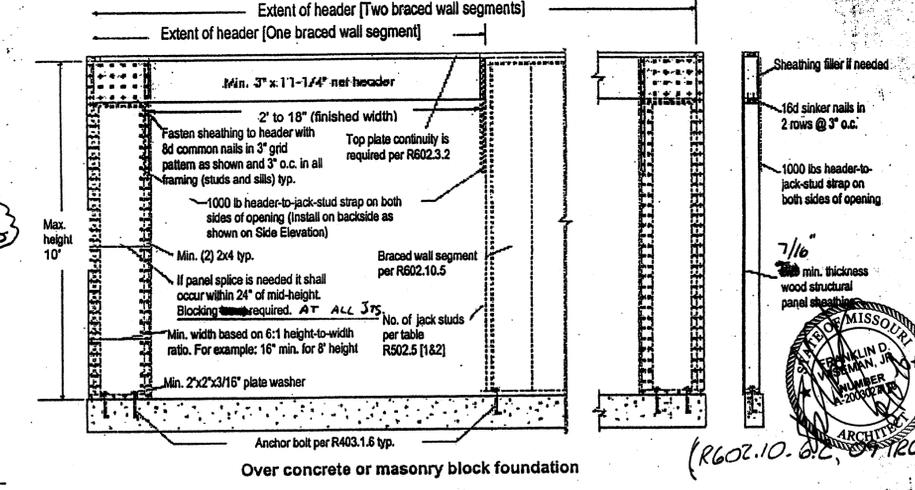
CONDITION FOR FIRST BRACED WALL NOT IN CORNER
 (ALL EDGES BLOCKED W/ MIN 1 1/2" FRG)
EXTERIOR BRACED WALL
 (REF: R602.10.1 OF 2009 IRC)*



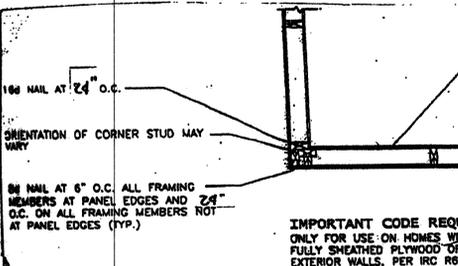
INTERIOR BRACED WALL
 1/2" OSB WALL BOTH SIDES
 6d COMMON NAILS @ 6" O.C. AT EDGES
 6d COMMON NAILS @ 12" O.C. AT INTERMEDIATE SUPPORTS
 1/2" OSB SHEATHING



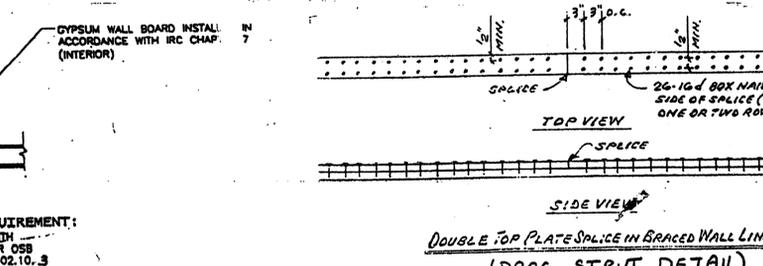
EXTERIOR BRACED WALL PANEL
 (ALL EDGES BLOCKED WITH MIN 1 1/2" W. FRAMING)
 40" MIN. WIDTH FOR 10 FOOT WALL
 32" MIN. WIDTH FOR 8 FOOT WALL
 24" MIN. WIDTH FOR 6 FOOT WALL
 6d COMMON NAILS @ 6" O.C. AT EDGES
 6d COMMON NAILS @ 12" O.C. AT INTERMEDIATE SUPPORTS
 1/2" OSB SHEATHING



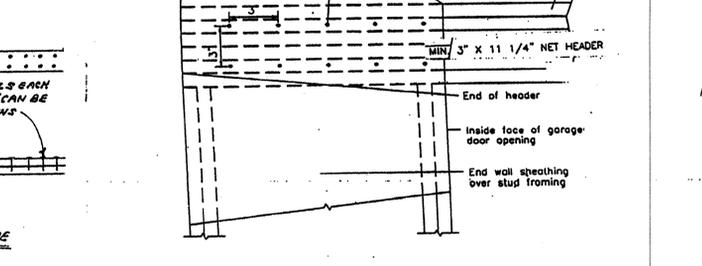
Outside Elevation
 Extent of header (Two braced wall segments)
 Extent of header (One braced wall segment)
 Min. 3" x 11-1/4" net header
 2" to 18" (finished width)
 Fasten sheathing to header with 6d common nails in 3" grid pattern as shown and 3" o.c. in all framing (studs and sills) typ.
 1000 lb header-to-jack-stud strap on both sides of opening (install on backside as shown on Side Elevation)
 Min. (2) 2x4 typ.
 If panel splice is needed it shall occur within 24" of mid-height. Blocking required. AT ALL JTS.
 Min. width based on 6:1 height-to-width ratio. For example: 16" min. for 8' height
 Min. 2"x2"x1/8" plate washer
 Anchor bolt per R403.1.6 typ.
Over concrete or masonry block foundation
 (R602.10.6, 6.1, 6.2, 6.3, 6.4, 6.5, 6.6, 6.7, 6.8, 6.9, 6.10, 6.11, 6.12, 6.13, 6.14, 6.15, 6.16, 6.17, 6.18, 6.19, 6.20, 6.21, 6.22, 6.23, 6.24, 6.25, 6.26, 6.27, 6.28, 6.29, 6.30, 6.31, 6.32, 6.33, 6.34, 6.35, 6.36, 6.37, 6.38, 6.39, 6.40, 6.41, 6.42, 6.43, 6.44, 6.45, 6.46, 6.47, 6.48, 6.49, 6.50, 6.51, 6.52, 6.53, 6.54, 6.55, 6.56, 6.57, 6.58, 6.59, 6.60, 6.61, 6.62, 6.63, 6.64, 6.65, 6.66, 6.67, 6.68, 6.69, 6.70, 6.71, 6.72, 6.73, 6.74, 6.75, 6.76, 6.77, 6.78, 6.79, 6.80, 6.81, 6.82, 6.83, 6.84, 6.85, 6.86, 6.87, 6.88, 6.89, 6.90, 6.91, 6.92, 6.93, 6.94, 6.95, 6.96, 6.97, 6.98, 6.99, 7.00)



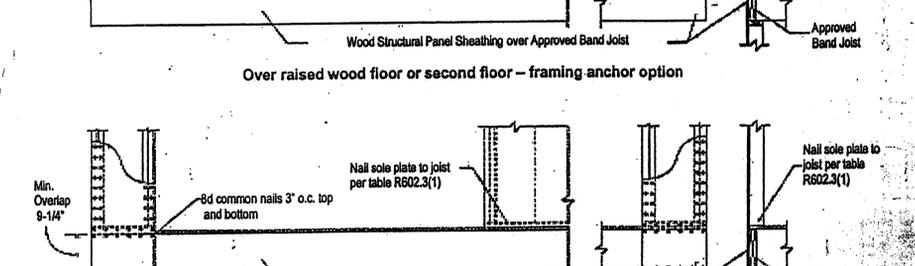
EXAMPLE OF OUTSIDE CORNER DETAIL
 PER IRC R602.10.4



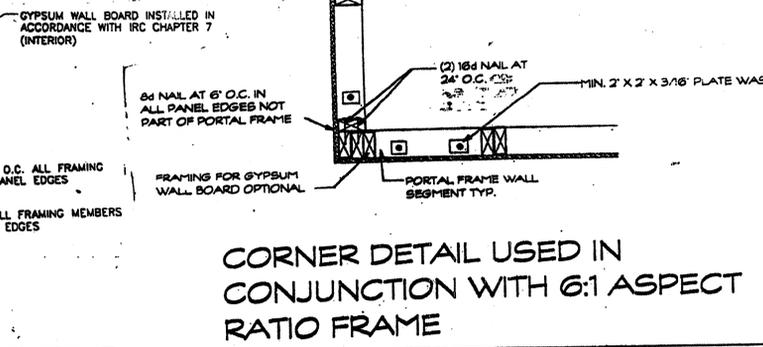
DOUBLE TOP PLATE SPLICE IN BRACED WALL LINE
 (DRAG STRUT DETAIL)
 26-10d BOX NAILS EACH SIDE OF SPLICE (CAN BE ONE OR TWO ROWS)
 3" O.C. NAILS



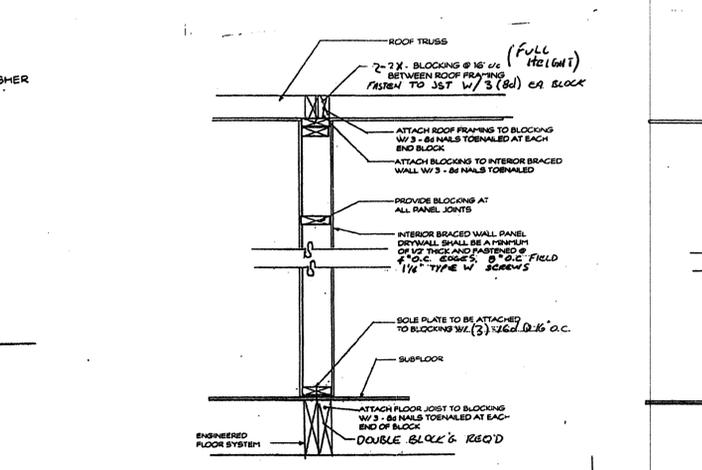
GARAGE DOOR HEADER OVER NARROW END WALL
 10d nails into continuous garage door header
 Garage door header continuous over end wall framing
 MIN. 3" x 11 1/4" NET HEADER
 End of header
 Inside face of garage door opening
 End wall sheathing over stud framing



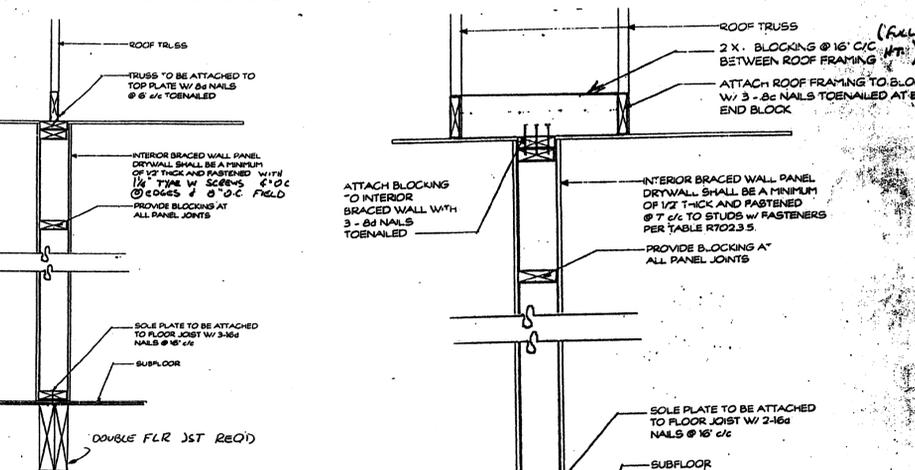
EXAMPLE OF INSIDE CORNER DETAIL
 PER IRC R602.10.4



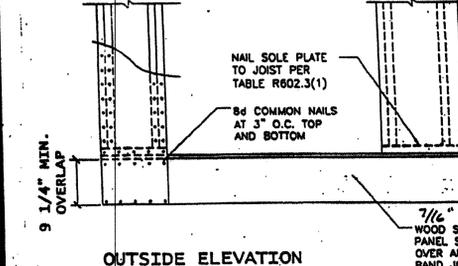
CORNER DETAIL USED IN CONJUNCTION WITH 6:1 ASPECT RATIO FRAME



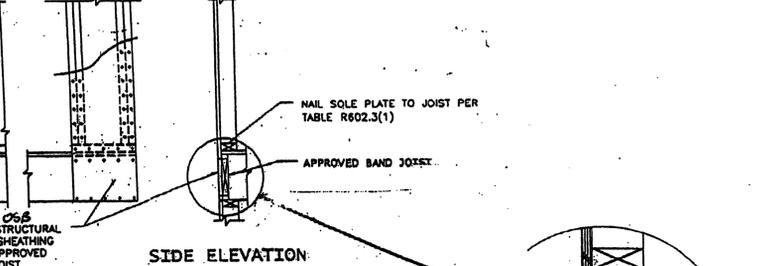
INTERIOR BRACED WALL PERPENDICULAR W/ TRUSS & JOIST
 NOT TO SCALE



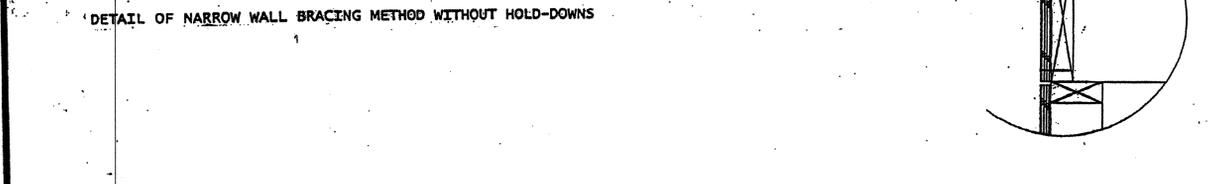
INTERIOR BRACED WALL W/ TRUSS & JOIST DIRECTLY ABOVE AND BELOW
 TO SCALE



OUTSIDE ELEVATION
 IMPORTANT CODE REQUIREMENT:
 ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD OR OSB EXTERIOR WALLS, PER IRC R602.10.3



SIDE ELEVATION
 IMPORTANT CODE REQUIREMENT:
 ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD OR OSB EXTERIOR WALLS, PER IRC R602.10.3



DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS
 IMPORTANT CODE REQUIREMENT:
 ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD OR OSB EXTERIOR WALLS, PER IRC R602.10.3



INTERIOR BRACED WALL W/ TRUSS & JOIST DIRECTLY ABOVE AND BELOW
 NOT TO SCALE



INTERIOR BRACED WALL W/O TRUSS & JOIST DIRECTLY ABOVE AND BELOW
 NOT TO SCALE

CITY OF BOLLWIN, 2006 IRC

DATE: 9/10/14	SHEET NO
IRC BRACING	D3
WRALDEN CUSTOM HOMES 338 S. KIRKWOOD RD STE 103 KIRKWOOD, MO 63122 (314) 575-1445	

GENERAL BUILDING NOTES

- The general or grading contractor is responsible for providing a minimum safe soil bearing capacity of 1500 psf (2000 psf if certified by a Missouri registered soils engineer) for all foundation footings. No foundation footings shall be placed on fill dirt. Design shall conform to Seismic Design Category "A/B" per Sec R301.2.2 of the 2009 International Residential Code for one and two family detached dwellings. All others shall conform to Seismic Design Category C unless soils reports indicate a seismic condition requiring stricter considerations.
- Backfill shall be free of debris and large rocks, installed in lifts and each lift compacted to fill all voids.
- F_c=3500 psi @ 28 days (min) concrete, air entrained per table R402.2 of the 2009 IRC or as required by local codes.
- Concrete basement foundation walls with more than 20% exposure above finish grade to be insulated w/products meeting the following criteria: flame spread rating less than 25; smoke development rating less than 450; can be left exposed without an approved 15 min. thermal barrier (1/2" drywall); R-13 min. insulation value. Extend insulation down to 24" min. below outside finish grade (or to basement slab). Fiberglass bats or blanket. No foam products allowed.
- Concrete piers to be 30" min. below grade and 24" min. into undisturbed earth. Flare bottom of piers per plan.
- Basement to have glass area equal to 1/150th of total area.
- Basement to have vent area to 1% of total area.
- Basement wall and floors of habitable and occupied spaces are to be water tight and properly reinforced to withstand water pressure as necessary.
- 6 mil poly vapor barrier required under concrete slabs with lapped joints minimum (basement and garage floors affected.)
- No ground water present-provide drain tile or perforated pipe around perimeter of the outside of the foundation or inside the foundation under the slab. Drain discharge shall be gravity to daylight or be connected to a basement floor sump. Basement area way drains and foundation drain tiles are not to be connected to a sanitary sewer.
 - An approved filter membrane shall be placed on 2" minimum gravel or crushed stone and have 6" minimum cover.
 - Provide sump, 15" in dia. x 18" deep with a fitted cover connected to the foundation drain pipe unless gravity discharge. A sump shall be provided if basement is finished with pump discharge into an approved disposal system.
 - Provide damp-proofing of floor slab of 6 mil polyethylene film below slab with joints in membrane lapped and sealed.
 - Walls shall be dampproofed with a bituminous material, 3 lb. per sq. yd. of acrylic modified cement, 1/8" coat of surface bonding mortar, or by any of the materials permitted for wall waterproofing.
- Groundwater present-provide drainage system inside and outside of foundation.
 - Drainage system shall discharge by gravity to daylight or be connected to an approved sump (18" in diameter by 18" deep fitted cover) having a sump pump that discharges into an approved disposal system. Basement area way drains and foundation drain tiles are not to be connected to a sanitary sewer.
 - Provide waterproofing membrane under floor slab of rubberized asphalt, butyl rubber, neoprene or minimum 6 mil polyvinyl chloride or polyethylene with joints lapped a minimum of 6" and sealed.
 - Foundation to be waterproofed with two ply hot-mopped felts, 6 mil PVC, 40 mil polymer asphalt or 6 mil polyethylene. Joints to be lapped and sealed per manufacturers installation instructions.
 - Waterproofing to be applied from the bottom of the wall to at least 12" above the water table elevation. The remainder of the wall to be dampproofed. All joints in walls and floors to be watertight.
- Steel and wood beams to have 4" minimum bearing in pocket and grouted solid.
- All lumber is to conform to Table I, American Lumber Standards Committee as indicated on this sheet.
- Roof overhang-2 layers of 15# felt (Type I per ASTM D226-95) cemented together from eave 24" inside building wall. Full 15# felt on all roof surfaces in compliance with 2009 IRC and local ordinances.
- Attic to have a minimum venting equal to 1/150th of total area. Two (2) remote vents required for each (min) Where ridge or gable vents are used, 1/2 of the area to be provided by ridge or gable vents and 1/2 by eave or cornice vents. Ventilation cannot be mechanical only.
- Aluminum flashing is required at roof/wall and chimney/roof intersections.
- Corrosion resistant flashing is required at the top and sides of all exterior window and door openings, all wall and roof intersections, changes in roof slope or direction, around all roof openings, intersections with chimneys, intersections of exterior walls and porches & decks, etc.
- Caulking and sealants: Exterior joints around window and door frames; between wall cavities and window or door frames; between wall and foundation, between wall and roof, between wall panels at penetrations or utility services through walls, floors and roofs, and all other openings in the exterior envelope shall be sealed in an approved manner.
- All exposed materials for porches, soffits, overhangs, etc. to be approved exterior grade materials.
- Fireblocking is required at all interior bearing partitions, furred spaces & between stair stringers atop and bottom of run, between stair stringers at the top and bottom of the run. Enclosed accessible spaces under stairs shall have walls, under stair surface and any soffits protected on the enclosed side with 1/2" gypsum board. Fire blocking required for all spaces between the chimney and the floors and ceilings the chimney passes through with 1" depth batt or blanket or mineral wool or glass fiber supported by strips of metal or metal lath. Fire blocking required around vent, pipe and duct penetrations of ceilings and floors.
- Firestop all dropped ceilings, soffits, and partitions over 8'-1-1/8" high. Ceilings suspended below wood joists or attached to wood floor trusses to be draft-stopped at 1000 sq. ft. intervals and parallel to the framing members.
- Top and bottom of all conventional and staggered-stud walls to be firestopped.
- Double floor joists below parallel partitions.
- All door and window headers: 2-2x10's unless noted otherwise. All headers to conform to Table I ALSC, this sheet U.N.O.
- All nailing must comply with table R602.3.1(1), (2) of the 2009 IRC.

- Drywall installation to be in accordance with the Gypsum Association's recommended practices as to the thickness, nailing and taping on correct spacing and Table R602.3.1 of the 2009 IRC.
- All fire rated drywall assemblies shall be installed in accordance with the specifications of the approved test assembly.
- Water resistant gypsum board is required in bath tub and shower areas (DO NOT INSTALL OVER VAPOR BARRIER)
- Interior finish materials shall not have flame spread ratings exceeding 200. If batt or blanket insulation including facings, vapor retarders or other vapor permeable membranes are exposed, material shall have a flame spread rating of 25 or less and a smoke development rating of 450 or less. Foam plastics shall have a flame spread rating of 75 or less and a smoke development rating of 450 or less.
- Air infiltration rate for windows shall not exceed 0.5 CFM per foot of sash track. Doors shall not exceed 0.5 CFM per sq. ft. of door area. Glazing in any portion of a building wall enclosing bathtubs, showers, hot tubs, etc. which is located less than 60" above a standing surface shall be tested and labeled in accordance with CPSC 16 CFR Part 1201 Standard as a Type I or Type II category safety glazing material. Any glazing material exceeding 9 sq. ft. in area is required to be safety glazing in accordance with the following categories:
 - Glazing in doors enclosing bathtubs, showers, hot tubs, whirlpools, saunas, steam rooms, spas, (TYPE II only), indoor or outdoor pools which is located 60" or less, measured horizontally, from the water's edge and less than 60" vertically above a standing surface
 - Any glazing material within a 24" arc of either vertical edge of the door in a closed position and if the bottom edge of the glazing material is less than 60" above the floor.
 - Fixed or operable panels that have individual panes greater than 9 ft. and bottom edge less than 18" above the floor and top edge more than 36" above floor and walking surface within 36" horizontally
 - All doors
 - Glazing in hand or guard rails
 - Glazing adjacent to stairways, landings and ramps within 36" horizontally of the walking surface. And glazing adjacent to stairways within 60" horizontally of the bottom tread in any direction when the exposed surface of the glass is less than 60" above the tread nosing
- Bathrooms must have 50 CFM min. exhaust to exterior; Kitchen range exhaust fan and/or down-draft cook top must have 100 CFM min. and 599 CFM max. (Also see note 53) exhaust to exterior; and clothes dryer must be vented to exterior and ducted independent of all other systems through a min. 4" dia. smooth duct. Maximum length of duct to be 25 ft.
- House to have aluminum gutters and downspouts. Do not connect to sanitary sewers
- Downspouts shall direct water away from foundation so as to prevent erosion
- It is the contractor's responsibility to see that the stairway, handrails, balusters and connections are designed, fabricated and installed in accordance with 2009 IRC code requirements as required by local ordinance. Handrails shall either meet A) circular cross-section with minimum diameter of 1-1/4" but not more than 2" B) other approved shapes having a maximum graspable perimeter dimension of 6-1/4", or minimum 4" graspable perimeter dimension. Maximum allowable handrail projection into stair width is 4 1/2". Handrails must be continuous and return to either a newel post or wall at each end. Stairways require lighting w/illuminated switches, 10 footcandles min., measured at every tread nosing. Ext. stairs 1 footcandle
- All wiring copper w/ ground and comply with all national, state, and local codes. Closet lighting per NEC 410-8, kitchen island receptacles per NEC 210-52. Receptacles for ranges and clothes dryers to be 3 pole ground type. Bedroom circuits to be arc protected
- Grounding: If the underground metal water pipe is used as the grounding electrode, the connection must be made to the pipe within 5' of the point of entrance to the building. A supplemental grounding electrode shall be provided as specified in NEC 250-50 and 250-53
- All electrical outlets in kitchen, baths, basement, garage and all other exterior electric outlets to be GFCI type. All circuits in bedrooms to be AFCI.
- Garage/house separating partitions and garage ceiling constructed with 5/8" type X gypsum board (1 hour fire rated assembly) Basement garage or garage with 2nd story above: Ceiling and floor separating garage from dwelling to be 1 hour fire rated assembly of 5/8" type X gypsum board. Soffit down around any mechanical ductwork with 5/8" type X gypsum board. Garage/house separating partitions to be 1 hour fire rated each side of stud. All bearing walls, beams, and columns/wood posts to be wrapped with 1 hour assembly of 1/2" type X gypsum board. All soffits, eaves and overhangs within 5 ft. of a property line must be fire rated. See plans.
- Smoke detectors to be AC powered with battery backup, UL listed and installed in accordance with NFPA 72-07. Detectors to be interconnected. Hallway detectors shall be located upstream from return air grilles. All bedrooms and each level of a residence must have a carbon monoxide detector. (UL 2034-2008/9)
- No-lead solder required on all copper water supply piping
- Plumbers Note: The incoming water service line for dwelling shall be sized as follows: 1" service line-up to 3 1/2 baths, 1-1/4" service line-up to 6 baths, and 1 1/2" service line-more than 6 baths. This count includes 1-kitchen sink with dishwasher, 1 clothes washer supply and laundry sink, and 2-1/2" exterior continuous use hose bibbs Roughed-in fixtures shall be included in this count.
- Water service pipe and the building sewer are to be a minimum of 10 ft. apart horizontally
- Door separating garage from the house is to be 1-3/4" solid core (1 hour fire rated) Door sill to be 4" minimum above garage floor
- All footings shall be placed on virgin soil (undisturbed subgrade)
- Finish grade to be 8" min. below top of foundation (6" min. for full masonry walls) and slope away from foundation 6" IN 10 FT. All areas sloped away to lower elevations
- Heating contractor to furnish duct layout and heat loss/gain calculations
- Roof trusses to comply with AFPA NDS-91 and TPI 1-2002; and roof truss manufacturer to furnish Missouri engineer-sealed drawings.
- Parallam, Microlam, etc installations to be in strict accordance with manufacturer's recommendations. Minimum properties of all structural lumber assemblies to meet or exceed E=1.7, Fv=285 psi, Fb=2600 psi
- All wood connections shall be in strict accordance with current AITC standards
- The structure specified on this drawing set is certified as designed. Any additional design work including site plan, lot survey, mechanical details. Any special foundation design if required soil conditions cannot be met is the responsibility of the builder unless specifically addressed in this set by the design professional.

- Insulating requirements: Roof/ceiling min. R-30; Frame walls and band joists min.R-13; Floor over unheated crawl space min. R-19; Basement foundation wall min. R-13; Slab on grade floor min. R-10 (unheated) R-15 (heated); Windows and doors max. U-.40
- Entry doors: Locks with thumb turns on the inside are permitted. Inside key operation is permitted provided the key cannot be removed from the lock when locked from the inside
- Each gas appliance shall have a gas shutoff valve and ground joint union. A sediment trap is required at each appliance or group of appliances. Gas piping shall be identified at intervals of no more than 5 ft. Vibration isolators shall be installed between mechanical equipment and metal ducts.
- Vibration isolators shall be fabricated from approved materials and shall not exceed 1" in length. Minimum appliance clearance from combustibles is 18" and minimum clearance in front of appliances for services 30" Make-up air shall be provided during the operation of kitchen exhaust systems of 600 CFM or greater exhaust flow. (See M1502.4)
- Cutting, notching and/or boring holes in wood beams, joists, rafters, or studs shall not exceed the limitations noted in R602.3.1 through 4, R502.8 and R802.7 of the 2009 IRC Code and as required by local ordinance. Stud reinforcement to be done in accordance with R602.6 of the 2009 IRC
- Nailing and fastening of floor, roof/ceiling, wall and roof sheathing, and gypsum const. shall be in accordance with R602.3.1 through 4 of the 2009 IRC in compliance with local ordinance.
- Combustible trim and mantles attached to the fireplace face shall be a minimum of 6" from the opening. Combustible material above & projecting more than 1 1/2" from a fireplace face wall shall have a minimum clearance of 12" above a fireplace opening
- Minimum depth of masonry fire box to be 20". Size of chimney connection to the smoke chamber shall have a minimum of 50 sq. in. in cross-sectional area.
- The walls of the throat and smoke chamber shall be a minimum of 8" solid masonry or 4" of solid masonry with at least 1" of insulating refractory masonry
- Masonry chimneys shall be constructed of 4" minimum solid masonry or 12" rubble stone masonry & shall be lined with minimum 5/8" thick fire-clay lining or other approved lining
- Fireplace liner shall extend a minimum 4" into the throat of a masonry fireplace
- Hanging light fixtures, track lighting & ceiling fans are not to be installed within 36" horizontal of bath tub, measured from outside edge of tub & 96" vertically from top of tub rim. Electric receptacles are prohibited in bath tub or shower space. Shower/floors and shower, bathtub/shower enclosure walls to be constructed of smooth noncorrosive, nonabsorbent and waterproof materials to a height of 72" min. above floor
- General contractor to affix a metal or other durable material, sign reading "WARNING-TRUSSES NOT DESIGNED FOR STORAGE" in attics on each side of scuttle hole openings, 36" above bottom chord and within 18" of edge, 40 sq. in. in area using 3/4" letters. Additionally a 2x4 horizontal railing is to be affixed on each side - 24" min. height and 36" max. height
- All construction to be in accordance with the 2009 IRC, 2008 National Electric Code, the 2009 Uniform Plumbing Code and the 2009 International Building Code and all local ordinances unless otherwise indicated. Where construction does not meet the 2009 IRC, construction documents will be supplied either by the contractor or design professional of record showing compliance with the 2009 International Building Code. (2009 IBC - BALDWIN, MO)
- Windows: All skylights shall be double-glazed with maximum U value of 0.60. Windows for natural ventilation of unfinished basements may be single glazed. All other windows shall comply with one of the following conditions: For window areas that do not exceed 24% of the gross insulated frame wall area or the entire building:
 - Use double glazed windows with 1/2" minimum (gross overall thickness) clear glass, with either aluminum frame with thermal break, vinyl frame, wood frame, or fiberglass frame. OR
 - Use a window having a maximum overall U value not more than 0.40

For window areas greater than 24% and not more than 30% of the gross insulated frame wall area of the entire building, use one of the following options: Use double glazed windows with 1/2" min. (gross overall thickness) clear glass, with either aluminum frame with thermal break, vinyl frame, wood frame or fiberglass frame with one of the following options:

 - Treated with Low E film
 - Exterior wall sheathed with a minimum 1/2" sheathing with an R- value of R3 min.
 - Max U value of all windows shall not exceed 0.40
- Contractor to install sign stating the house is equipped with dryer duct clean-outs when clean-outs are installed.
- Mechanical contractor is required to install a programmable thermostat.
- Electrical contractor is to install at least one communication outlet within the dwelling and cabled to the service provider demarcation point. The communication system shall have an interior bonding terminal.
- Foam insulation products to be separated from interior by 1/2" thick gypsum.
- No exposed or partially exposed or pendant lights allowed in closets. Maintain 12" clearance between light fixture and storage for incandescent lighting and 6" clearance for fluorescent lighting.
- Shower, shower floor and shower/bath enclosures to be smooth, non-corrosive, non-absorbent and waterproof up to 6 ft. 0 in. above floor.
- Clearance for all mechanical equipment shall be 18 inches sides and back and 30 inches front.
- All bedroom, habitable attics and basement to have a minimum of one egress window with 44 inches maximum dimension from finished floor to bottom of clear opening, 20 inches minimum width of clearance and 24 inches minimum height of clear opening. The shall also be a minimum open area for each egress window of 5.7 sq. ft. Egress openings in basement walls shall conform to the detail on this sheet.
- The contractor shall insure all fuel gas appliances meet the requirements of the 2009 IRC, specifically Sec G2407-Combustion and Ventilation Requirements, Sec. G2408 Installation Requirements, Ccc G2409, Clearance Requirements

74. Roof Valleys (Open) Either 24" wide metal per Table 905.2.8.2 or two plies of mineral surfaced roof roofing, ASTM D3909 or D6380 Class M-bottom layer 18 w., top layer 36" w. (Closed)-one ply smooth roll roofing ASTM D6380, 3 in. w.or self-adhesive polymer layment, ASTM D1970

75. A waterproof GFCI receptacle is required within 25 ft. of the outside A/C condenser



SOUTHERN PINE REFERENCE DESIGN VALUES
Based on SPIB Grading Rules and AISC National Design Specifications
Table 1 Dimension Lumber - 2" to 4" thick, 2" and wider
Based on Normal Load Duration and Dry Service (MC=19%)
Effective June 1, 2009

Size	Grade	Tension Parallel to Grain				Compression Parallel to Grain		Modulus of Elasticity, E _m
		F _t	F _c	F _c	F _c	F _c		
2" to 4" thick	Dense Select Structural	2700	1900	175	660	2050	1,900,000	690,000
	Select Structural	2550	1850	175	585	1900	1,800,000	660,000
	Non-Dense Select Structural	2050	1450	175	480	1800	1,600,000	580,000
	No. 1 Dense	1650	1100	175	660	1750	1,600,000	580,000
2" to 4" wide	No. 1 Non-Dense	1300	875	175	480	1550	1,400,000	510,000
	No. 2 Dense	1200	750	175	660	1500	1,300,000	500,000
	No. 2 Non-Dense	1100	675	175	585	1450	1,200,000	480,000
	No. 3 and Stud	650	400	175	585	850	1,300,000	470,000
2" to 4" thick, 5" to 6" wide	Dense Select Structural	2400	1650	175	660	1900	1,900,000	690,000
	Select Structural	2100	1450	175	585	1800	1,800,000	660,000
	Non-Dense Select Structural	1850	1300	175	480	1700	1,600,000	580,000
	No. 1 Dense	1550	875	175	585	1550	1,600,000	600,000
2" to 4" thick, 8" wide	No. 1 Non-Dense	1200	775	175	480	1450	1,400,000	500,000
	No. 2 Dense	1150	650	175	660	1400	1,300,000	490,000
	No. 2 Non-Dense	1050	575	175	585	1350	1,200,000	470,000
	No. 3 and Stud	575	350	175	585	800	1,300,000	470,000
2" to 4" thick, 10" wide	Dense Select Structural	2200	1550	175	660	1850	1,800,000	680,000
	Select Structural	1950	1350	175	585	1750	1,600,000	600,000
	Non-Dense Select Structural	1700	1200	175	480	1650	1,600,000	580,000
	No. 1 Dense	1550	900	175	660	1600	1,600,000	600,000
2" to 4" thick, 12" wide	No. 1 Non-Dense	1250	800	175	585	1500	1,400,000	510,000
	No. 2 Dense	1100	700	175	660	1400	1,300,000	490,000
	No. 2 Non-Dense	1000	625	175	585	1350	1,200,000	470,000
	No. 3 and Stud	525	325	175	585	775	1,300,000	470,000

SELECT SIZE AT INDICATED GRADES

76. Wind speed criteria for this design is based on 90 mph (3 sec. gust) criteria per Sec. R301.2(4) of the 2009 IRC. Wall and roof connections in this design are adequate to resist these wind loads.

77. The structure specified on these plans will be termite damage protected by the contractor according to R317 and R318 of the 2009 IRC.

78. An approved ice and water shield shall be provided on all roof edges in compliance with Sec. R905.2.7.1 of the 2009 IRC.

LAST UPDATE: 3/8/2014

SEE SPECIFIC PLAN SET

* CITY OF BALDWIN - 2006 IRC

GENERAL NOTES

WHALEN CUSTOM HOMES

3325 S. KIRKWOOD RD STE 103

KIRKWOOD MO 63122

(314) 575-1045

SHEET NO D4

EXTERIOR

SHINGLES

- Tamko 30-yr Architectural Heritage- Weathered Wood

SIDING/SOFFIT/FASCIA

- JamesHardie HardiePlank Lap Siding- Gray Slate
- JamesHardie HardieShingle Panel- Gray Slate

BRICK

- Oxford Brick Cap

STONE

- Harvest Mix Tumbled

WINDOWS

- Andersen 100 Series- White

FRONT DOOR

- Therma Tru Classic-Craft American Style- Walnut

SHUTTERS

- Cedar per plan- Stained to match front door

GARAGE DOOR

- Delden Classica Series- N10, White 16x8, 8x8

HERITAGE[®]

LAMINATED ASPHALT SHINGLES

PRODUCT DATA

MANUFACTURED IN JOPLIN, MO



HERITAGE[®] shingles have a double-layer fiberglass mat construction with a random-cut sawtooth design. The two layers of mat are coated with asphalt, surfaced with mineral granules and then laminated together. They also include a self-sealing strip of asphalt.

USES: For application to roof decks with inclines of not less than 2 inches per foot. For slopes between 2 inches and 4 inches per foot, refer to application instructions for low slope.

- Rustic beauty of wood shakes.
- Shadowtone feature adds dimension, depth of appearance and curb appeal.
- 30-year Limited Warranty, 15-year Full Start, 5-year Transferability.

SHINGLES BEGIN TO AGE AS SOON AS THEY ARE EXPOSED TO NATURE. BUILDINGS EXPERIENCE AGING FACTORS DIFFERENTLY, SO IT IS DIFFICULT TO PREDICT HOW LONG SHINGLES WILL LAST. THAT'S WHY TAMKO PROVIDES A LIMITED WARRANTY, THAT INCLUDES A BINDING ARBITRATION CLAUSE AND OTHER TERMS AND CONDITIONS WHICH ARE INCORPORATED HEREIN BY REFERENCE. YOU MAY OBTAIN A COPY OF THE LIMITED WARRANTY AT TAMKO.COM OR BY CALLING 1-800-641-4691.

CERTIFICATIONS

UL Listed for Class A Fire Rating:	UL 790/ASTM E 108, Class A
UL Classified for Wind Resistance:	ASTM D 7158, Class H and ASTM D 3161, Class F
UL Classified in accordance with:	ASTM D 3462 and ICC-ES Acceptance Criteria AC438
UL Evaluation Reports:	UL ER2919-01 and UL ER2919-02
Florida Building Code Approved:	FL 18355

COLORS

AMERICA'S NATURAL COLORS

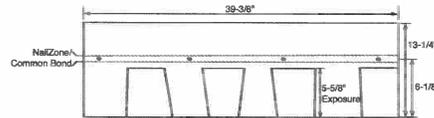
- Black Walnut
- Natural Timber
- Harvest Gold
- Painted Desert
- Mountain Slate
- Thunderstorm Grey

CLASSIC HERITAGE COLORS

- Antique Slate
- Rustic Black
- Rustic Hickory
- Olde English Pewter
- Rustic Cedar
- Rustic Slate
- Oxford Grey
- Rustic Evergreen
- Weathered Wood

PRODUCT DATA[†]

Shingle size	13-1/4" x 39-3/8"
Exposure	5-5/8"
Coverage per Square ^{††}	98.4 sq.ft.
Shingles per Square ^{††}	64
Bundles per Square ^{††}	3



[†] All values stated as nominal.

^{††} When applied according to Instructions.

CAUTION: This product contains crystalline silica and formaldehyde. Crystalline silica and formaldehyde have been classified as "known" human carcinogens by the International Agency for Research on Cancer (IARC) and the National Toxicology Program. This product also contains oxidized asphalt. Occupational exposures to oxidized asphalt and its emissions during roofing have been classified by IARC as a "probable human carcinogen". Oxidized asphalt also contains Polycyclic Aromatic Hydrocarbons some of which have been classified by IARC as known or probable human carcinogens. The physical nature of this product may help limit any inhalation or dermal hazard during application and/or removal. However, physical forces such as sawing, grinding or drilling during demolition work and heating or burning may increase the inhalation or dermal exposure hazard of this product. Take precautions to prevent breathing and contact with skin.

Information included in this product data sheet was current at time of printing. To obtain a copy of the most current version of this product data sheet, visit us online at tamko.com or call us at 800-641-4691.

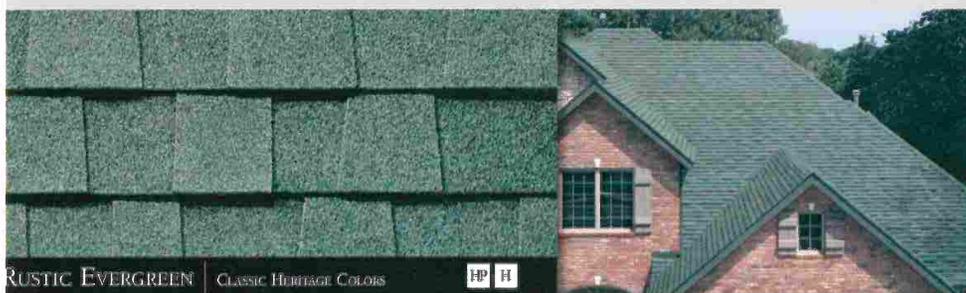
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P.O. Box 1404 • Joplin, MO 64802-1404 • 1-800-641-4691 • tamko.com

Rev. 07/2019

HP HERITAGE[®] Premium Shingles H HERITAGE[®] Shingles Symbols shown beside each color name denote product options and availability.



NOTE: TAMKO[®] RECOMMENDS VIEWING AN ACTUAL ROOF INSTALLATION PRIOR TO FINAL COLOR SELECTION FOR THE FULL IMPACT OF COLOR BLENDING AND PATTERNS. REPRODUCTION OF THESE COLORS IS AS ACCURATE AS OUR PRINTING WILL PERMIT.

Joplin, MO, produces colors in Heritage only. All Heritage Premium colors offered from Joplin, MO, are produced in Phillipsburg, KS. Rustic Redwood and Rustic Brown swatch photos are Phillipsburg Heritage Premium colors. All other swatch photos shown in this

Technical Attributes

HardiePlank™ Lap Siding

Effective 12/2007

James Hardie Building Products, Inc.

HardiePlank™ Lap Siding has been comprehensively tested and displays the following typical physical properties.

General Property		Test Method	Unit or Characteristic	Requirement	Result
PHYSICAL ATTRIBUTES	Dimensional Tolerances	ASTM C1185	Length	± 0.5%	Pass
		ASTM C1185	Width	± 0.5%	Pass
		ASTM C1185	Thickness	± 0.04 in.	Pass
		ASTM C1185	Squareness	< 1/32 in./ft of length	Pass
		ASTM C1185	Edge Straightness	< 1/32 in./ft of length	Pass
	Density, lb/ft ³	ASTM C1185		As reported	< 83
	Water Absorption, % by mass	ASTM C1185		As reported	< 36
	Water Tightness	ASTM C1185	Physical Observations	No drop formation	Pass
	Moisture Content, %	ASTM C1185		As reported	~ 5
	Moisture Movement, % Linear Change	ASTM C1185	30 – 90% Relative Humidity	As reported	≤ 0.05
	Flexural Strength	ASTM C1185	Wet conditioned, psi	> 1015 psi	Pass
ASTM C1185		Equilibrium conditioned, psi	> 1450 psi	Pass	

THERMAL		Test Method	Unit or Characteristic	Requirement	Result
Thermal Conductivity	ASTM C177	$K_{eff} = \text{BTU/hr-ft}^2\text{-}^\circ\text{F}$		As reported	2.07
Actual Thermal Conductivity	ASTM C177	(K_{eff})		As reported	6.62
Thermal Resistance	ASTM C177	$R=1/K_{eff}$		As reported	0.48
Actual Thermal Resistance	ASTM C177	(R)		As reported	0.15

DURABILITY		Test Method	Unit or Characteristic	Requirement	Result
Warm Water Resistance	ASTM C1185	Physical Observations		No visible cracks or structural alteration	Pass
	ASTM C1185	Warm Water, % wet retention		≥ 85%	Pass
Heat/Rain Resistance	ASTM C1185	Physical Observations		No visible cracks or structural alteration	Pass
	ASTM C1185	Physical Observations		No visible cracks or structural alteration	Pass
Freeze/Thaw Resistance	ASTM C1185	Mass Loss, %		≤ 3.0	Pass
	ASTM C1185	Freeze/Thaw, % wet retention		≥ 80%	Pass
	ASTM C1185	Freeze/Thaw, % wet retention		≥ 80%	Pass
UV Accelerated Weathering Test	ASTM G23	Physical Observations		No cracking, checking, or crazing	Pass

FIRE CHARACTERISTICS		Test Method	Unit or Characteristic	Requirement	Result
Surface Burning Characteristics	ASTM E84	Flames Spread Index (FSI)		0	Pass
	ASTM E84	Smoke Developed Index (SDI)		≤ 5	Pass
	ASTM E84	Fuel Contributed		0	Pass
		NFPA Class		As reported	A
		Uniform Building Code™ Class		As reported	1
		International Building Code® Class		As reported	A
Noncombustibility	ASTM E136	Noncombustible		Pass/fail	Pass
Fire Resistance Rated Construction	ASTM E119	Fire Resistance Rating		1-hour	Note 1

Note 1: Listed on Warnock Hersey and ICC-ES NER-405

NOTE: In addition to the above product properties, building assemblies incorporating this product have been tested for fire, acoustic and impact performance.

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Additional installation information, warranties, and warnings are available at www.jameshardie.com



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Technical Attributes

HardieShingle™ Panel

Effective 12/2007

James Hardie Building Products, Inc.

HardieShingle™ Panel has been comprehensively tested and displays the following typical physical properties.

	General Property	Test Method	Unit or Characteristic	Requirement	Result
PHYSICAL ATTRIBUTES	Dimensional Tolerances	ASTM C1185	Length	± 0.5%	Pass
		ASTM C1185	Width	± 0.5%	Pass
		ASTM C1185	Thickness	± 0.04 in.	Pass
		ASTM C1185	Squareness	< 1/32 in./ft of length	Pass
		ASTM C1185	Edge Straightness	< 1/32 in./ft of length	Pass
	Density, lb/ft ³	ASTM C1185		As reported	< 83
	Water Absorption, % by mass	ASTM C1185		As reported	< 36
	Water Tightness	ASTM C1185	Physical Observations	No drop formation	Pass
	Moisture Content, %	ASTM C1185		As reported	~ 5
	Moisture Movement, % Linear Change	ASTM C1185	30 – 90% Relative Humidity	As reported	≤ 0.05
	Flexural Strength	ASTM C1185	Wet conditioned, psi	> 1015 psi	Pass
ASTM C1185		Equilibrium conditioned, psi	> 1450 psi	Pass	
THERMAL	Thermal Conductivity	ASTM C177	$K_{eff} = \text{BTU/hr-ft}^2\text{-}^\circ\text{F}$	As reported	1.95
	Actual Thermal Conductivity	ASTM C177	(K_{eff})	As reported	7.8
	Thermal Resistance	ASTM C177	$R=1/K_{eff}$	As reported	0.51
	Actual Thermal Resistance	ASTM C177	(R)	As reported	0.13
DURABILITY	Warm Water Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
		ASTM C1185	Warm Water, % wet retention	≥ 85%	Pass
	Heat/Rain Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
		Freeze/Thaw Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration
	ASTM C1185		Mass Loss, %	≤ 3.0	Pass
	ASTM C1185		Freeze/Thaw, % wet retention	≥ 80%	Pass
	UV Accelerated Weathering Test	ASTM G23	Physical Observations	No cracking, checking, or crazing	Pass
FIRE CHARACTERISTICS	Surface Burning Characteristics	ASTM E84	Flames Spread Index (FSI)	0	Pass
		ASTM E84	Smoke Developed Index (SDI)	≤ 5	Pass
		ASTM E84	Fuel Contributed	0	Pass
			NFPA Class	As reported	A
			Uniform Building Code™ Class	As reported	1
		International Building Code® Class	As reported	A	
	Noncombustibility	ASTM E136	Noncombustible	Pass/fail	Pass
Fire Resistance Rated Construction	ASTM E119	Fire Resistance Rating	1-hour	Nil.	

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Grey Slate Example

Customer Service South <SouthCS@jameshardie.com>
To: "jennifer@whalencustomhomes.com" <jennifer@whalencustomhomes.com>

Fri, Aug 26, 2016 at 11:15 AM

Hi Jennifer,

Please see the below:



Thank you,

Katie Wiese

James Hardie Building Products

Customer Operations Exteriors

Phone: 888-888-3408

Fax: 800-968-7040

E-mail: SouthCS@jameshardie.com

customerfeedback@jameshardie.com

James Hardie will be closed for Labor Day, September 5th.



9S39 Oxford Closure



100 SERIES

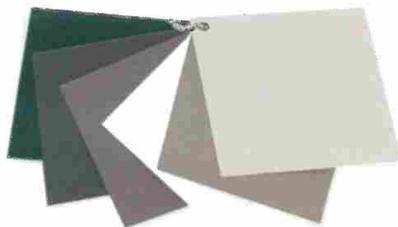
WINDOWS & PATIO DOORS

THE SMART ALTERNATIVE TO VINYL

Whether you're replacing, remodeling or building, Andersen® 100 Series windows and patio doors are a smart step up from vinyl. They provide uncommon value, combining time-tested performance with long-lasting beauty. Our 100 Series products are made with our revolutionary Fibrex® composite material, which comes in deep, rich colors that can dramatically enhance any project. In addition, Fibrex material is environmentally responsible and energy efficient, making 100 Series products a winning choice for anyone considering vinyl windows and doors.

DURABILITY

Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight. And 100 Series products come with durable factory-finished interiors and exteriors that never need painting and won't fade, flake, blister, chalk or peel.*



DEEP, RICH COLORS

Our 100 Series windows come in beautiful colors that can set a project apart.

ENVIRONMENTALLY SMART

Our Fibrex composite material is composed of 40% reclaimed wood fiber by weight, most of which is created during the manufacture of Andersen wood windows.



*Visit andersenwindows.com/warranty or contact your Andersen supplier for details.



ANDERSEN® 100 SERIES WINDOWS & DOORS DELIVER BEAUTY, PERFORMANCE AND VALUE.

All 100 Series windows and patio doors feature the performance, durability and ease of use you've come to expect from Andersen. They not only provide energy efficiency, beauty and reliability today, but they'll also continue to add value to your projects tomorrow and for years* to come.

ENERGY EFFICIENCY



MEETS ENERGY STANDARDS FOR EVERY CLIMATE

Energy-efficient 100 Series products with options that are ENERGY STAR® certified can help lower heating and cooling bills. What's more, the Fibrex® material used for 100 Series frames and sash blocks thermal transfer nearly 700 times better than aluminum.

IT PAYS TO UNDERSTAND PERFORMANCE

Whatever your project, you want to make sure you have accurate energy performance ratings. The National Fenestration Rating Council® (NFRC) is a nonpartisan, nonprofit organization that provides ratings you can rely on. Go to pages 90-95 for product performance information or visit andersenwindows.com/100series for details.

GLASS OPTIONS THAT MAXIMIZE PERFORMANCE

Andersen® 100 Series windows and patio doors feature glass options designed to suit every climate, project and customer. Choose from several glass options that help reduce energy bills, including patterned glass that adds beauty and privacy. See page 10 for details.

WEATHERSTRIPPING SELECTED FOR STYLE AND COMFORT

We carefully select weatherstripping to match each style of window and door so your customers can enjoy superior comfort and reliability.

*Visit andersenwindows.com/warranty or contact your Andersen supplier for details.

DURABILITY

EASY OPERATION FOR YEARS* TO COME

All Andersen® 100 Series products are rigorously tested to deliver years* of smooth, reliable operation.

DESIGNED FOR PERFORMANCE

100 Series products are designed to meet or exceed performance requirements in all 50 states.** See pages 90-95 for details.

TAKE COMFORT IN SUPERIOR WEATHER RESISTANCE

Our weather-resistant construction seals out drafts, wind and water so well that your reputation is protected whatever the weather.

OWNER2OWNER® LIMITED WARRANTY

QUALITY SO SOLID THAT THE WARRANTY IS TRANSFERABLE*

Most other window and door warranties end when a home is sold, but our coverage — 20 years on glass, 10 years on non-glass parts — transfers from each homeowner to the next. And, because it's not prorated, the coverage offers full benefits, year after year, owner after owner.

NEVER NEEDS PAINTING

100 Series windows and doors won't fade, flake, blister, chalk or peel.*

STRONGER CORNER JOINTS

Corner key construction produces joints that are stronger and more attractive than welded vinyl.



Corner key construction

BEAUTY

VIRTUALLY SEAMLESS CORNERS

To give your windows, patio doors and projects a beautiful, clean look, 100 Series products feature virtually seamless corners.



100 Series corner seam Welded vinyl corner seam

SIX COLORS FOR BEAUTIFUL CURB APPEAL

From White and Sandtone to deep, rich Terratone, Cocoa Bean, Dark Bronze and Black colors, 100 Series windows and doors complement any project.

ATTRACTIVE MATTE INTERIORS

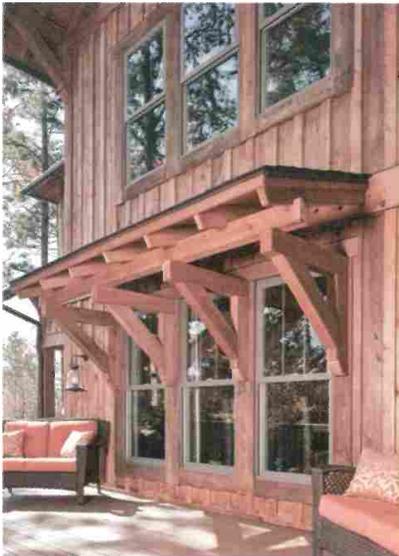
Durable, matte White or Sandtone interiors are available. Interiors may also be painted to match a home's décor†

DESIGN FLEXIBILITY

Choose from a complete product line (single-hung, gliding, casement, awning, picture and specialty windows and gliding patio doors) in a variety of shapes, sizes and combinations.

IMPROVE YOUR VIEW WITH TRUSCENE® INSECT SCREENS

With over 50% more clarity than conventional insect screens, optional TruScene® insect screens for windows give you beautifully unobstructed views. They let more sunlight and fresh air into the home while keeping the smallest insects out!†



*Visit andersenwindows.com/warranty or contact your Andersen supplier for details.

**See your local code official for building code requirements in your area.

†See care and maintenance guide.

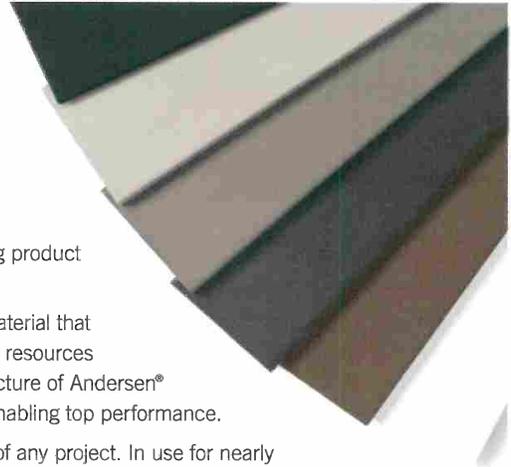
††All comparisons made to conventional Andersen® insect screens.

FIBREX® MATERIAL. STRONG ON PERFORMANCE. GENTLE ON THE ENVIRONMENT.

With Fibrex® composite material, you get the best of both worlds: a top-performing product that is environmentally responsible.

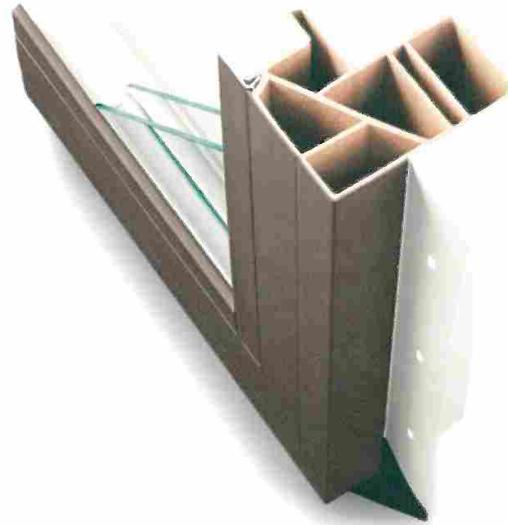
Developed by Andersen, Fibrex material is a revolutionary structural composite material that blends the very best attributes of vinyl and wood. Fibrex material saves on natural resources because it is composed of 40% wood fiber by weight reclaimed from the manufacture of Andersen® wood windows. Special polymer formulations surround and fill each wood fiber, enabling top performance.

The result is a material that provides uncommon value and enhances the quality of any project. In use for nearly two decades in Andersen products, Fibrex material has proven its strength and durability in all types of climates.



A REVOLUTIONARY BUILDING MATERIAL

- Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight
- It blocks thermal transfer nearly 700 times better than aluminum to help reduce heating and cooling bills
- For exceptional durability, Fibrex material retains its stability and rigidity in all climates



ENVIRONMENTALLY RESPONSIBLE

- Since Andersen developed the highly sustainable Fibrex material, reuse of waste wood fiber has prevented the harvesting of nearly 90 million board-feet of timber
- 100 Series windows can help builders earn LEED® points in three key categories: Energy & Atmosphere, Materials & Resources and Indoor Environmental Quality
- 100 Series products meet or exceed California Section 01350 Specification, a California indoor emission standard — one of the toughest in the country
- Like all Andersen windows, the 100 Series product line is designed to last* and reduce future waste streams

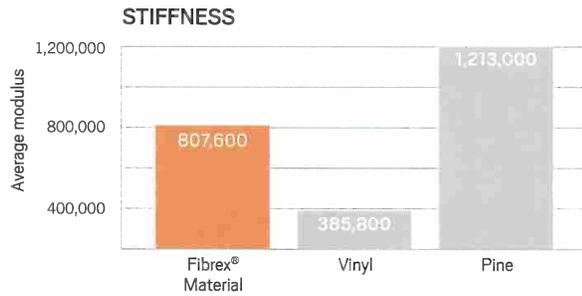


See how Andersen created Fibrex material at andersenwindows.com/fibrex

*Visit andersenwindows.com/warranty or contact your Andersen supplier for details. All logos and marks are trademarks of their respective owners.

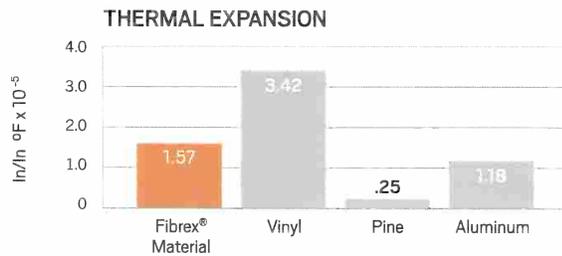
✓ STABLE & PREDICTABLE

Fibrex® material is twice as stiff as vinyl. This strength makes it a better choice over time.



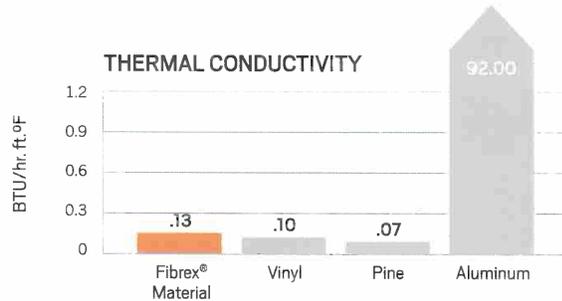
✓ DURABLE & RELIABLE

All materials expand and contract when exposed to extreme temperatures. In these types of conditions, Fibrex material performs twice as well as vinyl, which can bow and crack over time.



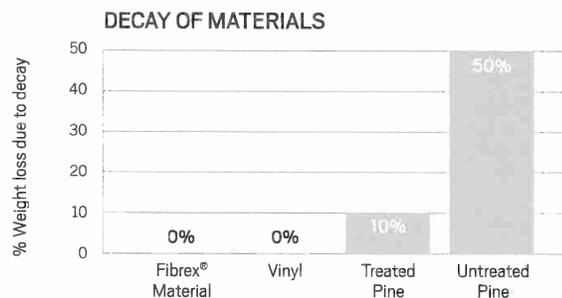
✓ AN EXCELLENT INSULATOR

The built-in thermal qualities of Fibrex material mean that less heat and cold get transferred through the unit into your customers' homes. As an insulator, it's on par with vinyl and is far superior to aluminum.



✓ MOISTURE-RESISTANT

Because Fibrex material combines wood fiber and a special polymer formula, water has a tough time penetrating. The result is an increased resistance to rot.



✓ HEAT-RESISTANT

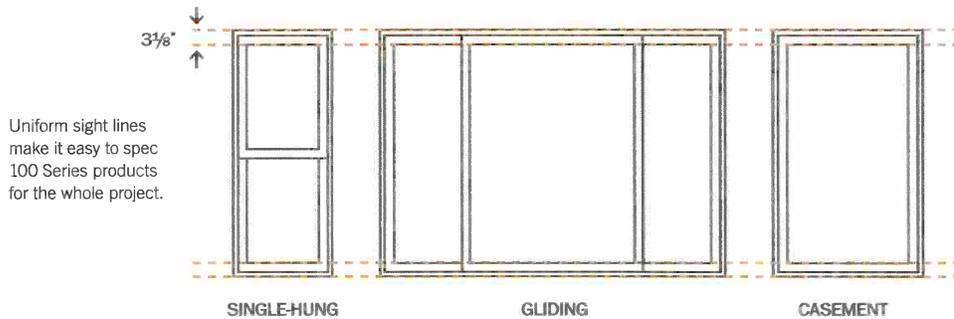
Designed to withstand direct sunlight, Fibrex material can withstand temperatures in excess of 160°F, even in dark colors.

WHATEVER YOUR PROJECT, ANDERSEN DELIVERS.



BUILD

Wherever you work and whatever style of home you're building, you'll find a window or door to match in the Andersen® 100 Series product line. Choose from six exterior colors that won't fade, flake, blister, chalk or peel*— no matter what the climate. Virtually seamless corners create a beautiful, clean look.



SINGLE-HUNG DRYWALL WINDOW (DRYWALL PASS-THROUGH WINDOW)

- Upper sash (normally stationary) is easily removed on jobsite after the window is installed
- With both sash removed, drywall passes through the window into upper floors

EXTENSION JAMB ATTACHMENT FLANGE

- Easily apply extension jamba to products on the jobsite
- Flanges consist of 8" lengths of PVC applied to the outside edges of frames with VHB (very high bond) tape
- Watch a video on this convenient feature at andersenwindows.com/extjamb 



*Visit andersenwindows.com/warranty or contact your Andersen supplier for details.

Fiberglass Entry Door Systems



Classic-Craft American Style

Create a timeless Arts and Crafts look. The American Style Collection is inspired by the simple design and handcrafted details of Craftsman and Prairie home styling. It reflects the prized beauty of real Douglas Fir wood grain with all the benefits of fiberglass, thanks to **AccuGrain technology**. And, with Classic-Craft, you get more. Every detail — from wider glass to heavier construction — creates a more premium entryway.



[Browse all doors in this collection.](#)

- [2016 Full-Line Catalog](#)
- [Classic-Craft Brochure](#)

More Information



AccuGrain Technology



Design Your Door

Choose your door and then personalize it with our wide variety of options.



Print Email Post It Share

Pick Door Height: **6'8" Doors** **8'0"**

Doors

System Components



TruDefense® System

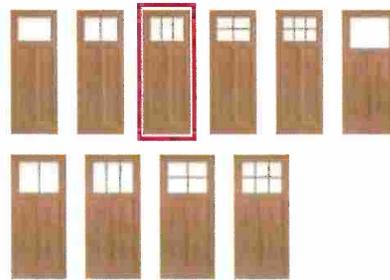


Quality Testing

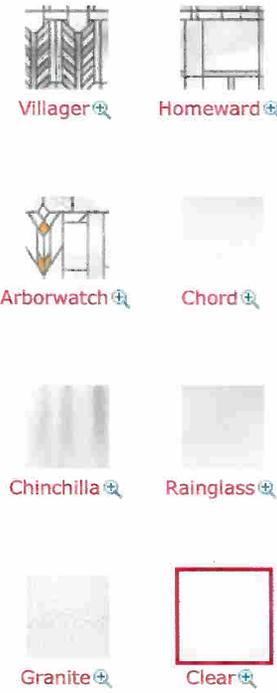


Pick a Configuration: 6 Available Styles

Pick a Door Style: 10 Available Styles



Pick a Glass Style: 8 Available Styles



- [View Details](#)
- [Where to Buy](#)
- [Try it On](#)

View style number(s), features and additional information.

Available Door Sizes:

- 3'0" x 8'0"

Dimensional Data

Available Options:

Flush Glazed (?)

Glass: Clear

Low-E Available (?)

Finish Options:

Stainable Paintable

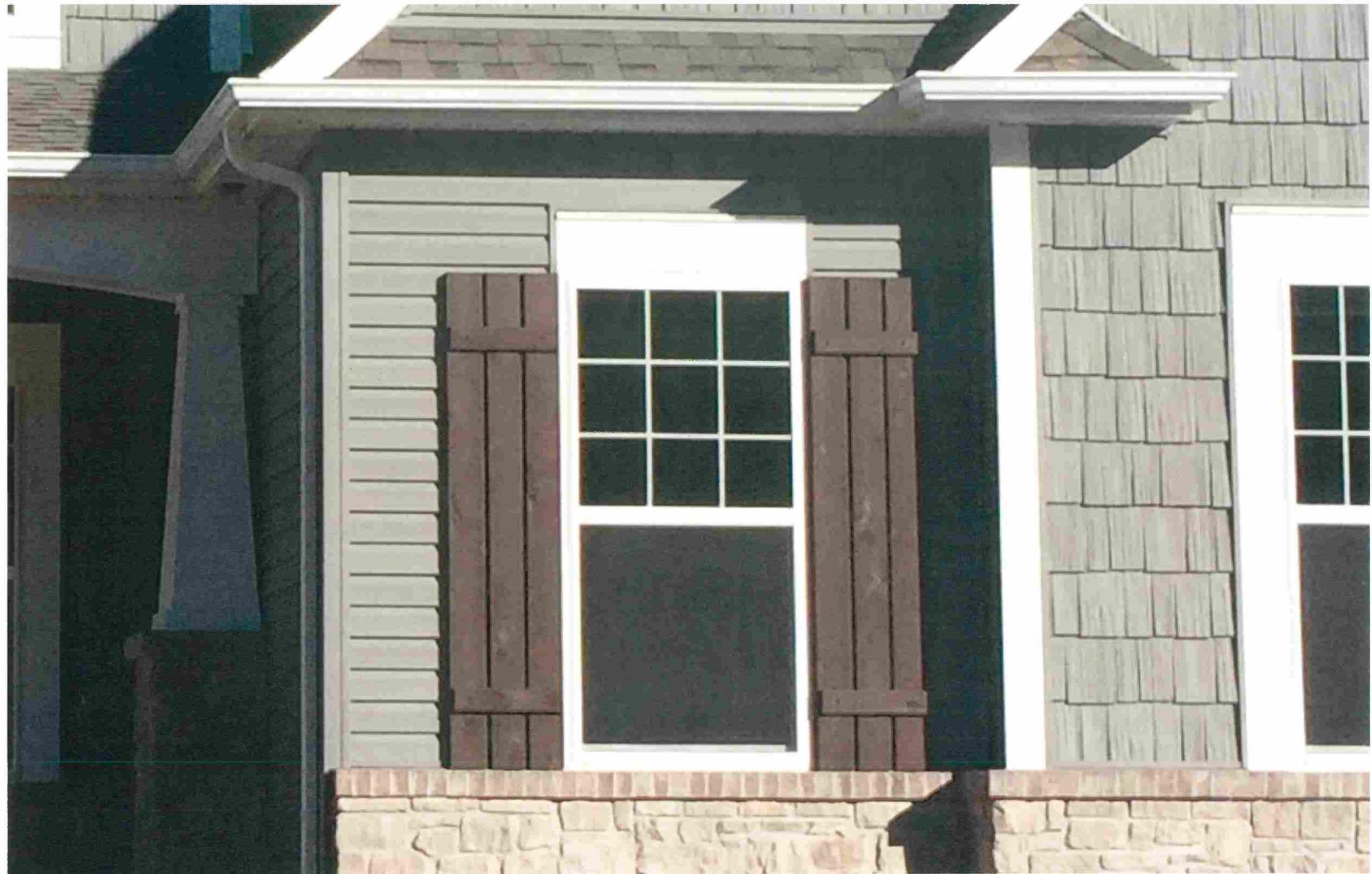
Accessories:

Dentil Shelves

Installation:

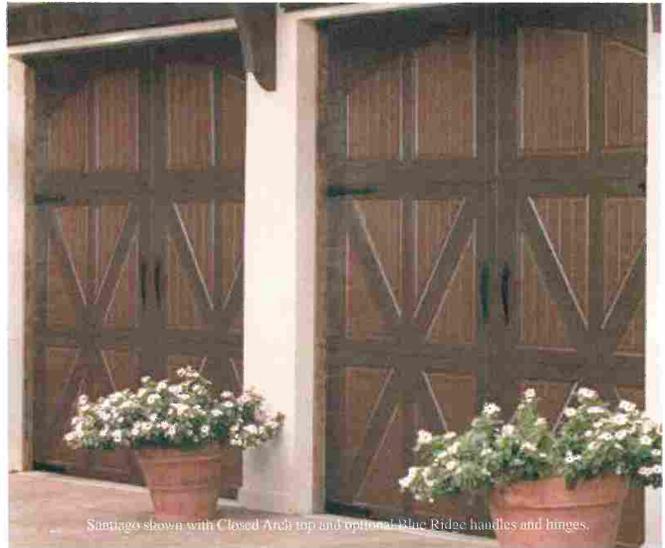
Installation Instructions



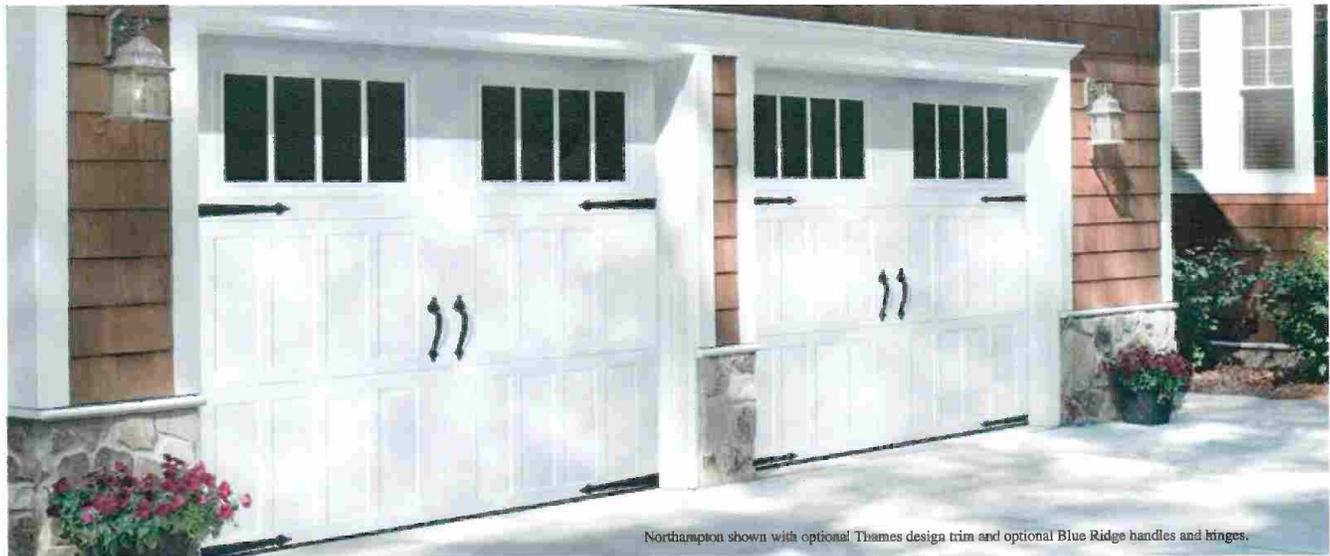




Tuscany shown with optional Modern Ridge handles and Blue Ridge hinges.



Santiago shown with Closed Arch top and optional Blue Ridge handles and hinges.



Northampton shown with optional Thames design trim and optional Blue Ridge handles and hinges.

Specification

PANEL DESIGNS

Carriage House

7 Designs

7 Designs

INSULATION¹

Polystyrene

Polyurethane

R-VALUE/U-FACTOR

6.64/0.15

13.35/0.07

DOOR THICKNESS

2" (5.1cm)

2" (5.1cm)

STEEL THICKNESS

24 ga

25/27 ga

WINDOW GLASS OPTIONS

1/8" Tempered Double Strength

•

•

Optional Insulated Glass

•

•

Obscure

•

•

WIND LOAD AVAILABLE³

•

•

WARRANTY⁴

Paint Finish

Lifetime

Lifetime

Hardware

5 Years

Lifetime

¹ Insulation has passed self-ignition, flamespread and smoke developed index fire testing.

² Calculated door section R-Value is in accordance with DASMA TDS-163

³ It is your responsibility to make sure your garage door meets local building codes.

⁴ For complete warranty details, visit deldenmfg.com or contact your local Delden dealer.



KANSAS CITY, MO
www.DeldenMfg.com
 ©2016 2/2016

Your Local Delden Dealer:

Delden reserves the right to change specifications and designs without notice and without incurring obligations. Some graphics and details provided courtesy of Entrematic and used by permission.



AMARR® CLASSICA® COLLECTION



LUCERN



CLOSED ARCH (L1)



CLOSED ARCH (L1) CLOSED SQUARE (L2)



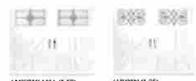
DANUBE (L4) MADEIRA (L5)



NILE (L6) RHINE (L7)



SEINE (L8) THAMES (L10)



AMERICANA (L37) JARDIN (L75)



TRELLIS (L76)

VALENCIA



CLOSED ARCH (V1)



CLOSED ARCH (V1) CLOSED SQUARE (V1)



DANUBE (V4) MADEIRA (V5)



NILE (V6) RHINE (V7)



SEINE (V8) THAMES (V10)



AMERICANA (V37) JARDIN (V75)



TRELLIS (V76)

SANTIAGO



CLOSED ARCH (S1)



CLOSED ARCH (S1) CLOSED SQUARE (S2)



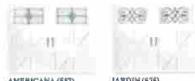
DANUBE (S4) MADEIRA (S5)



NILE (S6) RHINE (S7)



SEINE (S8) THAMES (S10)

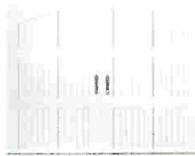


AMERICANA (S37) JARDIN (S75)

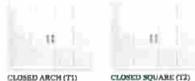


TRELLIS (S76)

TUSCANY



CLOSED ARCH (T1)



CLOSED ARCH (T1) CLOSED SQUARE (T2)



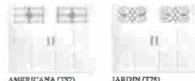
DANUBE (T4) MADEIRA (T5)



NILE (T6) RHINE (T7)



SEINE (T8) THAMES (T10)

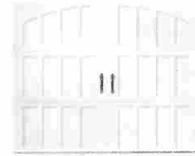


AMERICANA (T37) JARDIN (T75)



TRELLIS (T76)

NORTHAMPTON



CLOSED ARCH (N1)



CLOSED ARCH (N1) CLOSED SQUARE (N2)



DANUBE (N4) MADEIRA (N5)



NILE (N6) RHINE (N7)



SEINE (N8) THAMES (N10)



AMERICANA (N37) JARDIN (N75)



TRELLIS (N76)

BORDEAUX



CLOSED ARCH (B1)



CLOSED ARCH (B1) CLOSED SQUARE (B2)



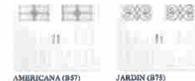
DANUBE (B4) MADEIRA (B5)



NILE (B6) RHINE (B7)



SEINE (B8) THAMES (B10)



AMERICANA (B37) JARDIN (B75)



TRELLIS (B76)

CORTONA



CLOSED SQUARE (C1)



CLOSED ARCH (C1) CLOSED SQUARE (C2)



DANUBE (C4) MADEIRA (C5)



NILE (C6) RHINE (C7)



SEINE (C8) THAMES (C10)



AMERICANA (C37) JARDIN (C75)



TRELLIS (C76)

TOP SECTION OPTIONS



CLOSED ARCH



CLOSED SQUARE



CLOSED DOUBLE ARCH



CLOSED ARCH + NORTHAMPTON



CLOSED SQUARE + NORTHAMPTON



CLOSED SQUARE + CORTONA



CLOSED ARCH + BORDEAUX



CLOSED SQUARE + BORDEAUX



CLOSED ARCH + DANUBE



CLOSED SQUARE + DANUBE



CLOSED ARCH + NILE



CLOSED SQUARE + NILE



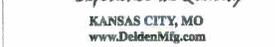
CLOSED ARCH + RHINE



CLOSED SQUARE + RHINE



CLOSED ARCH + SEINE



CLOSED SQUARE + SEINE



CLOSED ARCH + THAMES



CLOSED SQUARE + THAMES



CLOSED ARCH + AMERICANA



CLOSED SQUARE + AMERICANA

CLOSED ARCH + JARDIN

CLOSED SQUARE + JARDIN

CLOSED ARCH + TRELLIS

CLOSED SQUARE + TRELLIS

CLOSED ARCH + OBSCURE

CLOSED SQUARE + OBSCURE

CLOSED ARCH + TRELLIS

CLOSED SQUARE + TRELLIS

CLOSED ARCH + AMERICANA

CLOSED SQUARE + AMERICANA

CLOSED ARCH + JARDIN

CLOSED SQUARE + JARDIN

CLOSED ARCH + TRELLIS

CLOSED SQUARE + TRELLIS

CLOSED ARCH + OBSCURE

CLOSED SQUARE + OBSCURE

CLOSED ARCH + TRELLIS

CLOSED SQUARE + TRELLIS

CLOSED ARCH + AMERICANA

CLOSED SQUARE + AMERICANA

CLOSED ARCH + JARDIN

CLOSED SQUARE + JARDIN

CLOSED ARCH + TRELLIS

CLOSED SQUARE + TRELLIS

CLOSED ARCH + AMERICANA

CLOSED SQUARE + AMERICANA

CLOSED ARCH + JARDIN

CLOSED SQUARE + JARDIN

CLOSED ARCH + TRELLIS

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CLOSED ARCH + TRELLIS

CLOSED SQUARE + TRELLIS

CLOSED ARCH + AMERICANA

CLOSED SQUARE + AMERICANA

CLOSED ARCH + JARDIN

CLOSED SQUARE + JARDIN

CLOSED ARCH +



WILDWOOD

APPLICATION FOR THE CITY OF WILDWOOD'S ARCHITECTURAL REVIEW BOARD (please read thoroughly)

The following information and items shall be provided to the Department of Planning for processing and dissemination in association with scheduling of submittals before the City of Wildwood's Architectural Review Board (ARB). The ARB meets on the second Thursday of each month, unless otherwise changed, with the submittal deadline being 2:00 p.m. on the Monday ten (10) days prior to the meeting. If the agenda cannot support the number of submitted applications, a special meeting may be requested by the applicant or the item will be carried over to the succeeding month. A complete set of plans shall be submitted, with the information bearing an original signature and seal of the Licensed Architect upon it, before the Board will conduct its review. The completeness of the submission will aid in the understanding of the project by the Board and the relevance of its comments, as well as expedite reviews in an effort to avoid delays. Failure of the architect to sign and seal all requested items that are the subject of this review process, where applicable, or not providing the requested information identified below, will disqualify the submittal and the Department of Planning will return the packet to architect of record.

SECTION I

Project Name: Quest Church - Monument Sign

Address/Location: 17126 Manchester Road

Applicant Contact Information: Jon Rayner

Zoning District/Council Ward: NU- Nonurban (Town Center "Cultural/Institutional")
Ward 1

SECTION II

The ARB submittal requirements shall be as follows:

- Architects Statement:** Provide a written statement that explains the design theory utilized in the overall site and building design separately. Include items such as reasoning behind entry locations, building placement, how existing topography was utilized instead of ignored, shape, orientation and style of the building, reasoning for chosen building materials and colors, site and building lighting, etc. This statement should be written as from one architect to another and should

include design theory. In this instance, cost can be an acceptable and appropriate goal of the overall design. The statement shall close with an acknowledgment that the design is in compliance with the requirements, or it should give a description of non-compliant items, with an explanation for such.

- **Preliminary Development Plan & Colored Landscape Plan:** These plans should reflect the same elements required for submittal to the Planning & Zoning Commission, such as the infrastructure and site improvements, including building footprints, curb cuts and driveway locations, and other natural and man-made features of significance.
- **Photographs:** Photos should reflect existing site conditions and immediate surrounding properties in all compass directions. The intent of these photographs is to better understand the project site and context, and how the project under consideration will complement both existing conditions, as well as future projects.
- **Preliminary Floor Plans:** These plans refers to the building footprint. However, interior layout, while not reviewed, can help in understanding the footprint and elevations.
- **Colored Architectural Elevations:** Elevations for each façade of the building, presented in the chosen color palette, with overall dimensions and materials labeled, noting any special items as necessary for a clear understanding of the project. Light fixtures should be shown accurately.
- **Colored Building Rendering:** This item is critical to provide a clear and quick understanding of the massing of the building and its materials and colors. Ideally, if prepared electronically in three dimensions, provide 'snapshots' of several views to highlight the overall building.
- **Materials and Colors:** The submittal should include 'finishes' pages, such as manufacturer specification sheets of the materials and colors. Actual samples will be required for presentation at the meeting itself.
- **Please provide twelve (12) copies of all of the above information in an 11"x17" format, formatted to fit 11"x17", and bound into an 8.5" x 11" booklets with a cover, as well as all information contained on a disc, or digital device. Appropriate sheets shall exhibit the original signature, seal, and date of the Licensed Architect, who prepared them. Please note, larger format items are permitted and encouraged for presentation purposes at the Architectural Review Board meeting.**

The items contained in the submittal package must meet minimum requirements prescribed by the Architectural Review Board(ARB). Further information may be requested, as directed by the Department of Planning and/or the ARB. Once an application has been processed for an upcoming meeting, the agenda will be sent to the appropriate representative(s). Attendance by the petitioner with their architect(s) for presentation and discussion with the ARB is mandatory. Variances to these procedures must be agreed to by the ARB members and the Department of Planning in advance of the scheduled meeting date. If you have any further questions, please feel free to contact the Department of Planning at (636) 458-0440.

We, the undersigned, are aware of the aforementioned items and submit this application in full compliance with the requirements of the Architectural Review Board on this day _____ of _____, 20____.

Applicant [signature]

N/A

Licensed Architect [signature]

Applicant [print]

N/A

Licensed Architect [print]

Contact Information for Applicant and Architect may be provided by attaching business cards here:



WILDWOOD

SECTION III

For Office Use Only

Application submittal accepted on: October 4, 2016 TD
Initial By: Department of Planning Staff

Initial review is scheduled for: October 13, 2016

Subsequent review is scheduled for: _____

Comments: _____

Final Approval by the ARB on: _____

Architectural Review Board Chair

$$6' \times 4' = 24 \text{ sq. ft.}$$

September 12, 2016
Sign Permit Request for Quest Church
17126 Manchester Rd
Wildwood, MO

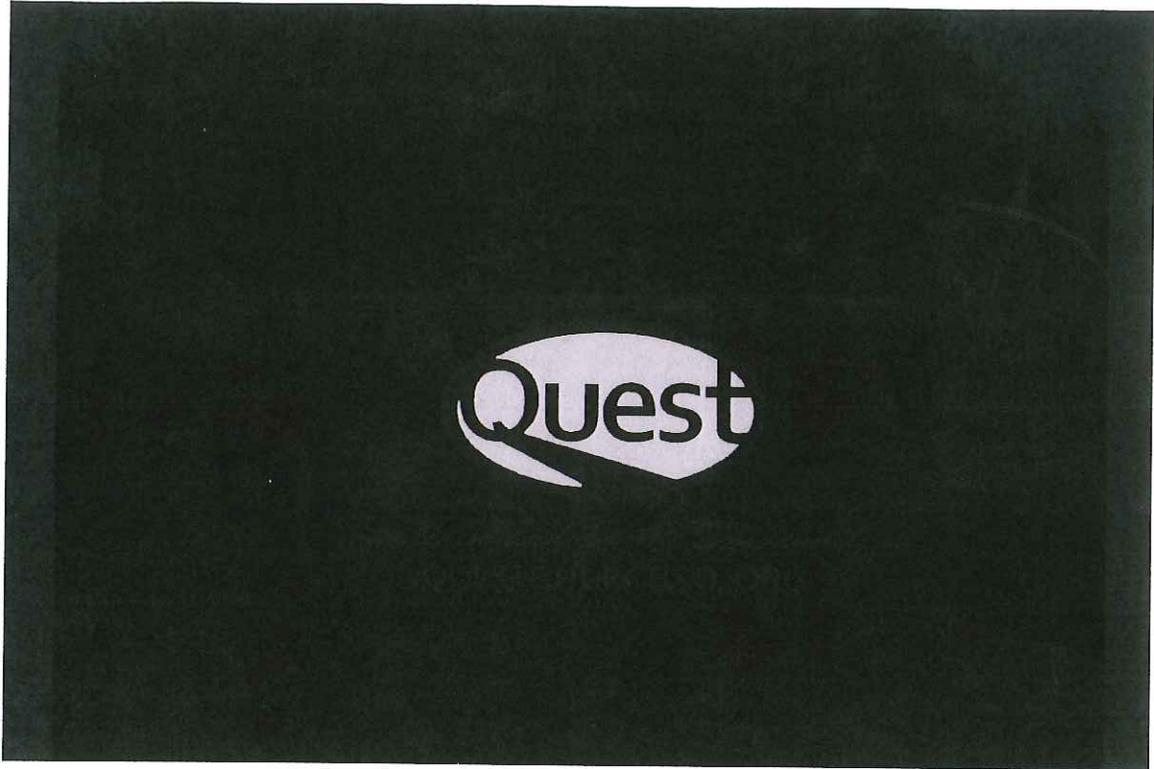
The location of the existing sign on the property will be maintained.
We will build a wooden cover over the frame of the existing sign.
An oval shape will be cut out of the wood cover, and framed out by an aluminum "Quest" graphic as pictured below.
The graphics will be 6 ft X 4 ft (24 square feet) in size.
The overall size of the sign will remain 10 ft wide X 6 ft high X 1 ft thick (existing dimensions).
The existing back lighting of the current sign will be utilized.

Daylight appearance:



ARB

Nighttime appearance (backlit)



DARK BACKGROUND WITH LIGHT COLORED LETTERING -
Section 415.450 Outdoor Lighting Requirements
Section D(3.)f. Dark background with
light lettering or symbols
is required. ARB can
alter.

ROOFS—George Crow (Revised 7-7-16)
(Revised 10-4-16)

Materials

Residential roof cladding materials are to include; clay and concrete tiles, metal shingles, slate, wood shakes and shingles, fiberglass-asphalt shingles and metal panels. Fiberglass-*architectural* shingles to have a minimum 30 year warranty.

Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper coated), or pre-finished aluminum. ~~Metal chains may be used in lieu of downspouts.~~ Splash blocks shall be made of brick, gravel, or concrete. In the absence of gutters, brick or gravel shall be placed at the drip line.

Flashing shall be copper, *galvanized steel*, stainless steel, membrane or pre-finished aluminum. Vinyl flashing is not allowed.

Configurations

The principal roofs shall be a ~~symmetrical~~ gable or hip with a slope between 6:12 to 12:12.

Ancillary roofs (attached to walls at the upper portion) may be sheds with a minimum slope of 3:12.

Flat Roofs- *Permitted on commercial buildings. Flat roofs will have parapet walls at a height in accordance with building codes.*

~~Roof trusses shall have integral eave returns allowing room for either expressed lintels or a frieze board above top story openings.~~

Roof top equipment is to be screened from view. Petitioner is required to submit "Line of Site" drawings which depict views of the roof top equipment (*with accurate equipment sizes*) from all compass directions as well as proposed screening. ~~(Travis please include this in the submittal requirements)~~

Roof penetrations shall be placed on the rear slope of the roof and painted to match the color of the roof, except those of pre-finished metal. Plumbing stacks and vents shall not be placed on the front slope of any roof or a visible portion of it from the primary street.



WILDWOOD®

Architectural Guidelines

Prepared by the Architectural Review Board

“Planning Tomorrow Today”

Statement of Intent

It is the intent of the City of Wildwood to encourage design creativity while maintaining compatible architecture throughout the city. Compatible does not mean ‘the same’, it means that we can utilize differing architectural styles so long as the design reflects the sense of place of the specific area and creates a continuity of character. This definition purposefully allows quite a bit of latitude. It is the purpose of the Architectural Review Board (ARB) review process to enforce this definition while entertaining the presenters own design philosophy for any given project.

The ARB reserves the right to respectfully disagree with presenters and therefor make suggestions on design or to outright reject any proposal.

MISCELLANEOUS

Site design: Aside from compliance with all ordinances, planning and zoning, and civil engineering requirements, and all developments shall be 'designed' so that they are compatible with neighboring properties. Character of the neighborhood shall be maintained and may take precedence over other minimum requirements. In general, residential or commercial buildings should face the pedestrian way, should address the direction of incoming travel, and in the case of corner lots, structures shall address both public directions. Commercial buildings shall not turn their back on main roads or intersections regardless of whether or not there are access roads behind them. A well-engineered site is no more important than a well-designed site.

Work with the site conditions and not against them. Consider the sun to building orientation, natural drainage patterns, approach, etc. before simply dropping in a building.

Colors shall be consistent with the character of the local area of the project and with the City overall. As a general direction for designers, one can use the Benjamin Moore Williamsburg Color Collection as a starting point. These are generally historical colors of earth tone bases.

Exterior materials that do not have an integral color shall be painted or stained. The overall color palette shall be consistent and compatible throughout the project and shall compliment the surrounding environment.

Trim shall be of one color, which may or may not be the same as the wall color. However, trim color shall complement those used on walls.

Storefront colors shall be complimentary to the building. Bright colors are generally discouraged and subject to ARB approval.

Accent color may be used for items such as the front door and shutters subject to approval of the ARB.

Masonry and mortar colors shall be selected from earth tone palettes. Natural mortar is acceptable.

Rough Siding and exterior wood shall be stained or finished as approved by the ARB, except wood roof shingles that may be left to age naturally.

Light fixtures on commercial buildings shall be mounted to walls, have LED, incandescent or metal halide bulbs and may not produce glare on adjacent properties. Light fixture cut sheets shall be submitted to the ARB along with design documents.

Picket fences shall be no greater than 3.5 feet high at front yards. Board fences may not exceed 6 feet and only used in side and rear yards. Chain link fences are not permitted.

Retaining walls shall be an integral part of a building design and will be reviewed on a case by case basis.

Free standing garages shall maintain the general character of the main building.

Misc. Façade Compositions:

Fenestration patterns and percent of coverage shall be consistent with surrounding buildings.

Avoid blank or monotonous elevations.

Create a pedestrian friendly scale

Avoid garage doors on the front elevation except for residential buildings where the house is wide enough to maintain at least fifty percent (50%) of the front façade without a garage door.

Proportion is everything!

DRAFT

ELEMENTS

Columns, piers, arches, and chimneys shall be made of stone, wood, brick, or stucco. Any interior chimney flues shall be metal or clay flue tile. Chimney liner should be per building code.

Porches, posts, spindles, and balusters shall be made of wood, PVC or fiberglass, except railings attached to concrete or brick, which may be made of steel or wrought iron, and exhibit a painted or powder coated finish. Porches may be enclosed with glass or screens; however, glass enclosures are not permitted at frontages. Porch ceilings may be enclosed with painted wood or beaded vinyl; exposed joists shall be painted.

Porches shall be no less than 6 feet in depth and a minimum of 18 inches above grade. Porches shall be lit consistent with the City's Outdoor Lighting Regulations. Other illumination sources may be authorized based upon architectural merit.

Screened and visible sides of porches must be skirted.

Railings shall have top and bottom rails.

Decks shall be located in rear yards and where not easily visible from streets or paths. Decks shall be made of polymer lumber or composite material or shall be painted or stained wood.

Wood elements must be painted or stained with an opaque stain, except walking surfaces may be left natural.

Chimneys shall be a min. 2:1 proportion in plan and capped to conceal spark arresters. A chimney is required on any structure with a fireplace.

Bay windows at frontages shall be habitable.

OPENINGS

Materials

Windows shall be made of painted vinyl or aluminum or clad wood and shall be glazed with transparent low-E glass in residential areas of the Town Center. Window selection shall be appropriate to the building. Screen colors shall match the window.

Tinted glass may be considered for commercial buildings.

Doors shall be wood, steel, or fiberglass. If glazed, doors shall be glazed with clear low-E glass.

Storm doors shall be factory finished painted wood or painted/anodized aluminum and match the entry door.

Security grilles must be approved by the ARB.

Configurations

Openings in upper stories shall be centered directly above openings in the first story. Openings in the gable ends must be centered. Openings shall be a minimum of 2 feet from building corners, unless approved by the ARB.

All sides of residential building shall have windows. Glazed areas shall be proportional to the total size of the facade where located.

Windows shall be single-hung, double-hung, or triple-hung or casement or awning types.

Transoms may be oriented horizontally with panes of vertical proportions.

Window muntins shall be true divided lights or fixed (snap-ins) on the exterior surface. Muntins shall be located on the outside of the window, unless approved by the Architectural Review Board.

Porch and arcade openings shall be vertical in proportion.

Sliding doors shall be permitted only at residential backyard locations.

Garage doors facing a street frontage shall be a minimum of 10 feet in width. Tapered drives can be used in the Town Center.

Shutters shall be sized and shaped to match the opening, when used.

WALLS

Materials

Building Walls shall be finished in brick, stone, manufactured stone, split-faced or ground-faced block (commercial only), limestone (commercial only), wood shingles, wood clapboard, drop siding, wood board and batten, smooth stucco, fiber cement siding, or vinyl siding. Clapboard and siding, except vinyl, shall be painted except as noted.

Foundation walls and piers may be exposed smooth-finished, poured concrete, formed patterns, parged block or brick veneer.

Garden walls shall be finished in stone, brick or stucco matching the principal building. Material composition shall be replicated on both sides of the wall. Gates shall be wood or wrought iron. Wall caps shall be of limestone or metal, to be reviewed on a case-by-case basis.

Garden walls shall be minimum 8 inches thick and capped with an overhang of no less than one inch.

Fences fronting the street shall be constructed of wood, vinyl or coated metal; said material to be compatible with the building façade. Wood fences may have brick piers. Vinyl materials may be used as a substitute in buildings walls and fences, but shall be from the Master List to ensure acceptable quality.

Configurations

Walls may be built of no more than three materials. Change in material shall be aesthetically pleasing, with the heavier material below the lighter, i.e. brick or stone below stucco. Masonry walls terminating at outside corners shall wrap the corner a minimum of 24 inches, unless approved by the ARB. Additions to buildings must be made of the same materials as the main building, except when the main building is made of brick, the addition can be wood.

Siding shall be horizontal, a minimum 4 inches exposed to the weather. Boards with more than 8 inches to the weather shall show a 1 inch variation from one board to the next. Board and batten siding may be applied vertically

Wood shingles shall be 8 to 10 inches exposed. Shingles shall be hand split or machine cut and have bottom edges aligned.

Foundation walls shall be exposed a maximum of 12 inches above grade.

Trims shall not exceed 1 ½ inch in thickness. The minimum width at the corners shall be 6 inches. The minimum width around openings shall be 4 inches, except at the front door, which may be any size or configuration. Trim may be painted in any color compatible with the rest of the façade material colors.

ROOFS

Materials

Residential roof cladding materials are to include; clay and concrete tiles, metal shingles, slate, wood shakes and shingles, fiberglass-asphalt shingles and metal panels. Fiberglass-architectural shingles to have a minimum 30 year warranty.

Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper coated), or pre-finished aluminum. Splash blocks shall be made of brick, gravel, or concrete. In the absence of gutters, brick or gravel shall be placed at the drip line.

Flashing shall be copper, galvanized steel, stainless steel, membrane or pre-finished aluminum. Vinyl flashing is not allowed.

Configurations

The principal roofs shall be a gable or hip with a slope between 6:12 to 12:12.

Ancillary roofs (attached to walls at the upper portion) may be sheds with a minimum slope of 3:12.

Flat Roofs are permitted on commercial buildings. Flat roofs will have parapet walls at a height in accordance with building codes.

Roof top equipment is to be screened from view. Petitioner is required to submit "Line of Site" drawings which depict views of the roof top equipment (with accurate equipment sizes) from all compass directions as well as proposed screening.

Roof penetrations shall be placed on the rear slope of the roof and painted to match the color of the roof, except those of pre-finished metal. Plumbing stacks and vents shall not be placed on the front slope of any roof or a visible portion of it from the primary street.