

AGENDA

for the

CITY OF WILDWOOD'S

PLANNING AND ZONING COMMISSION

City Hall Council Chambers - [16860 Main Street](#)

July 5, 2016 - Tuesday

7:00 P.M.

Action Items on Tonight's Agenda ----->

One (1) Public Hearing, One (1) Information Report, Three (3) Correspondence Items, One (1) Site Development Plan Recommendation Report, and One (1) Other Item.

- I. Welcome To Attendees And Roll Call Of Commission Members
- II. Public Comments On Recommendation
- III. Review Tonight's Agenda/Questions Or Comments
- IV. Approval Of Minutes Of The Meeting Of Monday, June 20, 2016

Documents: [III. JUNE 20, 2016 DRAFT MINUTES.PDF](#)

- V. Department Of Planning's Opening Remarks/Updates
- VI. Public Hearings – One (1) Item For Consideration

1. P.Z. 9-16 Fick Supply Service, 501 North Eatherton Road, Wildwood, Missouri 63005
A request to amend the current M-3 Planned Industrial District Ordinance that governs this property (#1697), along with the review and action upon an Amended Site Development Plan, all being on a 21.7 acre tract of land, which is located on the west side of North Eatherton Road, north of Centaur Road (Locator Numbers: 17X32088 and 18X640013/Street Addresses: 501 and 495 North Eatherton Road). **Proposed Use: The expansion of the existing mulch storage and composting facility, with wholesaling and limited retail, to accommodate increased storage, processing, and accessory operations at this location. (Ward One)**

Documents: [V.A. FICK SUPPLY.PDF](#)

VII. Old Business – Two (2) Items For Consideration

1. Information Reports – One (1) Item For Consideration
2. Correspondence Items – One (1) Item For Consideration
 - a. A Response To A Communication From Mike Falkner, Sterling Engineers And Surveyors, Dated March 25, 2016, Regarding P.Z. 12 And 13-15 The Villages At Bright Leaf
R-3 10,000 square foot Residence District (Town Center “Neighborhood General District” and “Neighborhood Edge District”), with a Planned Residential Development Overlay District (PRD); north side of State Route 100, east of State Route 109 (Locator Numbers 23V230041, 23V230050, 23V240327, 23V330022, 23V310064, 23V330233, 23V330031, 23V330206, 23V330215, and 23V610917/Street Addresses: 2350 and 2344 Eatherton Road, 2531, 2555, and 2567 Taylor Road, 16721 Manchester Road, and 16602, 16615, 16618, and 16618A Overlook Hills Drive); which seeks modifications to the existing site-specific ordinance (Planned Residential Development Overlay District Ordinance #2145) that governs this development to address inconsistencies between this legislation and the proposed Site Development Plan (SDP) relative to certain allowed lot widths, depths, and sizes. **(Ward Five)**

Documents: [VI.B. VILLAGES AT BRIGHTLEAF.PDF](#)

- a.1. Public Comments On Recommendation

VIII. New Business – Two (2) Items For Consideration

1. A Report, With Recommendation, Regarding P.Z. 25, 26, And 26a – 14 Main Street Crossing, Payne Family Homes L.L.C., C/O Jerry Duepner, 10407 Baur Boulevard, Suite B, St. Louis, Missouri 63132
a request for the modification of the current Planned Residential Development Overlay District (PRD) Ordinance #2116 for this approximately thirty (30) acre area (Locator Number: 23V120094/Street Address: 2461 Eatherton Road); east side of State Route 109, south of State Route 100; R-4 7,500 square foot Residence District (Town Center “Neighborhood Edge District”), with a Planned Residential Development Overlay District (PRD); to allow for certain allowances/relief to existing requirements relating to required roadway improvements and utility issues, so as the project can proceed to eventual construction. **(Ward Eight)**

Documents: [VII.A. MAIN STREET CROSSING.PDF](#)

- a. Public Comments On Recommendation
2. A Report, With Recommendation, Regarding P.Z. 14-06 City Of Wildwood And Neichter/Throckmorton Development
NU Non-Urban Residence District and FPNU Floodplain Non-Urban Residence District, with a Planned Residential Development Overlay District (PRD); east side of Ossenfort Road, north of Brook Hollow Drive; that requests a modification to the site-specific ordinance that governs this fifty-five (55) lot residential subdivision to allow for an extension of time for the commencement of construction to begin upon this tract of land, which must be met in a specified timeframe. **(Ward One)**

Documents: [VII.B. NEICHTERTHROCKMORTON.PDF](#)

IX. Site Development Plans - Public Space Plans-Record Plats – One (1) Item For Consideration

1. A Site Development Plan (SDP) Report, With Recommendation, Regarding The City Of Wildwood's Salt Storage Facility And Its Construction On Dedicated Public Right-Of-Way Of St. Albans Road; Northwest Corner Of Manchester Road And St. Albans Road

(Formally Part Of The Kelpo Contracting Company Site)

NU Non-Urban Residence District; which recommends approval of this structure that would be approximately five thousand (5,000) square feet in size and provide all-weather storage of salt and other deicing materials for the City of Wildwood. **(Ward One)**

Documents: [VIII.A. SALT STORAGE FACILITY.PDF](#)

a. Public Comments On Recommendation

X. Other – One (1) Item For Consideration

1. Formation Of The Planning And Zoning Commission's Nominating Committee For Its Officer Positions - Year 2016/2017 (See Attached By-Laws For Process).

Documents: [IX.A NOMINATING COMMITTEE.PDF](#)

XI. Closing Remarks And Adjournment By Chair Of Commission

If you would like to submit a comment regarding an item on this meeting agenda, please visit the [Form Center](#).

CITY OF WILDWOOD, MISSOURI
RECORD OF PROCEEDINGS

MEETING OF THE PLANNING AND ZONING COMMISSION
CITY HALL, 16860 MAIN STREET, WILDWOOD, MISSOURI
June 20, 2016

The Planning and Zoning Commission meeting was called to order by Chair Bopp, at 7:00 p.m., on Monday, June 20, 2016, at Wildwood City Hall, 16860 Main Street, Wildwood, Missouri.

I. Welcome to Attendees and Roll Call of Commission Members

Chair Bopp requested a roll call be taken. The roll call was taken, with the following results:

PRESENT – (8)

Chair Bopp
Commissioner Archeski
Commissioner Bauer
Commissioner Gragnani
Commissioner Bartoni
Commissioner Kohn
Council Member Manton
Mayor Bowlin

ABSENT – (2)

Commissioner Renner
Commissioner Lee

Other City officials present: Director of Planning Vujnich, Planner Newberry, and City Attorney Young.

II. Review Tonight's Agenda / Questions or Comments

There were no questions or comments on the agenda.

III. Approval of Minutes from the June 6, 2016 Meeting

A motion was made by Council Member Manton, seconded by Commissioner Bauer, to approve the minutes from the June 6, 2016 meeting. A voice vote was taken regarding the motion for approval of the minutes. Hearing no objections, Chair Bopp declared the motion approved.

IV. Department of Planning Opening Remarks

Director Vujnich noted Commission Members received a letter dated June 15, 2016, regarding a Center Avenue neighborhood meeting to discuss future improvements to that roadway and determine how best to maintain it in the future, i.e. dedicating for public ownership, as the principle option for consideration.

V. Public Hearings – No Items for Consideration

VI. Old Business – Three (3) Items for Consideration

Letters of Recommendation – Three (3) Items for Consideration

P.Z. 5 and 5(a)-16 Stonecrest at Wildwood, NorthPoint Development, 5015 Northwest Canal Street, Suite 200, Riverside, Missouri 64150 – A request for the modification of the Town Center Plan’s Regulating Plan for two (2) lots that are a 1.6 acre area of the Phase II portion of the Wildwood Town Center Project, thereby altering their current designation from “Downtown District” to “Neighborhood General District” to accommodate a change in zoning from the C-8 Planned Commercial District to the Amended C-8 Planned Commercial District for this site, all being located on the south side of State Route 100, north of Plaza Drive, and west of Fountain Place (Locator Numbers 23V220242 and 23V220233/Street Addresses 251 and 261 Plaza Drive). **Proposed Use: A three (3), story senior housing facility, which would allow a maximum of eighty-one (81) units. (Ward Eight)**

Planner Newberry read the request into the record.

Director Vujnich explained the request to modify the Town Center Plan’s Regulating Plan and amend the existing C-8 Planned Commercial District to allow for a senior living facility, with a commercial component. He noted the draft Letter of Recommendation reflects the Commission’s affirmative vote at its June 6, 2016, meeting. He noted, after the Department conducted further research on Item 10(K) regarding the payment in lieu of taxes and it was removed from the draft Letter of Recommendation.

Chair Bopp invited members of the public to comment on the item. No members of the public wished to speak on this matter.

A discussion was held among Commission Members regarding the petitioner’s experience with incorporating commercial components into facilities like such here; the amount of commercial space being proposed; the latitude of the Planning and Zoning Commission through the Site Development Plan review process to require a certain amount of commercial space; the use of the commercial space by a third party; and the anticipated viability of the commercial space.

Dan Thies, representative of the petitioner, stated this senior living facility with ground-floor commercial component was the first of its kind for NorthPoint Development. He stated it is anticipated that third party entities will lease and operate the commercial component of the development.

A motion by Commissioner Archeski, seconded by Council Member Manton, to accept the draft Letter of Recommendation.

Chair Bopp called the question.

A roll call vote was taken, with the following results:

Ayes: Commissioner Archeski, Commissioner Bauer, Commissioner Gragnani, Council Member Manton, Mayor Bowlin, and Chair Bopp

Nays: Commissioner Kohn and Commissioner Bartoni

Absent: Commissioner Renner and Commissioner Lee

Abstain: None

Whereupon, Chair Bopp declared the motion passed by a vote of 6-2.

- a) **P.Z. 7-16 City of Wildwood Planning and Zoning Commission, c/o Department of Planning, 16860 Main Street, Wildwood, Missouri 63040** – A request to evaluate possible amendments to Chapter 415.590. “Sexually-Explicit Business Regulations,” of the City of Wildwood Municipal Code, which would thereby consider the addition of new language to expand the types of businesses that would be regulated as sexually-oriented businesses and expand regulations in regard to particular activities

conducted within sexually-oriented businesses. **(Wards – All)**

Planner Newberry read the request into the record.

Director Vujnich presented the draft Letter of Recommendation, noting it reflected the Planning and Zoning Commission's affirmative action at its June 6, 2016 meeting. Director Vujnich explained the history of the existing regulations on sexually-explicit businesses. City Attorney Young discussed the legal issues and relevant case law relating to the proposed amendments.

Chair Bopp invited members of the public to comment on the item. No members of the public wished to speak on this matter.

No discussion was held among Commission Members.

A motion by Mayor Bowlin, seconded by Commissioner Archeski, to accept the draft Letter of Recommendation.

Chair Bopp called the question.

A roll call vote was taken, with the following results:

Ayes: Commissioner Archeski, Commissioner Bauer, Commissioner Gragnani, Commissioner Kohn, Commissioner Bartoni, Council Member Manton, Mayor Bowlin, and Chair Bopp

Nays: None

Absent: Commissioner Renner and Commissioner Lee

Abstain: None

Whereupon, Chair Bopp declared the motion passed by a vote of 8-0.

- b) **P.Z. 19-15 1971 Pond Road, Payne Family Homes L.L.C., 10407 Baur Boulevard, Suite B, St. Louis, Missouri 63132** – A request for the application of a Planned Residential Development Overlay District (PRD), within the NU Non-Urban Residence District for a 78.0 acre tract of land that is located on the north side of State Route 100, west of Pond Road (Locator Number: 23W520053/Street Address: 1971 Pond Road). **Proposed Use: A total of twenty-six (26) individual lots, with common ground, and required public space areas. Lots would range in size from one (1) acre to four and one-half (4.5) acres. (Ward One)**

Planner Newberry read the request into the record.

Director Vujnich explained the draft Letter of Recommendation and noted it had been revised to reflect the Planning and Zoning Commission's action to not recommend the application of the Planned Residential Development Overlay District (PRD) upon this site and included the Commission's reasons for its action.

Chair Bopp invited members of the public to comment on the item.

Tom Cummings, Payne Family Homes, 1047 Baur Boulevard, Suite B, St. Louis, Missouri, stated that it was his belief the proposal met the requirements set forth in the City of Wildwood's Master Plan and Zoning Regulations regarding the application of the Planned Residential Development Overlay District (PRD). Mr. Cummings respectfully asked the Planning and Zoning Commission act favorably on the Department of Planning's Information Report, dated May 2, 2016, to allow the application of the Planned

Residential Development Overlay District (PRD).

No discussion was held among Commission Members.

A motion by Commissioner Gragnani, seconded by Commissioner Archeski, to accept the draft Letter of Recommendation dated June 20, 2016, which does not support the requested Planned Residential Development Overlay District (PRD).

Chair Bopp called the question.

A roll call vote was taken, with the following results:

Ayes: Commissioner Archeski, Commissioner Bauer, Commissioner Gragnani, Commissioner Kohn, Commissioner Bartoni, Council Member Manton, Mayor Bowlin, and Chair Bopp

Nays: None

Absent: Commissioner Renner and Commissioner Lee

Abstain: None

Whereupon, Chair Bopp declared the motion passed by a vote of 8-0.

Information Reports – No Items for Consideration

VII. New Business – Three (3) Items for Consideration

- a) **P.Z. 4-16 Scott Fieser, 10 Whitsetts Fork Ridge Road, Wildwood, Missouri 63038**, is seeking the review and action of the Planning and Zoning Commission regarding an outdoor game court (full court basketball court, with lighting), which is located at 10 Whitsetts Fork Ridge Road, Wildwood, Missouri (Locator Number 26V430121); NU Non-Urban Residence District. This request is to be reviewed in accordance with Chapter 415.090 NU Non-Urban Residence District Regulations of the City of Wildwood Zoning Code, which establishes standards and requirements for outdoor game courts relating to their consideration by the Planning and Zoning Commission. The game court and lighting is currently installed, without Planning and Zoning Commission approval, and situated to the west of the single family residence located on the subject property. The Department will have a recommendation report prepared for consideration at this meeting for this request. **(Ward Six)**

Planner Newberry read the request into the record.

Director Vujnich shared a slideshow of photographs depicting the subject site and the installed outdoor game court and associated lighting. He explained a number of components of the installed outdoor game court were not in compliance with the City's Zoning Regulations. He explained the Department of Planning is not recommending the Planning and Zoning Commission act to allow the outdoor game court, given the number of compliance issues that need to be addressed.

Chair Bopp invited members of the public to comment on the item.

Heather Fieser, 10 Whitsetts Fork Ridge Road, stated she and her husband are willing to bring the outdoor game court, and associated lighting, into compliance with the City's Zoning Regulations. She also noted they are working with the neighbor to complete a boundary adjustment.

Discussion was held among Commission Members regarding the reasons behind the regulations regarding outdoor game courts and lighting; the need to continue ensuring all outdoor game courts

meet the minimum requirements set forth in the City's Zoning Ordinance; and the non-compliance of the outbuilding on the subject site's western property line.

A motion by Mayor Bowlin, seconded by Commissioner Bauer, to accept the Department's recommendation to not approve the outdoor game court.

Chair Bopp called the question.

A roll call vote was taken, with the following results:

Ayes: Commissioner Archeski, Commissioner Bauer, Commissioner Gagnani, Commissioner Kohn, Commissioner Bartoni, Council Member Manton, Mayor Bowlin, and Chair Bopp

Nays: None

Absent: Commissioner Renner and Commissioner Lee

Abstain: None

Whereupon, Chair Bopp declared the motion passed by a vote of 8-0.

- b) A response to a communication from Hassan Abdiannia, Icell Enterprises, L.L.C., that is dated May 11, 2016, regarding **St. Louis County P.C. 6-89 Amoco Oil Company**, which seeks the City's review and action on a requested change to the current, governing site-specific ordinance for the existing BP Amoco Station and, if granted, would thereby allow for the sale of wine and beer at this location; southeast corner of State Route 109 and Wild Horse Creek Road (Locator Number 19W420224/300 State Route 109); Amended C-8 Planned Commercial District. The City of Wildwood's **Amended Master Plan – 2016** - was modified to accommodate this consideration, which previously treated this location as a legal, non-conforming use, precluding any changes to the current, governing ordinance. **(Ward One)**

Planner Newberry read the request into the record.

Director Vujnich explained the history of this request over the past several decades. He explained the Master Plan 2016 Update process and noted that, through that process, a change to the Master Plan was approved to allow the possible amendment of the site-specific ordinance for the sale of wine and beer at this location.

Chair Bopp invited members of the public to comment on the item.

Hassan Abdiannia, Icell Enterprises, L.L.C., 300 State Route 109, stated he is the owner and operator of this business and asked the Planning and Zoning Commission to act favorably on this request. He noted that many of his customers over the years had inquired as to why the sale of wine and beer was not allowed at this location. He stated this allowance would benefit his business and help it compete with surrounding stations.

Kandy Kelcher, 18307 Wild Horse Creek Road, stated she is in support of the petitioner's request and referenced previous opposition from surrounding neighbors.

Council Member Larry McGowen, Ward One, 18538 Wild Horse Creek Road, stated he is a customer at this station and he is in support of the petitioner's request. He noted the positive economic impact the sale of beer and wine would have for this business.

Council Member Glen DeHart, Ward One, 2347 Ossenfort Road, stated he is in support of the

petitioner's request.

Maria Wilmas, 17719 Wild Horse Creek Road, did not wish to speak at tonight's meeting, but would like the following comments included in the record, "I would like to see this station receive a liquor license. It would be nice to be able to purchase locally! Every other station is allowed, can't really understand this. I also speak for my husband, John, and Daughters who patronize this station. Thank you."

Discussion was held among Commission Members regarding the operating times outlined in the Department's report, which had been chosen to be in compliance with State of Missouri requirements.

A motion by Commissioner Archeski, seconded by Mayor Bowlin, to accept the Department's recommendation to recommend beer and wine sales be authorized at this facility.

Commissioner Bartoni stated he would be abstaining from voting because the petitioner is a client of his employer.

Chair Bopp called the question.

A roll call vote was taken, with the following results:

Ayes: Commissioner Archeski, Commissioner Bauer, Commissioner Gagnani, Commissioner Kohn, Council Member Manton, Mayor Bowlin, and Chair Bopp

Nays: None

Absent: Commissioner Renner and Commissioner Lee

Abstain: Commissioner Bartoni

Whereupon, Chair Bopp declared the motion passed by a vote of 7-0, with one (1) abstention.

- c) A response to a communication from Mike Falkner, Sterling Engineers and Surveyors, dated March 25, 2016, regarding **P.Z. 12 and 13-15 The Villages at Bright Leaf**; R-3 10,000 square foot Residence District (Town Center "Neighborhood General District" and "Neighborhood Edge District"), with a Planned Residential Development Overlay District (PRD); north side of State Route 100, east of State Route 109 (Locator Numbers 23V230041, 23V230050, 23V240327, 23V330022, 23V310064, 23V330233, 23V330031, 23V330206, 23V330215, and 23V610917/Street Addresses: 2350 and 2344 Eatherton Road, 2531, 2555, and 2567 Taylor Road, 16721 Manchester Road, and 16602, 16615, 16618, and 16618A Overlook Hills Drive); which seeks modifications to the existing site-specific ordinance (Planned Residential Overlay District Ordinance #2145) that governs this development to address inconsistencies between this legislation and the proposed Site Development Plan (SDP) relative to certain allowed lot widths, depths, and sizes. **(Ward Five)**

Planner Newberry read the request into the record.

Director Vujnich explained the requested amendments to the recently approved ordinance are to address some inconsistencies between it and the Preliminary Development Plan that had been acted upon by the City Council, with the rezoning of the subject site.

Chair Bopp invited members of the public to comment on the item.

Council Member Debra Smith McCutchen, Ward Five, 16548 Birch Forrest Drive, referenced her comment letter that had been provided to Commission Members. She stated her concerns regarding the scheduling and notification to residents regarding this meeting, as well as the Public Hearing

scheduled to be before City Council on June 27, 2016. She also expressed her concerns regarding the information about the possible Pond-Grover Loop Road Extension provided in the Department of Planning's report. She asked the concerns outlined in her comment letter be addressed, before the item is forwarded to City Council.

Jane LaCasse Finnegan, 2517 Rain Forest Drive, stated her concerns regarding the Villages at Brightleaf development. She asked that the Planning and Zoning Commission consider this request carefully.

James Gardner, 16708 Hickory Crest Drive, Hickory Manor Subdivision Trustee, stated his concerns regarding the Villages at Brightleaf development and the possible extension of the Pond-Grover Loop Road.

Discussion was held among Commission Members regarding the impact of the proposed changes on the size and configuration of the lots; and specifically what the increase and decrease in lot size would be and where the changes would occur. Chair Bopp invited the representative of the petitioner to address the Commission.

Mike Falkner, Sterling Engineering, stated he did not have the information requested at tonight's meeting, but he would provide it to the Commission.

Further discussion was held among Commission Members regarding the desire to minimize amendments to the site-specific governing ordinance for the Villages at Brightleaf, moving forward; and the need to postpone action on this request, until more complete information is provided to the Planning and Zoning Commission.

A motion by Council Member Manton, seconded by Commissioner Gragnani, to postpone action on this request, until more information could be gathered regarding the requested amendments. A voice vote was taken regarding the motion for approval of the minutes. Hearing no objections, Chair Bopp declared the motion approved.

VIII. Site Development Plans-Public Space Plans-Record Plats – No Items for Consideration

IX. Other – No Items for Consideration

X. Closing Remarks and Adjournment

Motion by Mayor Bowlin, seconded by Commissioner Archeski, to adjourn the meeting. A voice vote was taken. Hearing no objections, Chair Bopp adjourned the meeting at 9:45 p.m.

Approved by: _____

Chair – City of Wildwood Planning and Zoning Commission

Note: Recordation of the opinions, statements, and/or other meeting participation in these minutes shall not be deemed to be an acknowledgement or endorsement by the Commission of the factual accuracy, relevance, or propriety thereof.

* If comment cards were submitted indicating they did not wish to speak at tonight's meeting, they have been attached and made part of the official record.



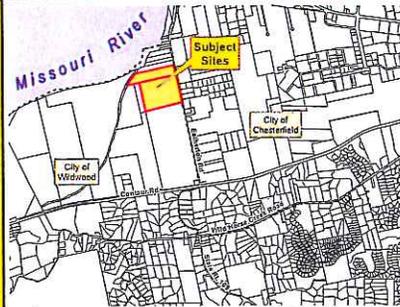
WILDWOOD

16860 Main Street
Wildwood, MO 63040

**CITY OF WILDWOOD
NOTICE OF
PUBLIC HEARING**
before the Planning and Zoning Commission
TUESDAY, July 5, 2016, at 7:00 p.m.

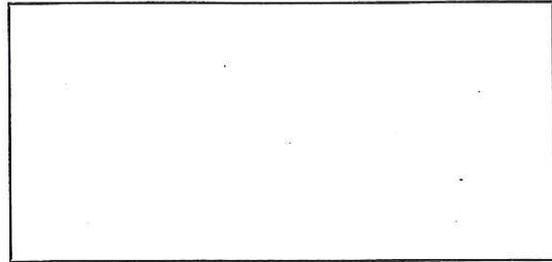
AS A RESIDENT OR PROPERTY OWNER NEAR THE SITE THAT IS IDENTIFIED ON THIS MAILER, THE CITY OF WILDWOOD WOULD LIKE TO ENSURE YOU ARE AWARE OF THIS REQUEST/PROPOSAL BECAUSE IT IS LOCATED WITHIN 3,000 FEET OF YOUR PROPERTY. YOUR COMMENTS ARE ENCOURAGED, ALONG WITH YOUR PARTICIPATION AT THE SCHEDULED HEARING OR MEETING. THIS ITEM IS SCHEDULED FOR DISCUSSION AND ITS OUTCOME MAY IMPACT YOUR HOME, NEIGHBORHOOD, OR AREA, SO PLEASE CAREFULLY READ THE DESCRIPTION AND PARTICIPATE AT YOUR DISCRETION. THE CITY OF WILDWOOD ENCOURAGES CITIZEN INPUT AT ALL OF ITS HEARINGS OR MEETINGS AND YOUR INVOLVEMENT WILL ASSIST IT IN REACHING THE BEST DECISION POSSIBLE FOR ALL PARTIES.

* PLEASE SEE YELLOW BOX ON OPPOSITE SIDE OF THIS MAILER FOR A LIST OF WAYS TO EITHER COMMENT ON AND/OR TRACK THIS ITEM.



Street Addresses of Subject Site:
501 and 495 North Eatherton Road

THE CITY WELCOMES AND ENCOURAGES YOUR COMMENTS AND PARTICIPATION IN ITS PUBLIC PROCESSES.



The Planning and Zoning Commission of the City of Wildwood will conduct a public hearing on **TUESDAY, July 5, 2016, at 7:00 p.m., in the City Hall Council Chambers, 16860 Main Street, Wildwood, Missouri 63040** for the purposes of obtaining testimony regarding request(s) for either the modification of zoning district designations, application of special procedures, change in the underlying regulations of the Zoning Ordinance, action on Record Plats, update on zoning matters, or amendment of the Master Plan, which will then be considered for action. This hearing is open to all interested parties to comment upon this request, whether in favor or opposition, or provide additional input for consideration. If you do not have comments regarding this request, no action is required on your part. Written comments are requested to be submitted prior to this hearing and should be addressed to the Planning and Zoning Commission, City of Wildwood, 16860 Main Street, Wildwood, Missouri 63040 or via the City's website at www.cityofwildwood.com/comment. The following request will be considered at this time:

P.Z. 9-16 Fick Supply Service, 501 North Eatherton Road, Wildwood, Missouri 63005 – A request to amend the current M-3 Planned Industrial District Ordinance that governs this property (#1697), along with the review and action upon an Amended Site Development Plan, all being on a 21.7 acre tract of land, which is located on the west side of North Eatherton Road, north of Centaur Road (Locator Numbers: 17X32008 and 18X640013/Street Addresses: 501 and 495 North Eatherton Road). **Proposed Use: The expansion of the existing mulch storage and composting facility, with wholesaling and limited retail, to accommodate increased storage, processing, and accessory operations at this location. (Ward One)**

Please note, as of June 6, 2016, all Planning and Zoning Commission meetings will begin at 7:00 p.m.

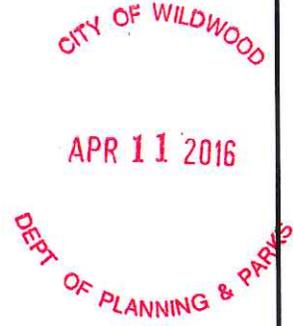
- *RESIDENT OR PROPERTY OWNER - PLEASE COMMENT ON AND/OR TRACK THIS REQUEST BY:**
- 1) Submitting a comment online by visiting: <http://www.cityofwildwood.com/comment>.
 - 2) Submitting a written comment prior to the hearing and addressed to the Planning and Zoning Commission, City of Wildwood, 16860 Main Street, Wildwood, Missouri 63040.
 - 3) Viewing the Planning and Zoning Commission's agenda, which is available on the City's website at: www.cityofwildwood.com, the Friday before the aforementioned meeting date.

If you should have any questions regarding this information, please feel free to contact the Department of Planning at (636) 458-0440. Thank you in advance for your interest in this matter.

P.Z. Number(s): _____
(as assigned by department)

PETITION

before the
**CITY OF WILDWOOD'S
PLANNING AND ZONING COMMISSION**
FOR THE PURPOSE OF HEARING REQUESTS
FOR ONE OR A COMBINATION OF THE FOLLOWING:
(PLEASE CHECK THOSE ITEMS WHICH ARE APPLICABLE)



- Change in Zoning
- Conditional Use Permit
- Approval of a Planned District or other special procedure (C-8/M-3/PRD)

APPLICANT/OWNER INFORMATION

Applicant's Name: Fick Supply Service, Inc.
Mailing Address: 501 North Eatherton Rd.
Wildwood, MO 63005
Telephone Number, with Area Code: (636) 532-4978
Fax Number, with Area Code: _____
E-Mail Address: dave@ficksupply.com
Interest in Property (Owner or Owner Under Contract):
Owner

If owner under contract, please attach a copy of the contract.

Owner's Name (if different than applicant): _____
Address: _____

Telephone Number, with Area Code: _____

SITE INFORMATION

Postal Address of the Petitioned Property(ies):

501 & 495 North Eatherton Rd..

Wildwood, MO 63005

Locator Number(s) of the petitioned Property(ies):

17X320088 & 18X640013

Total Acreage of the Site to the Nearest Tenth of an Acre:

Proposed Lot B: 21.7 Ac.

Current Zoning District Designation: M-3 Planned Industrial District (Ord. 1697)

Proposed Zoning District Designation: Amended M-3 Planned Industrial District

Proposed Planned District or Special Procedure: _____

USE INFORMATION

Current Use of Petitioned Site:

Mulch Storage and Processing Facility

Proposed Use of Site:

Compost Facility, as defined by St. Louis

(Expanded Use)

County Waste Management Code, Chapter 607

(Waste Classes Allowed: D, E & H)

Proposed Title of Project: Fick Supply

Proposed Development Schedule (include approximate date of start and completion of the project):

Construction Schedule: 07/01/16 to 10/01/16

CONSULTANT INFORMATION

Engineer's/Architect's Name: Stock & Associates Consulting Engineers, Inc.

Address: 257 Chesterfield Business Parkway

Chesterfield, MO 63005

Telephone Number, with area code: (636) 530-9100

Fax Number, with area code: (636) 530-9130

E-Mail Address: george.stock@stockasoc.com

Soil Scientist/Forester's Name: _____

Address: _____

Telephone Number, with area code: _____

Fax Number, with area code: _____

E-Mail Address: _____

ACKNOWLEDGEMENT INFORMATION

The petitioner(s) state(s) they (he) (she) will comply with all the requirements of the city of wildwood with regard to the procedures relating to its administration of land use and development controls within its boundaries, including the payment of all applicable fees.

The petitioner(s) further represent(s) and agree(s) that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly, to any official, employee, or appointee of the City of Wildwood with respect to this application.

The petitioner(s) hereby certify(ies) that (indicate one):

- () I (we) have a legal interest in the hereinabove described property.
- (X) I am (we are) the duly appointed agent of the petitioner(s) and that all information given and represented on this application is an accurate and true statement of fact. Any misrepresentation of information on this application or accompanying information shall constitute grounds for the City of Wildwood, Missouri to terminate review of this petition and return all materials, minus any fees, associated with its review up to and through that point.

SIGNATURE: *GM Spock*
 NAME (PRINTED): George M. Spock
 ADDRESS: 257 Chesterfield Business Parkway
Chesterfield, MO 63005
 TELEPHONE NUMBER: (636) 530-9100

[PLEASE NOTE: THE ABOVE NAMED PERSON SHALL RECEIVE ALL OFFICIAL NOTICES REGARDING THIS REQUEST, INCLUDING THE PUBLIC HEARING NOTICE.]

SUBSCRIBED AND SWORN BEFORE ME THIS 11 DAY OF April, 2016.

SIGNED: *Daniel Stock*
(NOTARY PUBLIC)



DANIEL JOSEPH STOCK
My Commission Expires
March 17, 2017
St. Louis County
Commission #13486125

NOTARY PUBLIC *Daniel Stock*
STATE OF MISSOURI.

MY COMMISSION EXPIRES 3/17/17

FOR OFFICE USE ONLY

1ST SUBMITTAL DATE: _____
 FEE: _____; RECEIVED BY: _____
 PRELIMINARY DEVELOPMENT PLAN: YES NO
 PACKET COMPLETE: YES NO

2ND SUBMITTAL DATE: _____
 PACKET COMPLETE: YES NO

3RD SUBMITTAL DATE: _____
 PACKET COMPLETE: YES NO

4TH SUBMITTAL DATE: _____
 PACKET COMPLETE: YES NO



WILDWOOD

May 27, 2016

George Stock, Jr.
Stock and Associates
257 Chesterfield Business Parkway
Chesterfield, Missouri 63017

Re: First Review of the Amended Site Development Plan for Fick Supply Services
Location: West side of North Eatherton Road, north of Centaur Road
Zoning: M-3 Planned Industrial District
Ward: One

Dear Mr. Stock:

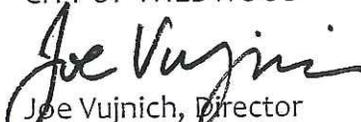
The Department of Planning has completed its review of the submitted Site Development Plan for the expansion of the compost facility that is located on North Eatherton Road. This review compared the compliance of the submitted plan to the requirements of the governing site-specific ordinance, the Zoning Ordinance, and the design criteria of the City of Wildwood for development proposals in all zoning district designations. The results of this review indicated a number of items that must be addressed before the matter can be posted for the required public hearing before the Planning and Zoning Commission. These items are as follows:

1. Please verify the following requirements of the site-specific ordinance are being met by the current operation:
 - a. That no grass, hay or yard clippings are being composted at the current site.
 - b. That authorized equipment parked or stored on the property does not exceed a front-loader, backhoe, and three (3) dump trucks.
 - c. That storage bins do not exceed twenty-two (22) in total.
 - d. That all parking spaces and access drives are paved.
 - e. That the required public space strip of landscaping/wildflowers has been installed along the northern boundary of the site (between the existing western end of the bleeder ditch and the permanent easement of the Levee District).
2. Please revise the general notes, as shown on the attached sheet.
3. Please correct the spelling of "Plat" in Line #2 of the Title Block (PLAF)
4. Please overlay the proposed lots on the remainder of the adjoining tract of land, where the additional acreage for the expansion of this site originates. This information is needed to determine the impact on this previously approved industrial subdivision (Preliminary Plat).

5. Please be advised the project will be required to provide public space, with the addition of any new parking spaces in conjunction with this expanded use. Please provide the Public Space Table and calculations to determine the obligation, if any.
6. Please provide comments or approvals from the City of Chesterfield, the Monarch Fire Protection District, the Chesterfield-Monarch Levee District, the Metropolitan St. Louis Sewer District (MSD), and the St. Louis County Department of Transportation.
7. Please be advised the cross section details for the reverse filter and gravel yard are still under review by the Department of Public Works.
8. Please verify the appropriate Flood Map is referenced in this regard.

If you should have any questions or comments regarding this review process, please feel free to contact the Department of Planning at (636) 458-0440. Thank you for your patience during this review and your anticipated cooperation in this regard.

Respectfully submitted,
CITY OF WILDWOOD


Joe Vujnich, Director
Department of Planning

Cc: The Honorable James R. Bowlin, Mayor
Council Members De Hart and McGowen, Ward One
Ryan S. Thomas, P.E., City Administrator
Rick Brown, P.E. and P.T.O.E., Director of Public Works
John A. Young, City Attorney
Kathy Arnett, Assistance Director of Planning and Parks
Travis Newberry, Planner

AMENDEL

PROPOSED LO
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GENERAL NOTES:

1. BOUNDARY INFORMATION BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, TOPOGRAPHICAL INFORMATION FROM RECORD. PROPERTY IS SUBJECT TO AN ACTUAL FIELD SURVEY.
2. ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. SHOULD ANY CONFLICTS BE EVIDENT, THE CONTRACTOR SHALL NOTIFY THE OFFICE OF THE ENGINEER IMMEDIATELY.
3. ON-SITE STORM WATER DRAINAGE REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE CHESTERFIELD VALLEY MASTER STORM WATER DRAINAGE PLAN AND AS DIRECTED BY THE CITY OF CHESTERFIELD, **METROPOLITAN ST. LOUIS SEWER DISTRICT, AND THE CITY OF WILDWOOD.**
4. OFF-SITE GRADING EASEMENTS, IF REQUIRED, SHALL BE EXECUTED AND RECORDED PRIOR TO THE ~~CONVEYANCE OF ANY OFF-SITE GRADING~~ **ISSUANCE OF ANY GRADING PERMIT BY THE CITY OF WILDWOOD,**
5. ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED TO SAINT LOUIS COUNTY AND THE CITY OF WILDWOOD STANDARDS. **CITY OF WILDWOOD,**
6. ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH SAINT LOUIS COUNTY, **AND** MSD STANDARDS.
7. STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
8. PARKING AND LOADING SPACES FOR THIS DEVELOPMENT WILL BE AS REQUIRED IN THE CITY OF WILDWOOD CODE.

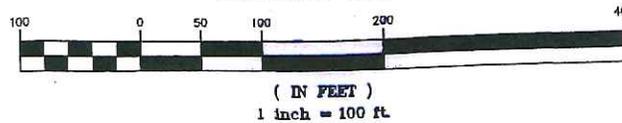
PARKING CALCULATIONS

REQUIRED PARKING: 15 EMPLOYEES WORKING ON A MAXIMUM SHIFT X 2/3 = 10 SPACES
5 OPERATING VEHICLES TO BE STORED ON SITE = 5 SPACES
4 SPACES FOR EVERY 1,000 SQ. FT. SALES ROOM = 4 SPACES REQ.
TOTAL REQUIRED PARKING = 19 SPACES

PROVIDED PARKING: 22 SPACES INCLUDING 1 HANDICAP SPACE.

9. NO ADDITIONAL LIGHTING IS PROPOSED FOR THIS PLAN.
10. PROPOSED USE: COMPOST FACILITY, AS DEFINED BY ST. LOUIS COUNTY WASTE MANAGEMENT CODE, CHAPTER 607 (WASTE CLASSES ALLOWED: CLASS D - ORGANIC WASTE, WASTE CLASS E - YARD BY-PRODUCTS, WASTE CLASS H - LIQUID WASTE)
11. THE PROPERTY IS SLOPED AT AN AVERAGE OF 2%.

GRAPHIC SCALE

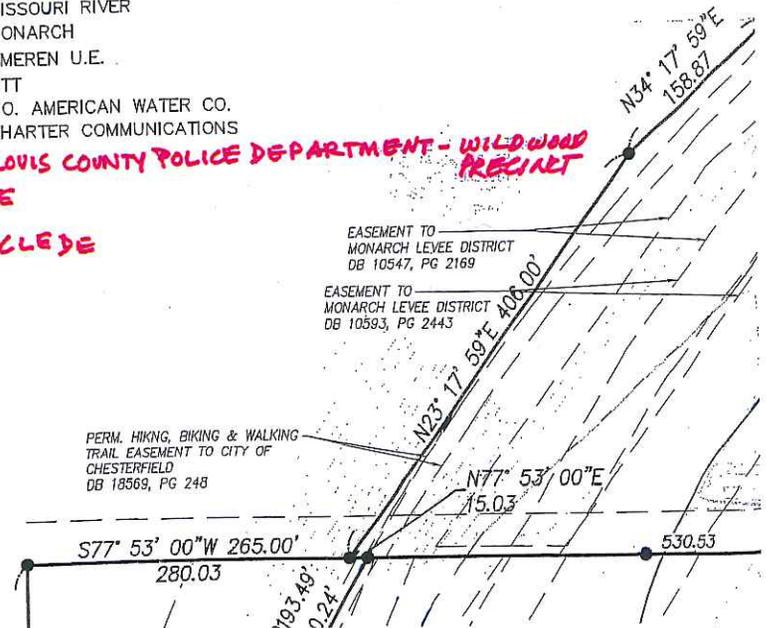


SITE INFORMATION

SITE ADDRESS = 501 NORTH EATHERTON ROAD
WILDWOOD, MO 63005
PROPOSED SITE AREA = 21.683 Ac.
OWNER = FICK SUPPLY SERVICE INC.
LOCATOR NO. = 17X320088
CITY = CITY OF WILDWOOD
FLOOD MAP = 29189C0145K (DATED 2/4/15)
SEWER DISTRICT = MSD
WATERSHED = MISSOURI RIVER
FIRE DISTRICT = MONARCH
ELECTRIC SERVICE = AMEREN U.E.
PHONE SERVICE = ATT
WATER SERVICE = MO. AMERICAN WATER CO.
CABLE SERVICE = CHARTER COMMUNICATIONS

POLICE:
WARD:
GAS:

ST. LOUIS COUNTY POLICE DEPARTMENT - WILDWOOD PRECINCT ONE
LACLEDE



STOCK & ASSOCIATES
Consulting Engineers, Inc.

June 16, 2016

City of Wildwood
16860 Main Street
Wildwood, MO 63040

Attention: Mr. Joe Vujnich, Director-Department of Planning

Re: Fick Supply Services – First Review of Amended Site Development Plan - West side of North Eatherton Road, North of Centaur Road – M-3 Planned Industrial District, Ward One (Stock Project No. 205-4476.1)

Dear Mr. Vujnich:

The following are written responses to comments from The City of Wildwood regarding the above-referenced submittal.

Comment 1. Please verify the following requirements of the site-specific ordinance are being met by the current operation:

a.) That no grass, hay or yard clippings are being composted at the current site.

Response: The proposed use, Compost Facility, as defined by St. Louis County Waste management Code, Chapter 607 (Waste Classes Allowed: Class D – Organic Waste, Waste Class E – Yard By-products, Waste Class H – Liquid Waste) allows for the composting of grass, yard clippings, etc. This line should be removed from the new ordinance.

b.) That authorized equipment parked or stored on the property does not exceed a front-loader, backhoe, and three (3) dump trucks.

Response: Currently parked/stored at the site are seven (7) tractor trailers, four (4) dump trucks and six (6) front end loaders. We identify the areas where the equipment is parked overnight on the site plan.

c.) That storage bins do not exceed twenty-two (22) in total.

Response: There are currently 31 storage bins. The nine (9) additional bins were added in the center of the facility, west of the shop.

d.) That all parking spaces and access drives are paved.

Response: Access drives are all paved. Customer and handicap parking in front of the office and shop is paved as well. The 10 spaces used for employee parking behind (north) of the office are gravel.

e.) *That the required public space strip of landscaping/wildflowers has been installed along the northern boundary of the site (between the existing western end of the bleeder ditch and the permanent easement of the Levee District).*

Response: **The public space landscape strip was planted.**

Comment 2. *Please revise the general notes, as shown on the attached sheet.*

Response: **Revised.**

Comment 3. *Please correct the spelling of "Plat" in Line #2 of the Title Block (PLAF).*

Response: **Corrected**

Comment 4. *Please overlay the proposed lots on the remainder of the adjoining tract of land, where the additional acreage for the expansion of this site originates. This information is needed to determine the impact on this previously approved industrial subdivision (Preliminary Plat).*

Response: **Overlaid and screened the lots from Eatherton Road Corporate Park.**

Comment 5. *Please be advised the project will be required to provide public space, with the addition of any new parking spaces in conjunction with this expanded use. Please provide the Public Space Table and calculations to determine the obligation, if any.*

Response: **Provided public space calculations. Public space provided under the original Site Development is greater than required.**

Comment 6. *Please provide comments or approvals from the City of Chesterfield, the Monarch Fire Protection District, the Chesterfield-Monarch Levee District, the Metropolitan St. Louis Sewer District (MSD), and the St. Louis County Department of Transportation.*

Response: **Correspondence with all agencies is included in this submittal. The City of Chesterfield is requesting Chesterfield Valley Stormwater Easements on the Eatherton Road Corporate Park Parcel, which will be provided when that parcel is developed.**

Comment 7. *Please be advised the cross section details for the reverse filter and gravel yard are still under review by the Department of Public Works.*

Response: **Acknowledged.**

Comment 8. *Please verify the appropriate Flood Map is referenced in this regard.*

Response: **Updated Flood Map information.**

June 16, 2016
CITY OF WILDWOOD
Page 3 of 3

Should you have any further comments and/or questions, please feel free to contact me.

Sincerely,

George M. Stock

George Stock, P.E.,
President

CC: Mr. Andrew Dixon, P.E., (andrew.dixon@stockassoc.com)
Mr. Dave Fick - dave@ficksupply.com (w/pdf)
Mr. Kraig Kreikemeier - kraigk1@sbcglobal.net (w/pdf)

Andrew Dixon

From: Heine, Robert <RHeine@stlouisco.com>
Sent: Wednesday, April 20, 2016 1:36 PM
To: Andrew Dixon
Cc: George Stock; Cheri Evans; Dave Fick; kraigk1@sbcglobal.net
Subject: RE: 4476 Fick Supply

Andrew,

I have reviewed the Amended Site Development plan for Fick Supply at 4476 Eatherton Road (dated 4/11/16). The Airport has no objections to this plan and will not require further review unless new buildings are added to the project. Feel free to call if you have any questions.

Bob

Robert S. Heine, P.E.
Airport Engineer
Spirit Of St. Louis Airport
Ph: 636-532-2222
Cell: 314-220-2189

From: Andrew Dixon [<mailto:andrew.dixon@stockassoc.com>]
Sent: Wednesday, April 20, 2016 1:10 PM
To: Heine, Robert
Cc: George Stock; Cheri Evans; Dave Fick; kraigk1@sbcglobal.net
Subject: 4476 Fick Supply

Mr. Heine, attached is an Amended Site Development Plan for Fick Supply located at 501 N Eatherton Road that we have submitted to the City of Wildwood. The City review process requires review and conceptual approval of the plan by the Spirit of St. Louis Airport. The proposed plan consists of an expansion of Fick Supply's gravel storage yard, associated grading and drainage. Should you have any questions, please feel free to contact me.

Thanks, Drew
636-530-9100

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Andrew Dixon

From: Knoll, James <JMKnoll@stlouisco.com>
Sent: Monday, April 25, 2016 2:36 PM
To: 'rbrown@cityofwildwood.com'
Cc: Andrew Dixon; George Stock
Subject: FW: 4476 Fick Supply
Attachments: 4476-Base-SDP.pdf

Rick,

Please consider this email as St. Louis County conceptual approval of the attached site development plan.

Feel free to call if any questions.

Thanks,
Jim

James M. Knoll, PE, CFM

Supervisor, Project Managers | Civil Plan Review and Special Use Permits Groups
St. Louis County Department of Transportation
41 S. Central Ave. | Clayton, MO 63105
direct 314-615-8554 | office 314-615-8517 | fax 314-615-7084
jmknoll@stlouisco.com | www.stlouisco.com

From: Andrew Dixon [<mailto:andrew.dixon@stockassoc.com>]
Sent: Wednesday, April 20, 2016 1:03 PM
To: Knoll, James <JMKnoll@stlouisco.com>
Cc: George Stock <george.stock@stockassoc.com>; Cheri Evans <cheri.evans@stockassoc.com>; Dave Fick <dave@ficksupply.com>; kraigk1@sbcglobal.net
Subject: 4476 Fick Supply

Jim, attached is an Amended Site Development Plan for Fick Supply located at 501 N Eatherton Road that we have submitted to the City of Wildwood. The City review process requires review and conceptual approval of the plan by St. Louis County Department of Highways and Traffic. The proposed plan consists of an expansion of Fick Supply's gravel storage yard, associated grading and drainage. Should you have any questions, please feel free to contact me.

Thanks, Drew
636-530-9100

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THE POWERHOUSE AT UNION STATION • 401 S. 18th ST., STE. 400 • SAINT LOUIS, MISSOURI 63103-2296
314-531-4321 • FAX 314-531-6966 • www.HornerShifrin.com

Memorandum

TO: David Human, Monarch-Chesterfield Levee District
Diane Summers

FROM: Karen Frederich

SUBJECT: Amended Site Development Plan for Fick Supply
501 North Eatherton Road

DATE: April 27, 2016

H&S JOB NO.: 1610000

CC: Andrew Dixon, Stock & Associates
Mike Geisel, City of Chesterfield
Matt Hunn & Rachel Lopez, Corps of Engineers

The Amended Site Development Plan prepared by Stock & Associates (209-4476) with a seal date of 04/11/2016 has been reviewed. The development is located west of Eatherton Road, north of Wings Corporate Drive. The plan shows the gravel yard for stockpiling material being extended southward, landward of the levee and on the underseepage berm.

The plans show the proposed reverse filter's top elevation as 461; the filter will need to extend to the adjacent grade to prevent runoff from entering the filter and fouling the openness of the surface aggregate.

Due to the proximity of the improvements to the primary flood protection system, design plans and construction documents should be submitted to the Monarch-Chesterfield Levee District for review and comment. When received, the plans will be forwarded to the St. Louis District Corps of Engineers for review and approval under Federal Statute 33 U.S.C. Section 408.

The Levee District is not making a determination of the project's general conformance with the Chesterfield Valley Master Stormwater Plan. It should be noted that we have not reviewed nor analyzed any aspect of the interior stormwater drainage system or water quality and those are the responsibility of the City and MSD, respectively.

The Levee District has no other comments at this time.



MONARCH FIRE PROTECTION DISTRICT

13725 Olive Blvd., Chesterfield, MO 63017-2640

Phone: 314.514.0900 Fax: 314.514.0696

www.monarchfpd.org

April 28, 2016

Andrew Dixon
Stock & Associates, Inc.
257 Chesterfield Business Pkwy.
Chesterfield, MO 63005

Re: Fick Supply, 501 Eatherton Road North

Dear Mr. Dixon:

I have reviewed and approved the Amended Site Development Plan for the project mentioned above. This project is being reviewed for compliance with the 2009 International Fire Code as adopted by Ordinance 31 *The Fire Prevention Code* of the Monarch Fire Protection District. Please make note of the following conditions of approval:

- Approved as submitted.

If you have any questions, please contact me at 314-514-0900 ext. 313, or at herin.r@monarchfpd.org.

Yours in Firesafety,


Roger N. Herin, MCP
Deputy Chief/Fire Marshal



**Metropolitan St. Louis
Sewer District**

2350 Market Street
St. Louis, MO 63103

May 2, 2016

Stock and Associates
Attn: Andrew Dixon
257 Chesterfield Business Parkway
St. Louis, MO 63005

Re: Fick Supply – 501 N. Eatherton
Amended Site Development Plan

Dear Mr. Dixon,

MSD has reviewed the Amended Site Development Plan dated 4-11-16 for the above referenced site and offers the following preliminary comments:

1. Based on the extent of the scope depicted on this plan, formal MSD review, approval, and permits will be required prior to construction. For a disturbed area greater than one acre, Post Construction Best Management Practices (BMPs) will be required to treat the extents of the project's disturbed area and should be integrated on the proposed plan.
 - a. The proximity of the seepage berm and flood zones should be taken into consideration as the grading plan and water quality strategy are developed.
 - b. Maintenance Agreements are required for the BMPs and shall be executed by each property owner whose parcel contains a BMP.
 - c. Land disturbance and impervious areas added on Lot B shall also factor into future development activities that may occur on Proposed Lot A.
2. Approval from the Monarch Chesterfield Levee District and the City of Chesterfield with regards to their requirements for work in the proximity of the levee and for the project's compliance with the Chesterfield Valley master drainage plan will be required prior to MSD approval of final plans.
3. The site is located within the Caulks Creek Surcharge area. The scope depicted on this amended site development plan does not warrant an assessment of the Caulks Creek surcharge at this time.

This review is subject to the requirements of detailed formal review of final design plans and is subordinate to the review and approval of final design plans. Please call me at (314) 768-2773 if you have any questions.

Sincerely,

A handwritten signature in blue ink, consisting of a stylized, cursive 'm' shape.

Jason Peterein, P.E.
Principal Engineer
Engineering/Planning-Development Review

Andrew Dixon

From: Kim Streicher <KStreicher@chesterfield.mo.us>
Sent: Wednesday, June 01, 2016 1:59 PM
To: Andrew Dixon
Cc: George Stock; Cheri Evans
Subject: RE: 4476: Fick Supply
Attachments: 4476-Base-SDP.pdf; Chesterfield Valley Stormwater Easement.doc

Drew,

The master plan shows a 15' flat bottom with 4:1 side slopes centered on the southern property line and a 15' wide flat bottom with 4:1 side slopes along the eastern property line. It looks like a 50' easement along that southern property line and a 100' easement along the eastern property line will encompass the future channel, allow for the required future 80' ROW on North Eatherton, and should line up with the existing Chesterfield Valley Storm Easement on Lot B. See attached.

Thanks,
Kim

From: Andrew Dixon [mailto:andrew.dixon@stockassoc.com]
Sent: Wednesday, June 01, 2016 9:25 AM
To: Kim Streicher <KStreicher@chesterfield.mo.us>
Cc: George Stock <george.stock@stockassoc.com>; Cheri Evans <cheri.evans@stockassoc.com>
Subject: RE: 4476: Fick Supply

Kim, please indicate what easements you need for the Chesterfield Master Storm Water infrastructure. There are no other proposed improvements, just the expansion of the gravel yard, berm and swale.

Thanks, Drew

From: Kim Streicher [mailto:KStreicher@chesterfield.mo.us]
Sent: Tuesday, May 31, 2016 7:35 AM
To: Andrew Dixon
Subject: RE: 4476: Fick Supply

Hi Drew,

We will need easements for the Chesterfield Valley Master Storm Water infrastructure to be recorded even though the infrastructure doesn't need to be built until the parcel is developed. When I spoke to Joe Vujnich about it he said he had thought that they were going to be building buildings/pavement and had requested an updated plan. My plan is dated 4/26/16. Is that the most recent? Are they proposing any development other than a gravel yard, landscape berm and swale?

From: Andrew Dixon [mailto:andrew.dixon@stockassoc.com]
Sent: Friday, May 27, 2016 3:26 PM
To: Kim Streicher <KStreicher@chesterfield.mo.us>
Subject: 4476: Fick Supply

Hi Kim, I wanted to follow up regarding your review of the Fick expansion. Do you have any comments/approvals of the SDP I can forward to the City of Wildwood?

Thanks, Drew

From: Kim Streicher [<mailto:KStreicher@chesterfield.mo.us>]
Sent: Tuesday, May 03, 2016 10:13 AM
To: Andrew Dixon
Subject: RE: Fick Supply

And who is the Wildwood contact for the project?

From: Andrew Dixon [<mailto:andrew.dixon@stockassoc.com>]
Sent: Tuesday, May 03, 2016 9:39 AM
To: Kim Streicher <KStreicher@chesterfield.mo.us>
Subject: RE: Fick Supply

Kim, see attached. Thanks, Drew

From: Kim Streicher [<mailto:KStreicher@chesterfield.mo.us>]
Sent: Tuesday, May 03, 2016 9:32 AM
To: Andrew Dixon
Subject: RE: Fick Supply

Thanks Drew,

Do you have a copy of the zoning Ordinance 1697?

From: Andrew Dixon [<mailto:andrew.dixon@stockassoc.com>]
Sent: Friday, April 29, 2016 2:16 PM
To: Kim Streicher <KStreicher@chesterfield.mo.us>; Ryan Schriber <ryan.schriber@stockassoc.com>
Subject: RE: Fick Supply

Kim, attached is the current plan for your review. Please let me know if you need anything else.

Thanks, Drew

From: Kim Streicher [<mailto:KStreicher@chesterfield.mo.us>]
Sent: Wednesday, April 27, 2016 10:16 AM
To: Ryan Schriber
Cc: Andrew Dixon
Subject: RE: Fick Supply

Thanks,

Drew,

Could you send me just a pdf of the plan?

Thanks,
Kim

From: Ryan Schriber [<mailto:ryan.schriber@stockassoc.com>]
Sent: Wednesday, April 27, 2016 9:59 AM

To: Kim Streicher <KStreicher@chesterfield.mo.us>
Cc: Andrew Dixon <andrew.dixon@stockassoc.com>
Subject: Re: Fick Supply

Drew Dixon.

On Apr 27, 2016, at 9:55 AM, Kim Streicher <KStreicher@chesterfield.mo.us> wrote:

Good morning Ryan,

Do you know who from Stock is working on the Fick Supply Amended Site Development Plan? I was wondering if I could get a copy so I can take a look at it as it relates to the Chesterfield Valley Master Storm Water Plan.

Thanks!

Kim

<image001.jpg>

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EASEMENT

TO WHOM IT MAY CONCERN:

KNOW ALL MEN BY THESE PRESENTS, That _____, for and in consideration of the sum of One Dollar (\$1.00) and other valuable considerations to _____ in hand paid by the City of Chesterfield, the receipt of which is hereby acknowledged, do(es) hereby give, grant, extend, and confer on the City of Chesterfield, Missouri, their successors and assigns as their interest may appear for the purpose of construction, maintaining and repair of the basins, reservoirs, channels, drainage facilities and sewer lines in conformance with the Chesterfield Valley Storm Water Plan, on the strip or strips of ground described as shown hachured on the attached "Easement Plat" marked Exhibit "A", and made a part hereof, with the right of temporary use of adjacent ground not occupied by improvements for the excavation and storage of materials during installation, repair or replacement of said basins, reservoirs, channels, drainage facilities and sewer lines. The property owner(s) shall be responsible for maintaining the dry/wet basins, channels, drainage facilities and sewer lines in good working order and in good repair as appropriate. In the event that the property owner(s) or its successors in title to said property shall fail to adequately maintain the basins, reservoirs, channels, drainage facilities and sewer lines in accordance with the approved Chesterfield Valley Storm Water Plan, the City of Chesterfield, Missouri, their successors and assigns shall be permitted to enter onto the property and make the repairs and corrections and perform such maintenance as it deems necessary and bill the property owners of said property for the services performed. It is further agreed that in the event that said bill or charge for services performed shall not be paid within a period of thirty (30) days said sum shall become a lien on the real property and shall accrue interest at a rate of eight percent (8%) until paid in full.

The City of Chesterfield may from time to time enter upon said premises to construct, reconstruct, or maintain the sewers or stormwater improvements aforesaid, and may assign its rights in this easement to the State, County, or other political subdivisions of the State. The right-of-way hereby granted is irrevocable and shall continue forever.

All stormwater easements as dedicated to the City of Chesterfield per the above, shall not be in the possession or control of the City. Nor shall the City be responsible for the maintenance, inspection, alteration, repair, operation, removal or relay on any stormwater drainage system.

AMENDED SITE DEVELOPMENT PLAN

PROPOSED LOT B OF THE PROPOSED BOUNDARY ADJUSTMENT PLAT OF

495 & 501 N EATHERTON RD

LOCATED IN U. S. SURVEY 132, TOWNSHIP 45 NORTH, RANGE 3 EAST,
CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI

CURRENT ZONING: M3 - Planned Industrial District (Ord. # 1697)

GENERAL NOTES

- BOUNDARY INFORMATION BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, TOPOGRAPHICAL INFORMATION FROM RECORD. PROPERTY IS SUBJECT TO AN ACTUAL FIELD SURVEY.
- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. SHOULD ANY CONFLICTS BE EVIDENT, THE CONTRACTOR SHALL NOTIFY THE OFFICE OF THE ENGINEER IMMEDIATELY.
- ON-SITE STORM WATER DRAINAGE REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE CHESTERFIELD VALLEY MASTER STORM WATER DRAINAGE PLAN AND AS DIRECTED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT, CITY OF CHESTERFIELD, AND THE CITY OF WILDWOOD.
- OFF-SITE GRADING EASEMENTS, IF REQUIRED, SHALL BE EXECUTED AND RECORDED PRIOR TO THE ISSUANCE OF ANY GRADING PERMIT BY THE CITY OF WILDWOOD.
- ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED TO SAINT LOUIS COUNTY AND THE CITY OF WILDWOOD STANDARDS.
- ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF WILDWOOD, SAINT LOUIS COUNTY AND MSD STANDARDS.
- STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- PARKING AND LOADING SPACES FOR THIS DEVELOPMENT WILL BE AS REQUIRED IN THE CITY OF WILDWOOD CODE.

PARKING CALCULATIONS

REQUIRED PARKING: 15 EMPLOYEES WORKING ON A MAXIMUM SHIFT X 2/3 = 10 SPACES
4 SPACES FOR EVERY 1,000 SQ. FT. SALES ROOM = 4 SPACES REQ.
TOTAL REQUIRED PARKING = 14 SPACES

PROVIDED PARKING: 19 SPACES INCLUDING 1 HANDICAP SPACE.

EQUIPMENT STORAGE: 7 TRACTOR TRAILERS
4 DUMP TRUCKS
6 FRONT END LOADERS

9. NO ADDITIONAL LIGHTING IS PROPOSED FOR THIS PLAN.

10. PROPOSED USE: COMPOST FACILITY, AS DEFINED BY ST. LOUIS COUNTY WASTE MANAGEMENT CODE, CHAPTER 607 (WASTE CLASSES ALLOWED: CLASS D - ORGANIC WASTE, WASTE CLASS E - YARD BY-PRODUCTS, WASTE CLASS H - LIQUID WASTE)

11. THE PROPERTY IS SLOPED AT AN AVERAGE OF 2%.

12. SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "AH"; FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE ELEVATIONS DETERMINED BFE-461 AND SHADED ZONE "X" (AREAS OF 2% CHANCE FLOOD, AREAS OF 1% CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AREA PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY AND INCORPORATED AREAS. THIS MAP IS IDENTIFIED AS MAP NO. 29189C0145 K, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2015. (PLOTTED GRAPHICALLY)

PUBLIC SPACE CALCULATIONS

REQUIRED: 290.4 SF OF PUBLIC SPACE PER NEW PARKING SPACE.
19 PARKING SPACES PROVIDED (19 x 290.4 SF/SPACE) = 5,517.6 SF

PROVIDED: PER THE ORIGINAL SITE DEVELOPMENT PLAN
8,350 SF OF MULTI-USE TRAIL
2,355 SF OF LANDSCAPE SCREENING

LEGEND

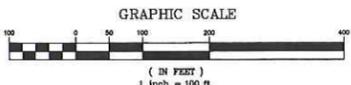
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- EXISTING TREE
- EXISTING BUILDING
- EXISTING CONTOUR
- SPOT ELEVATION
- EXISTING UTILITIES
- FOUND 1/2" IRON PIPE
- SET IRON PIPE
- FOUND CROSS
- FOUND STONE
- FIRE HYDRANT
- LIGHT STANDARD
- BUSH
- SIGN
- NOTES PARKING SPACES
- GUY WIRE
- POWER POLE
- WATER VALVE
- DENOTES RECORD INFORMATION
- HANDICAPPED PARKING

ABBREVIATIONS

- C.O. - CLEANOUT
- D.B. - DEED BOOK
- E.L. - ELECTRIC
- FL - FLOWLINE
- FT - FEET
- FND. - FOUND
- G - GAS
- M.H. - MANHOLE
- N/F - NOW OR FORMERLY
- P.B. - PLAT BOOK
- P.G. - PAGE
- P.V.C. - POLYVINYL CHLORIDE PIPE
- R.C.P. - REINFORCED CONCRETE PIPE
- R.I.M.U.S.E. - ROADWAY IMPROVEMENT, MAINTENANCE, UTILITY AND SEWER EASEMENT
- SQ. - SQUARE
- T - TELEPHONE CABLE
- V.C.P. - VITRIFIED CLAY PIPE
- W - WATER
- (86'W) - RIGHT-OF-WAY WIDTH

ST. LOUIS COUNTY BENCHMARK

MSD 11-109 ELEV. STANDARD ALUMINUM DISK STAMPED 54-11 1990. DISK IS SET ALONG THE EAST SIDE OF EATHERTON ROAD JUST NORTH OF THE SHELL PIPELINE MARKERS. 15' EAST OF THE CENTERLINE OF EATHERTON ROAD AND 40' NORTH OF THE EAST PIPELINE MARKER. APPROX 1.1 MILE SOUTH OF THE INTERSECTION OF OLIVE STREET ROAD AND EATHERTON ROAD. ELEV. 461.36 (DSD 10/28/08)



SITE INFORMATION

- SITE ADDRESS = 501 NORTH EATHERTON ROAD WILDWOOD, MO 63005
- PROPOSED SITE AREA = 21.683 Ac.
- OWNER = FICK SUPPLY SERVICE INC.
- LOCATOR NO. = 17X320088
- CITY = CITY OF WILDWOOD
- FLOOD MAP = 29183C0445G (DATED 1/20/16)
- SEWER DISTRICT = MSD
- WATERSHED = MISSOURI RIVER
- FIRE DISTRICT = MONARCH
- ELECTRIC SERVICE = AMEREN U.E.
- PHONE SERVICE = ATT
- WATER SERVICE = MO. AMERICAN WATER CO.
- CABLE SERVICE = CHARTER COMMUNICATIONS
- GAS = LACLEDE
- POLICE = ST. LOUIS COUNTY POLICE DEPT. - WILDWOOD PRECINCT
- WARD = ONE

OUTLOT A

TO BE DEDICATED TO CITY OF WILDWOOD
67,661 sq. ft.
2.01 ac.

PROPOSED LOT B

946,678 Sq. Ft.
21,732 Acreft.

PROPOSED LOT A

871,845 Sq. Ft.
20,000 Acreft.

LOT 1

12,475 Acreft.

LOT 2

12,475 Acreft.

LOT 3

12,475 Acreft.

LOT 4

12,475 Acreft.

LOT 5

12,475 Acreft.

LOT 6

12,475 Acreft.

LOT 7

12,475 Acreft.

LOT 8

12,475 Acreft.

LOT 9

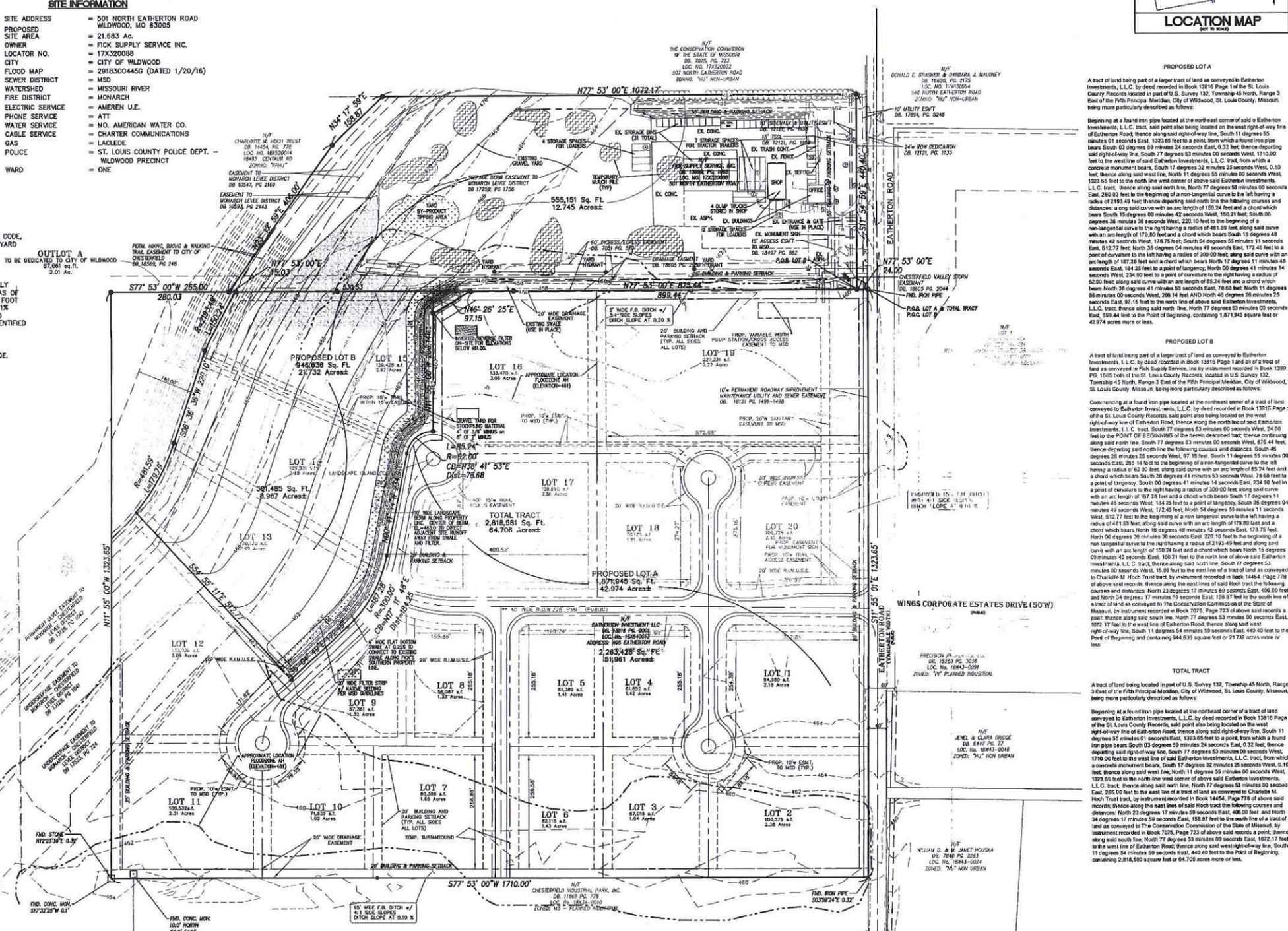
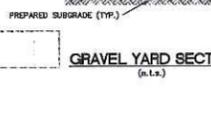
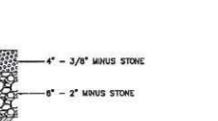
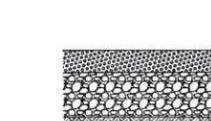
12,475 Acreft.

LOT 10

12,475 Acreft.

LOT 11

12,475 Acreft.



PROPOSED LOT A
A tract of land being part of a larger tract of land as conveyed to Eatherton Investments, L.L.C. by deed recorded in Book 13816 Page 1 of the St. Louis County Records located in part of U.S. Survey 132, Township 45 North, Range 3 East of the Fifth Principal Meridian, City of Wildwood, St. Louis County, Missouri, being more particularly described as follows:
Beginning at a found iron pipe located at the northeast corner of said Eatherton Investments, L.L.C. tract, said point also being located on the west right-of-way line of Eatherton Road, thence along said right-of-way line, South 11 degrees 55 minutes 01 seconds East, 1323.65 feet to a point, from which a found iron pipe bears South 03 degrees 09 minutes 24 seconds East, 0.32 feet, thence departing said right-of-way line, South 77 degrees 53 minutes 00 seconds West, 1710.00 feet to the west line of said Eatherton Investments, L.L.C. tract, from which a concrete monument bears, South 17 degrees 32 minutes 25 seconds West, 0.10 feet, thence along said west line, North 11 degrees 55 minutes 00 seconds West, 1323.65 feet to the north line west corner of above said Eatherton Investments, L.L.C. tract, thence along said north line, North 77 degrees 53 minutes 00 seconds East, 289.03 feet to the beginning of a non-tangential curve to the left having a radius of 2193.49 feet, thence departing said north line the following courses and distances: along said curve with an arc length of 152.24 feet and a chord which bears South 15 degrees 09 minutes 42 seconds West, 150.21 feet; South 00 degrees 36 minutes 38 seconds West, 220.10 feet to the beginning of a non-tangential curve to the right having a radius of 481.59 feet, along said curve with an arc length of 179.80 feet and a chord which bears South 15 degrees 48 minutes 42 seconds West, 178.75 feet; South 54 degrees 55 minutes 11 seconds East, 612.77 feet; North 35 degrees 04 minutes 49 seconds East, 172.45 feet to a point of tangency, South 00 degrees 41 minutes 14 seconds East, 184.25 feet to a point of tangency, North 00 degrees 41 minutes 14 seconds West, 234.90 feet to a point of tangency to the right having a radius of 62.00 feet, along said curve with an arc length of 152.24 feet and a chord which bears North 35 degrees 41 minutes 53 seconds East, 78.63 feet; North 11 degrees 55 minutes 00 seconds West, 208.14 feet AND North 48 degrees 25 minutes 25 seconds East, 37.15 feet to the north line of above said Eatherton Investments, L.L.C. tract, thence along said north line, North 77 degrees 53 minutes 00 seconds East, 699.44 feet to the Point of Beginning, containing 1,871,945 square feet or 42,974 acres more or less.

PROPOSED LOT B
A tract of land being part of a larger tract of land as conveyed to Eatherton Investments, L.L.C. by deed recorded in Book 13816 Page 1 and all of a tract of land as conveyed to Fick Supply Service, Inc. by instrument recorded in Book 1399, PG. 0565 both of the St. Louis County Records, located in U.S. Survey 132, Township 45 North, Range 3 East of the Fifth Principal Meridian, City of Wildwood, St. Louis County, Missouri, being more particularly described as follows:
Commencing at a found iron pipe located at the northeast corner of a tract of land conveyed to Eatherton Investments, L.L.C. by deed recorded in Book 13816 Page 1 of the St. Louis County Records, said point also being located on the west right-of-way line of Eatherton Road, thence along the north line of said Eatherton Investments, L.L.C. tract, South 77 degrees 53 minutes 00 seconds West, 24.00 feet to the POINT OF BEGINNING of the herein described tract, thence continuing along said north line, South 77 degrees 53 minutes 00 seconds West, 875.44 feet, thence departing said north line the following courses and distances: South 45 degrees 25 minutes 25 seconds West, 97.15 feet; South 11 degrees 55 minutes 00 seconds East, 256.14 feet to the beginning of a non-tangential curve to the left having a radius of 62.00 feet, along said curve with an arc length of 152.24 feet and a chord which bears South 38 degrees 41 minutes 53 seconds West, 78.63 feet to a point of tangency, South 00 degrees 41 minutes 14 seconds West, 234.90 feet to a point of tangency, North 00 degrees 41 minutes 14 seconds East, 184.25 feet to a point of tangency, South 25 degrees 04 minutes 49 seconds West, 172.45 feet; North 54 degrees 55 minutes 11 seconds West, 512.77 feet to the beginning of a non-tangential curve to the left having a radius of 481.59 feet, along said curve with an arc length of 179.80 feet and a chord which bears North 18 degrees 48 minutes 42 seconds East, 178.75 feet; North 06 degrees 26 minutes 26 seconds East, 220.10 feet to the beginning of a non-tangential curve to the right having a radius of 2193.49 feet and along said curve with an arc length of 150.24 feet and a chord which bears North 15 degrees 09 minutes 42 seconds West, 150.21 feet to the north line of above said Eatherton Investments, L.L.C. tract, thence along said north line, South 77 degrees 53 minutes 00 seconds East, 289.03 feet to the east line of a tract of land as conveyed to Charlotte M. Hoeh Trust, by instrument recorded in Book 14454, Page 778 of above said records, thence along the east line of said Hoeh tract the following courses and distances: North 23 degrees 17 minutes 59 seconds East, 409.00 feet and North 24 degrees 17 minutes 59 seconds East, 159.87 feet to the south line of a tract of land as conveyed to The Conservation Commission of the State of Missouri, by instrument recorded in Book 7075, Page 723 of above said records, a point, thence along said south line, North 77 degrees 53 minutes 00 seconds East, 1072.17 feet to the west line of Eatherton Road, thence along said west right-of-way line, South 11 degrees 54 minutes 59 seconds East, 440.40 feet to the Point of Beginning and containing 944,630 square feet or 21,532 acres more or less.

TOTAL TRACT
A tract of land being located in part of U.S. Survey 132, Township 45 North, Range 3 East of the Fifth Principal Meridian, City of Wildwood, St. Louis County, Missouri, being more particularly described as follows:
Beginning at a found iron pipe located at the northeast corner of a tract of land conveyed to Eatherton Investments, L.L.C. by deed recorded in Book 13816 Page 1 of the St. Louis County Records, said point also being located on the west right-of-way line of Eatherton Road, thence along said right-of-way line, South 11 degrees 55 minutes 01 seconds East, 1323.65 feet to a point, from which a found iron pipe bears South 03 degrees 09 minutes 24 seconds East, 0.32 feet, thence departing said right-of-way line, South 77 degrees 53 minutes 00 seconds West, 1710.00 feet to the west line of said Eatherton Investments, L.L.C. tract, from which a concrete monument bears, South 17 degrees 32 minutes 25 seconds West, 0.10 feet, thence along said west line, North 11 degrees 55 minutes 00 seconds West, 1323.65 feet to the north line west corner of above said Eatherton Investments, L.L.C. tract, thence along said north line, North 77 degrees 53 minutes 00 seconds East, 289.03 feet to the beginning of a non-tangential curve to the left having a radius of 2193.49 feet, thence departing said north line the following courses and distances: along said curve with an arc length of 152.24 feet and a chord which bears South 15 degrees 09 minutes 42 seconds West, 150.21 feet; South 00 degrees 36 minutes 38 seconds West, 220.10 feet to the beginning of a non-tangential curve to the right having a radius of 481.59 feet, along said curve with an arc length of 179.80 feet and a chord which bears South 15 degrees 48 minutes 42 seconds West, 178.75 feet; South 54 degrees 55 minutes 11 seconds East, 612.77 feet; North 35 degrees 04 minutes 49 seconds East, 172.45 feet to a point of tangency, South 00 degrees 41 minutes 14 seconds East, 184.25 feet to a point of tangency, North 00 degrees 41 minutes 14 seconds West, 234.90 feet to a point of tangency to the right having a radius of 62.00 feet, along said curve with an arc length of 152.24 feet and a chord which bears North 35 degrees 41 minutes 53 seconds East, 78.63 feet; North 11 degrees 55 minutes 00 seconds West, 208.14 feet AND North 48 degrees 25 minutes 25 seconds East, 37.15 feet to the north line of above said Eatherton Investments, L.L.C. tract, thence along said north line, North 77 degrees 53 minutes 00 seconds East, 699.44 feet to the Point of Beginning, containing 1,871,945 square feet or 42,974 acres more or less.

REVISIONS:
1. 2016/04/28 - RE-RELEASE FIRE HYDRANTS - YARD HYDRANTS PER MONARCH PRO COMMENTS
2. 2016/06/10 - CITY COMMENTS

DATE	BY	CHKD BY	NO.
06/10/16	GEORGE MICHAEL STUCKE	653116	001
06/10/16	GEORGE MICHAEL STUCKE	653116	002

DRAWN BY: A.C.D.
 CHECKED BY: G.M.S.
 DATE: 06/10/16
 JOB NO: 2016-0478
 USER: P.# 17000005-00
 BASE MAP # 17000005-00
 FILE: 17000005-00
 HATCH: 17000005-00
 TOLERANCE: 0.001
 SCALE: 1"=100'-0"

SHEET TITLE: AMENDED SITE DEVELOPMENT PLAN
 SHEET NO: 1 OF 1

JUN 16 2016

CITY OF WILDWOOD
DEPT. OF PLANNING & PERM.

ST. LOUIS COUNTY BENCHMARK

PREPARED FOR:
Fick Supply Service, Inc.
501 North Eatherton Road
Wildwood, MO 63005

2016/04/28 - RE-RELEASE FIRE HYDRANTS - YARD HYDRANTS PER MONARCH PRO COMMENTS
2016/06/10 - CITY COMMENTS

1 OF 1

257 Chesterfield Business Parkway
 St. Louis, MO 63005 PH: (636) 550-9100 FAX: (636) 550-5100
 E-mail: general@stockandassociates.com
 Web: www.stockandassociates.com

STOCK & ASSOCIATES
 Consulting Engineers, Inc.

PREPARED BY:

AMENDED SITE DEVELOPMENT PLAN
FICK SUPPLY - 501 N EATHERTON RD
 CITY OF WILDWOOD
 ST. LOUIS COUNTY, MISSOURI



REVISIONS:
 1. 2016/04/28 - RE-RELEASE FIRE HYDRANTS - YARD HYDRANTS PER MONARCH PRO COMMENTS
 2. 2016/06/10 - CITY COMMENTS

DRAWN BY: A.C.D.
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 DATE: 06/10/16
 JOB NO: 2016-0478
 USER: P.# 17000005-00
 BASE MAP # 17000005-00
 FILE: 17000005-00
 HATCH: 17000005-00
 TOLERANCE: 0.001
 SCALE: 1"=100'-0"

SHEET TITLE: AMENDED SITE DEVELOPMENT PLAN
 SHEET NO: 1 OF 1



WILDWOOD

July 5, 2016

The Honorable City Council
City of Wildwood, Missouri
16860 Main Street
Wildwood, Missouri 63040

Re: P.Z. 12 and 13-15
Petitioner: A response to a communication from Mike Falkner, Sterling Engineers and Surveyors, dated March 25, 2016, regarding **The Villages at Bright Leaf**
Zoning: R-3 10,000 square foot Residence District, with Planned Residential Development Overlay District (PRD)
Town Center: Neighborhood Edge and General District Designations
Location: Northwest corner of State Route 100 and Taylor Road
Tract Size: 78 acres
Locator Numbers: Multiple
Ward: Five

Council Members:

INTRODUCTION - The Planning and Zoning Commission is in receipt of a correspondence from the Project Engineer for the Villages of Bright Leaf development that is dated March 25, 2016. In this correspondence, the Project Engineer is seeking the Planning and Zoning Commission's review of the site-specific ordinance recently approved by the City Council to address some inconsistencies between the revised plan and the ordinance's requirements for lot sizes and widths. These inconsistencies, according to the petitioner, occurred when the design of the plan changed to eliminate the ten (10) lot cul-de-sac that was to be located along the common boundary of the subject site and the Evergreen Subdivision and relocate it to the western part of the project site. **When this change occurred, the Department of Planning did not correctly reflect it in the site-specific ordinance, as it was presented to City Council.**

With the submittal of this correspondence, the Planning and Zoning Commission has reviewed the files and related information regarding this request and prepared this report for City Council's consideration. Accordingly, acting at the July 5, 2016 Executive Meeting, and by a vote of --- to ---, the Planning and Zoning Commission has hereby completed its review of this requested matter and taken action in this regard. This review was conducted via the requirements of the Zoning

Ordinance for matters and amendments of this nature. Postings and mailings were also completed, all being in accordance with the City's requirements or past practices for the same.

BACKGROUND AND HISTORY - The set of petitions was recently heard and acted upon by the City, with the site-specific ordinance being approved by the City Council in early 2016. The petitions, P.Z. 12 and 13-15, sought a change in the existing zoning district designations of the overall tract of land, which was over seventy-eight (78) acres in size, and the application of a Planned Residential Development Overlay District (PRD) upon the same area, to allow for the development of one hundred ninety-four (194) homesites, some of which were to be neo-traditional in terms of their access and other design components. These one hundred four (104) homesites would also be served by a system of Town Center designed streets, new stormwater facilities and over nine (9) acres of public space. Two (2) major roadway considerations were included in these requests, which included the development of the Pond-Grover Loop Road through the subject site and the construction of a parallel roadway along the north side of State Route 100 that would connect Taylor Road and Eatherton Road (east and west respectively).

The design of this project, from its presentation at the public hearing in July 2015 to its passage in 2016, underwent several changes to better address the transitioning of lots along the Evergreen Subdivision (in place since the late 1970's), better traffic calming, less land disturbance, and consideration of the loop road concept altogether. The disposition of the loop road and the extension of Birch Forest Drive from its current terminus on the Evergreen Subdivision into the new development area required a number of meetings to reach a consensus on how to proceed, which included the following two (2) major points:

1. Birch Forest Drive would not be extended into the new development, but only provide emergency vehicle access, along with pedestrian and bicycle types as well.
2. Pond-Grover Loop Road would be included in the site-specific ordinance, but a citizen committee be formed to review the matter in detail and make a recommendation on the same to City Council.

These discussions leading to the aforementioned consensus enabled the passage of the Planned Residential Development Overlay District (PRD) ordinance by City Council in 2016, with the submittal of the Site Development Plan following approximately two (2) months later. The latest copy of this Site Development Plan is attached to this report for the consideration of all parties. This revised plan has not been submitted to the Planning and Zoning Commission for its consideration at this stage, since the Departments of Public Works and Planning have yet to complete their required reviews.

CURRENT REQUEST - The current request that is being submitted to the City for consideration relates to the Villages of Bright Leaf Subdivision and the specifics associated with **three (3) of the six (6) villages** located therein and the characteristics of their lots in terms of size and width. These characteristics were not corrected, when the site-specific ordinance was finally acted upon by the City Council for the one hundred ninety-four (194) lots, due to the deletion of the ten (10) lot cul-de-sac in the north portion of the site and the allocation of those properties to the western portion of

the site. The Department utilized the provided information for lot sizes and widths for these certain lots within the defined villages, but failed to reflect the changes due to the shift in lots.

Specifically, the villages that are subject to this current issue regarding the lot specifications includes **three (3)** ~~five~~ of the six (6) villages A, B, and C ~~D, and E~~. The current language of the ordinance defines these villages as such:

2. LOT SIZES, DEPTHS, AND BUILDING REQUIREMENTS

A. Each detached dwelling unit shall be located on an individual lot of record that meets the following requirements, per its location within the six (6) defined villages:

- i. **Village A** – Eighty (80) foot minimum lot width and lot size of 12,000 square feet.
- ii. **Village B** – Sixty-three (63) foot minimum lot width and lot size of 9,000 square feet.
- iii. **Village C** – Sixty-two (62) foot minimum lot width and lot size of 9,000 square feet.

The requested amendments to this condition would be as follows:

- i. **Village A** – Eighty (80) foot minimum lot width and lot size of **9,600** ~~12,000~~ square feet.
- ii. **Village B** – Sixty-three (63) foot minimum lot width and lot size of **7,400** ~~9,000~~ square feet.
- iii. **Village C** – Sixty-two (62) foot minimum lot width and lot size of **7,400** ~~9,000~~ square feet.

The petitioner has also revised the original request the Planning and Zoning Commission heard at its June meeting to eliminate the rear yard setback requirement from the proposal. The developer has changed the type of home that necessitated the request for this reduction in the rear yard setback area. With this change, the request regarding this large Town Center development now is solely the lot sizes in the aforementioned three (3) villages.

ANALYSIS - The consideration of this request, from the perspective of the Planning and Zoning Commission, focuses on the differences between the last plan presented to the City Council and the overall community, before the final passage of the current site-specific ordinance was completed, and now. This approach is necessary, given the extent of discussion on this matter and the amount of public participation. With this amount of discussion and participation, it is incumbent on the Planning and Zoning Commission to ensure the conditions of the ordinance asking to be modified are consistent with that last plan.

From this perspective, the Planning and Zoning Commission would note the last plan represented in conjunction with these proposals, prior to passage by the City Council, remains unchanged with these modifications. As has been explained to the Planning and Zoning Commission by the Department of Planning that, when the petitioner altered the design of the project to address certain recommended changes, the proposed ordinance was amended, but the lot sizes and widths of these certain villages were not updated on the 'Typical Lot Diagrams,' which the Department utilized to create the requirements. Therefore, the plan was correct in its representation of the desired action of the City, but the requirements of the ordinance were not simultaneously updated.

This action would coordinate the two (2) components, as was planned, when the City agreed to the revised design, which placed more lots on the west side of the proposed Pond-Grover Loop Road than in earlier versions of it. Accordingly, the Planning and Zoning Commission is supportive of the changes to the proposed lot sizes. and widths

Additionally, the Planning and Zoning Commission would note the layout of proposed streets, stormwater improvements, public space, and other site components are not altered by this recommended change to the lot sizes and widths in certain villages of the subdivision. Therefore, the project retains its character from almost all other perspectives. To the Planning and Zoning Commission, this change indicates a minimal impact on the development, and the surrounding area to it.

SUMMARY AND RECOMMENDATION – The Planning and Zoning Commission believes, based upon its review of the provided information, the requested modifications to lot sizes and widths are reasonable, when viewed against the criteria of the Town Center Neighborhood Design Standards and consistent with the last plan submitted by the petitioner in support of the City Council’s action in this regard. Accordingly, the Planning and Zoning Commission is recommending Planned Residential Development Overlay District Ordinance #2145 be amended to read as follows:

2. LOT SIZES, DEPTHS, AND BUILDING REQUIREMENTS

- A. Each detached dwelling unit shall be located on an individual lot of record that meets the following requirements, per its location within the six (6) defined villages:
 - i. Village A – Eighty (80) foot minimum lot width and lot size of **9,600** ~~12,000~~ square feet.
 - ii. Village B – Sixty-three (63) foot minimum lot width and lot size of **7,400** ~~9,000~~ square feet.
 - iii. Village C – Sixty-two (62) foot minimum lot width and lot size of **7,400** ~~9,000~~ square feet.

All other conditions remain in full force and effect. Accordingly, this recommendation has no bearing on the matters relating to Pond-Grover Loop Road and the current consideration that is underway with the citizen committee.

If any of the City Council Members should have questions or comments, or need additional information on this request, please feel free to contact the Department of Planning at (636) 458-0440. Thank you for your consideration of this recommendation.

Respectfully submitted,
CITY OF WILDWOOD PLANNING AND ZONING COMMISSION

R. Jon Bopp, Chair

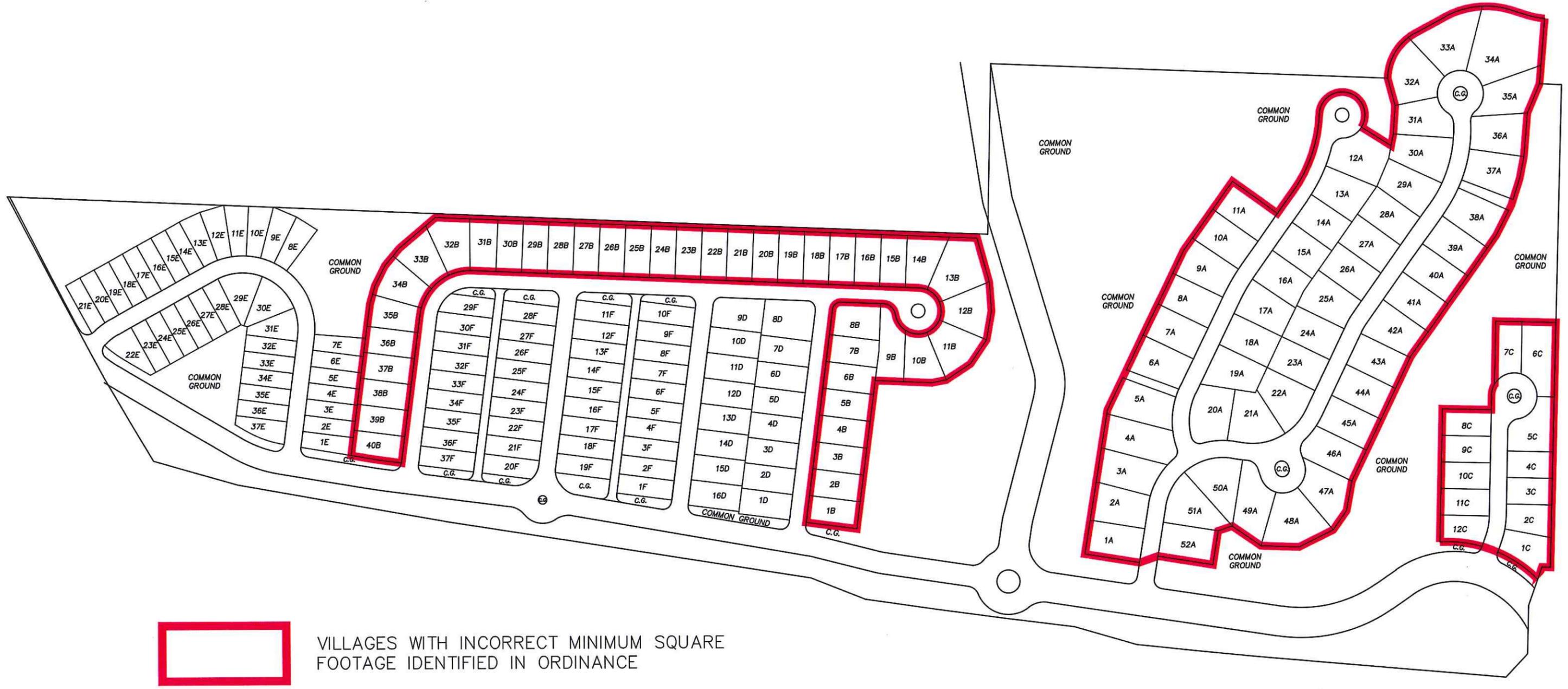
ATTEST:

Joe Vujnich, Director
Department of Planning

Cc: The Honorable James R. Bowlin, Mayor
Council Members Garritano and Goodson, Ward Eight
Ryan S. Thomas, P.E., City Administrator
John A. Young, City Attorney
Kathy Arnett, Assistant Director of Planning and Parks
Travis Newberry, Planner
Mike Falkner, Sterling Engineering

Editor's Note: Changes to this recommendation letter, since the Commission's June 20, 2016 meeting, are reflected as follows: additions by bold, blue text and deletions by a single, strike-through line.

THE VILLAGES AT BRIGHT LEAF APPROVED PRELIMINARY PLAN



VILLAGES WITH INCORRECT MINIMUM SQUARE FOOTAGE IDENTIFIED IN ORDINANCE

THE VILLAGES AT BRIGHT LEAF

SITE DEVELOPMENT PLAN



VILLAGES WITH INCORRECT MINIMUM SQUARE FOOTAGE IDENTIFIED IN ORDINANCE



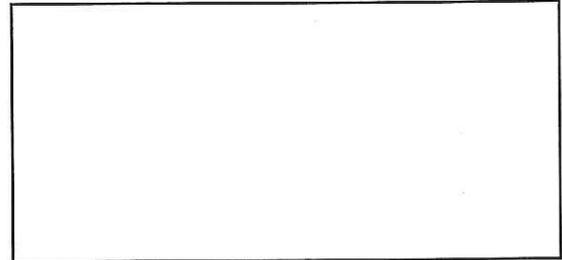
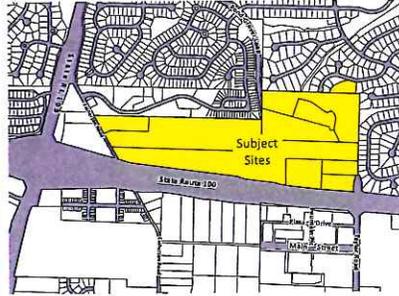
WILDWOOD

16860 Main Street
Wildwood, MO 63040

**CITY OF WILDWOOD
NOTICE OF
PUBLIC MEETING**
before the Planning and Zoning Commission
TUESDAY, July 5, at 7:00 p.m.

AS A RESIDENT OR PROPERTY OWNER NEAR THE SITE THAT IS IDENTIFIED ON THIS MAILER, THE CITY OF WILDWOOD WOULD LIKE TO ENSURE YOU ARE AWARE OF THIS REQUEST/PROPOSAL BECAUSE IT IS LOCATED WITHIN 1,500 FEET OF YOUR PROPERTY. YOUR COMMENTS ARE ENCOURAGED, ALONG WITH YOUR PARTICIPATION AT THE SCHEDULED HEARING OR MEETING. THIS ITEM IS SCHEDULED FOR DISCUSSION AND ITS OUTCOME MAY IMPACT YOUR HOME, NEIGHBORHOOD, OR AREA, SO PLEASE CAREFULLY READ THE DESCRIPTION AND PARTICIPATE AT YOUR DISCRETION. THE CITY OF WILDWOOD ENCOURAGES CITIZEN INPUT AT ALL OF ITS HEARINGS OR MEETINGS AND YOUR INVOLVEMENT WILL ASSIST IT IN REACHING THE BEST DECISION POSSIBLE FOR ALL PARTIES.

* PLEASE SEE YELLOW BOX ON OPPOSITE SIDE OF THIS MAILER FOR A LIST OF WAYS TO EITHER COMMENT ON AND/OR TRACK THIS ITEM.



The Planning and Zoning of the City of Wildwood will conduct a public meeting on **TUESDAY, July 5, 2016, at 7:00 p.m., in the City Hall Council Chambers, 16860 Main Street, Wildwood, Missouri 63040** for the purposes of obtaining testimony regarding request(s) for either the modification of zoning district designations, application of special procedures, change in the underlying regulations of the Zoning Ordinance, action on Record Plats, update on zoning matters, or amendment of the Master Plan, which will then be considered for action. This meeting is open to all interested parties to comment upon this request, whether in favor or opposition, or provide additional input for consideration. If you do not have comments regarding this request, no action is required on your part. Written comments are accepted and can be emailed to joec@cityofwildwood.com or via the City's website at www.cityofwildwood.com/comment. The following request will be considered at this time:

A response to a communication from Mike Falkner, Sterling Engineers and Surveyors, dated March 25, 2016, regarding **P.Z. 12 and 13-15 The Villages at Bright Leaf**; R-3 10,000 square foot Residence District (Town Center "Neighborhood General District" and "Neighborhood Edge District"), with a Planned Residential Development Overlay, District (PRD); north side of State Route 100, east of State Route 109 (Locator Numbers 23V230041, 23V230050, 23V240327, 23V310064, 23V330022, 23V330031, 23V330206, 23V330215, 23V330233, and 23V610917/Street Addresses: 2350 and 2344 Eatherton Road, 2531, 2555, and 2567 Taylor Road, 16721 Manchester Road, and 16615, 16602, and 16618 Overlook Hills Drive); which seeks modifications to the existing site-specific ordinance (Planned Residential Overlay District Ordinance # 2145) that governs this development to address inconsistencies between this legislation and the proposed Site Development Plan (SDP) relative to certain allowed lot widths, depths, and sizes. **(Ward Five)**

***RESIDENT OR PROPERTY OWNER - PLEASE COMMENT ON AND/OR TRACK THIS REQUEST BY:**

- 1) Submitting a comment online by visiting: <http://www.cityofwildwood.com/comment>.
- 2) Submitting a written comment prior to the hearing and addressed to the Planning and Zoning Commission, City of Wildwood, 16860 Main Street, Wildwood, Missouri 63040.
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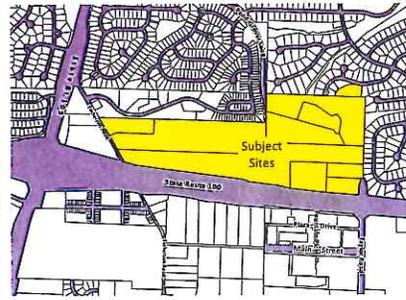
WILDWOOD

16860 Main Street
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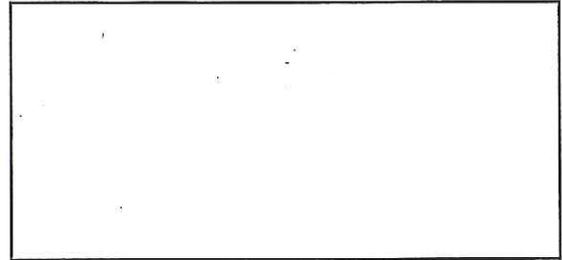
**CITY OF WILDWOOD
NOTICE OF
PUBLIC HEARING
before the City Council
Monday, June 27, at 7:30 p.m.**

**This Public Hearing before the City Council has been
POSTPONED.**

AS A RESIDENT OR PROPERTY OWNER NEAR THE SITE THAT IS IDENTIFIED ON THIS MAILER, THE CITY OF WILDWOOD WOULD LIKE TO ENSURE YOU ARE AWARE OF THIS REQUEST/PROPOSAL BECAUSE IT IS LOCATED WITHIN 1,500 FEET OF YOUR PROPERTY. YOUR COMMENTS ARE ENCOURAGED, ALONG WITH YOUR PARTICIPATION AT THE SCHEDULED HEARING OR MEETING. THIS ITEM IS SCHEDULED FOR DISCUSSION AND ITS OUTCOME MAY IMPACT YOUR HOME, NEIGHBORHOOD, OR AREA, SO PLEASE CAREFULLY READ THE DESCRIPTION AND PARTICIPATE AT YOUR DISCRETION. THE CITY OF WILDWOOD ENCOURAGES CITIZEN INPUT AT ALL OF ITS HEARINGS OR MEETINGS AND YOUR INVOLVEMENT WILL ASSIST IT IN REACHING THE BEST DECISION POSSIBLE FOR ALL PARTIES.



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The City Council of the City of Wildwood will conduct a public hearing on **Monday, June 27, 2016, at 7:30 p.m., in the City Hall Council Chambers, 16860 Main Street, Wildwood, Missouri 63040** for the purposes of obtaining testimony regarding request(s) for either the modification of zoning district designations, application of special procedures, change to the underlying regulations of the Zoning Ordinance, action on Record Plats, update on zoning matters, or amendment of the Master Plan, which will then be considered for action. This hearing is open to all interested parties to comment upon this request, whether in support or opposition, or provide additional input for consideration. If you do not have comments regarding this request, no action is required on your part. Written comments are requested to be submitted prior to this hearing and should be addressed to the City of Wildwood, 16860 Main Street, Wildwood, Missouri 63040 or via the City's website at www.cityofwildwood.com/comment. The following request will be considered at this time:

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POSTPONED

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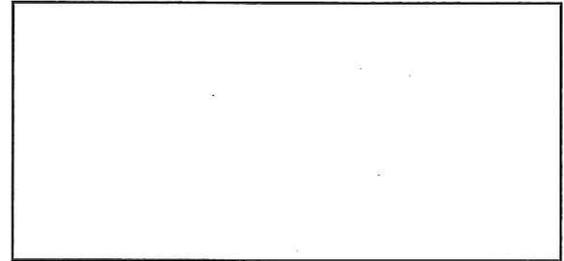
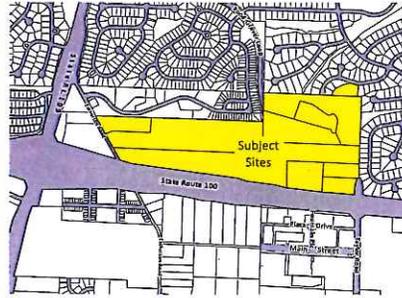
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WILDWOOD

June 20, 2016

The Honorable City Council
City of Wildwood, Missouri
16860 Main Street
Wildwood, Missouri 63040

Re: P.Z. 12 and 13-15
Petitioner: A response to a communication from Mike Falkner, Sterling Engineers and Surveyors, dated March 25, 2016, regarding **The Villages at Bright Leaf**
Zoning: R-3 10,000 square foot Residence District, with Planned Residential Development Overlay District (PRD)
Town Center: Neighborhood Edge and General District Designations
Location: Northwest corner of State Route 100 and Taylor Road
Tract Size: 78 acres
Locator Numbers: Multiple
Ward: Five

Council Members:

INTRODUCTION - The Planning and Zoning Commission in receipt of a correspondence from the Project Engineer for the Villages of Bright Leaf development that is dated March 25, 2016. In this correspondence, the Project Engineer is seeking the Planning and Zoning Commission's review of the site-specific ordinance recently approved by the City Council to address some inconsistencies between the revised plan and the ordinance's requirements for lot sizes and widths. These inconsistencies, according to the petitioner, occurred when the design of the plan changed to eliminate the ten (10) lot cul-de-sac and relocate those lots to the western part of the project site.

With the submittal of this correspondence, the Planning and Zoning Commission has reviewed the files and related information regarding this request and prepared this report for City Council's consideration. Accordingly, acting at the June 20, 2016 Executive Session, and by a vote of --- to ---, the Planning and Zoning Commission has hereby completed its review of this requested matter and taken action in this regard. This review was conducted via the requirements of the Zoning Ordinance for matters and amendments of this nature. Postings and mailings were also completed, all being in accordance with the City's requirements or past practices for the same.

BACKGROUND AND HISTORY - The set of petitions was recently heard and acted upon by the City, with the site-specific ordinance being approved by the City Council in early 2016. The petitions, P.Z. 12 and 13-15, sought a change in the existing zoning district designations of the overall tract of land, which was over seventy-eight (78) acres in size, and the application of a Planned Residential Development Overlay District (PRD) upon the same area, to allow for the development of one hundred ninety-four (194) homesites, some of which were to be neo-traditional in terms of their access and other design components. These one hundred four (104) homesites would also be served by a system of Town Center designed streets, new stormwater facilities and over nine (9) acres of public space. Two (2) major roadway considerations were included in these requests, which included the development of the Pond-Grover Loop Road through the subject site and the construction of a parallel roadway along the north side of State Route 100 that would connect Taylor Road and Eatherton Road (east and west respectively).

The design of this project, from its presentation at the public hearing in July 2015 to its passage in 2016, underwent several changes to better address the transitioning of lots along the Evergreen Subdivision (in place since the late 1970's), better traffic calming, less land disturbance, and consideration of the loop road concept altogether. The disposition of the loop road and the extension of Birch Forest Drive from its current terminus on the Evergreen Subdivision into the new development area required a number of meetings to reach a consensus on how to proceed, which include the following two (2) major points:

1. Birch Forest Drive would not be extended into the new development, but only provide emergency vehicle access, along with pedestrian and bicycle types as well.
2. Pond-Grover Loop Road would be included in the site-specific ordinance, but a citizen committee be formed to review the matter in detail and make a recommendation on the same to City Council.

These discussions leading to the aforementioned consensus enabled the passage of the Planned Residential Development Overlay District (PRD) ordinance by City Council in 2016, with the submittal of the Site Development Plan following approximately two (2) months later. The latest copy of this Site Development Plan is attached to this report for the consideration of all parties. This revised plan has not been submitted to the Planning and Zoning Commission for its consideration at this stage, since the Departments of Public Works and Planning have yet to complete their required reviews.

CURRENT REQUEST - The current request that is being submitted to the City for consideration relates to the Villages of Bright Leaf Subdivision and the specifics associated with certain villages located therein and the characteristics of their lots in terms of size and width. These characteristics were not corrected, when the site-specific ordinance was finally acted upon by the City Council for the one hundred ninety-four (194) lots, due to the deletion of the ten (10) lot cul-de-sac in the north portion of the site and the allocation of those properties to the western portion of the site. The Department utilized the provided information for lot sizes and widths for these certain lots within the defined villages, but failed to reflect the changes due to the shift in lots.

Specifically, the villages that are subject to this current issue regarding the lot specifications includes five of the six (6) villages A, B, C, D, and E. The current language of the ordinance defines these villages as such:

2. LOT SIZES, DEPTHS, AND BUILDING REQUIREMENTS

- A. Each detached dwelling unit shall be located on an individual lot of record that meets the following requirements, per its location within the six (6) defined villages:
- i. **Village A** – Eighty (80) foot minimum lot width and lot size of 12,000 square feet.
 - ii. **Village B** – Sixty-three (63) foot minimum lot width and lot size of 9,000 square feet.
 - iii. **Village C** – Sixty-two (62) foot minimum lot width and lot size of 9,000 square feet, excepting four (4) lots, which shall have direct frontage onto the Pond-Grover Loop Road, with on-site turnaround capabilities provided on each of them. These four (4) lots shall have a minimum width of seventy (70) feet, a front yard setback distance of thirty-five (35) feet, and a depth no less than one hundred sixty (160) feet.
 - iv. **Village D** – Sixty (60) foot minimum lot width and lot size of 6,500 square feet.
 - v. **Village E** – Thirty-eight (38) foot minimum lot width and lot size of 4,000 square feet.
 - vi. **Village F - Rear-Entry Garage Lots** – Forty-five (45) foot minimum lot width and lots size of 5,400 square feet.
 - vii. Properties located within a cul-de-sac shall be as approved by the Planning and Zoning Commission on the Site Development Plan. These widths shall be measured at the front building line.

The requested amendments to this condition would be as follows:

- i. **Village A** – Eighty (80) foot minimum lot width and lot size of **9,600** ~~12,000~~ square feet.
- ii. **Village B** – **Sixty-two (62)** ~~Sixty-three (63)~~ foot minimum lot width and lot size of **7,400** ~~9,000~~ square feet.
- iii. **Village C** – Sixty-two (62) foot minimum lot width and lot size of **7,400** ~~9,000~~ square feet, excepting four (4) lots, which shall have direct frontage onto the Pond-Grover Loop Road, with on-site turnaround capabilities provided on each of them. These four (4) lots shall have a minimum width of seventy (70) feet, a front yard setback distance of thirty-five (35) feet, and a depth no less than one hundred sixty (160) feet.
- iv. **Village D** – **Sixty-two (62)** ~~Sixty (60)~~ foot minimum lot width and lot size of **7,400** ~~6,500~~ square feet.
- v. **Village E** – **Forty (40)** ~~Thirty-eight (38)~~ foot minimum lot width and lot size of 4,000 square feet.
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- vii. Properties located within a cul-de-sac shall be as approved by the Planning and Zoning Commission on the Site Development Plan. These widths shall be measured at the front building line.

Additionally, the petitioner has noted the need for a reduction in the rear yard setback areas of some lots to accommodate decks, given the depths of the proposed housing units in the Neo-Traditional Area of the project's boundaries have much greater than their respective widths. The current language in this regard is as follows:

4. SITE DEVELOPMENT PLAN DESIGN CRITERIA

The above Site Development Plan shall adhere to the following specific design criteria:

Build-To Lines - Residential

a. Any building or structure, other than boundary and/or retaining walls, fences, detention facilities, and/or light standards, shall adhere to the following build-to lines, as specified in the Town Center Plan's Neighborhood Design Standards:

- (1) **Twenty (20) feet** from any right-of-way line, except any unit served by a rear entry garage, which shall have a **build-to distance of ten (10) feet** (see Condition 2(a.)).
- (2) **Five (5) feet** for any side yard property line and ten (10) feet for side yard areas that abut the perimeter of the Planned Residential Development Overlay District.
- (3) **Fifteen (15) feet from any rear yard property line** and thirty (30) feet for rear yard areas that abut the perimeter of the Planned Residential Development Overlay District.
- (4) **Five (5) feet from any rear yard property line** for any unit served by a rear entry garage.

The proposed change would reduce the distance associated with the rear yard setback from fifteen (15) feet to ten (10) feet, in some instances.

ANALYSIS - The consideration of this request, from the perspective on the Planning and Zoning Commission, focuses on the differences between the last plan presented to the City Council and the overall community, before the final passage of the current site-specific ordinance was completed, and now. This approach is necessary, given the extent of discussion on this matter and the amount of public participation. With this amount of discussion and participation, it is incumbent on the Planning and Zoning Commission to ensure the conditions of the ordinance asking to be modified are consistent with that last plan.

From this perspective, the Planning and Zoning Commission would note the last plan represented in conjunction with these proposals, prior to passage by the City Council, remains unchanged with these modifications. As has been explained to the Planning and Zoning Commission by the Department of Planning that, when the petitioner altered the design of the project to address certain recommended changes, the proposed ordinance was amended, but the lot sizes and widths of these certain villages were not updated on the 'Typical Lot Diagrams,' which the Department utilized to create the requirements. Therefore, the plan was correct in its representation of the desired action of the City, but the requirements of the ordinance were not simultaneously updated.

This action would coordinate the two (2) components, as was planned, when the City agreed to the revised design, which placed more lots on the west side of the proposed Pond-Grover Loop Road than in earlier versions of it. Accordingly, the Planning and Zoning Commission is supportive of the changes to the proposed lot sizes and widths (it is important to note that, while some decrease in both regards, other villages increase).

Additionally, the Planning and Zoning Commission would note the layout of proposed streets, stormwater improvements, public space, and other site components are not altered by this recommended change to the lot sizes and widths in certain villages of the subdivision. Therefore, the project retains its character from almost all other perspectives. To the Planning and Zoning Commission, this slight change indicates a minimal impact on the development, and the surrounding area to it.

With regards to the rear yard setback areas of the proposed lots, the Commission is not supporting this request at this time, given the limited information it has in this regard and concerns about impacts, given the rear yard areas of many lots are used to create swales and other improvements for the management of stormwater runoff. From the Planning and Zoning Commission's perspective, the Town Center Plan allows the encroachment of porch areas into the established front yard setback area at this time and addressing the depth of the units by utilizing these locations at the frontage of the lots would appear more appropriate. Importantly, the Planning and Zoning Commission wants to ensure the perimeter rear yard areas are retained at current distances, given the importance of providing adequate light, space, and air in these portions of each of the future lots.

SUMMARY AND RECOMMENDATION – The Planning and Zoning Commission believes, based upon its review of the provided information, the requested modifications to lot sizes and widths are reasonable, when viewed against the criteria of the Town Center Neighborhood Design Standards and consistent with the last plan submitted by the petitioner in support of the City Council's action in this regard. The reduction in the rear yard setback, however, is not being supported and would prefer for the petitioner to use the allowable provision for the placements of the front porch structures into an area of the front yard setback locations, as already allowed in the Town Center Neighborhood Design Standards. Accordingly, the Planning and Zoning Commission is recommending Planned Residential Development Overlay District Ordinance #2145 be amended to read as follows:

2. LOT SIZES, DEPTHS, AND BUILDING REQUIREMENTS

A. Each detached dwelling unit shall be located on an individual lot of record that meets the following requirements, per its location within the six (6) defined villages:

- i. **Village A** – Eighty (80) foot minimum lot width and lot size of **9,600** ~~12,000~~ square feet.
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- vii. Properties located within a cul-de-sac shall be as approved by the Planning and Zoning Commission on the Site Development Plan. These widths shall be measured at the front building line.

All other conditions remain in full force and effect.

If any of the City Council Members should have questions or comments, or need additional information on this request, please feel free to contact the Department of Planning at (636) 458-0440. Thank you for your consideration of this recommendation.

Respectfully submitted,

CITY OF WILDWOOD PLANNING AND ZONING COMMISSION

R. Jon Bopp, Chair

ATTEST:

Joe Vujnich, Director
Department of Planning

Cc: The Honorable James R. Bowlin, Mayor
Council Members Garritano and Goodson, Ward Eight
Ryan S. Thomas, P.E., City Administrator
John A. Young, City Attorney
Kathy Arnett, Assistant Director of Planning and Parks
Travis Newberry, Planner
Mike Falkner, Sterling Engineering



From: Mike Falkner mfalkner@sterling-eng-sur.com
 Subject: The Villages at Bright Leaf
 Date: March 25, 2016 at 9:54 AM
 To: Joe Vujnich joe@cityofwildwood.com
 Cc: John Fischer (JFischer@fandfhomes.com) JFischer@fandfhomes.com, Chris DeGuentz CDeGuentz@fandfhomes.com, Ken Stricker kstricker@consort-homes.com, Cox, Roger roox@consort-homes.com, Al Hicks ahicks@jhberra.com, Josh Foster jfoster@jhberra.com, George Gower GGower@sterling-eng-sur.com, Mike Boerding MBoerding@sterling-eng-sur.com, John Luetkenhaus JLuetkenhaus@sterling-eng-sur.com

Good Morning Joe,
 Per our meeting and phone conversations, I have attached a copy of section 2.a of Ordinance no.#2145 that I have shown the proposed amendments we spoke about.
 There are no changes in the total number of lots and we are not asking for any other changes to Ordinance # 2145.
 It is our understanding that the requested amendments will run concurrently with the Site Development Plan review and approval process.
 If you need additional information, please do not hesitate to call or email me.
 Again, Thanks for all your help regarding the development of the Villages at Bright Leaf.
 Mike

2. LOT SIZES, DEPTHS, AND BUILDING REQUIREMENTS

- a. Each detached dwelling unit shall be located on an individual lot of record that meets the following requirements, per its location within the six (6) defined villages:
 - i. Village A - Eighty (80) foot minimum lot width and lot size of 12,000 square feet.
 - ii. Village B - Sixty-three (63) foot minimum lot width and lot size of 9,000 square feet. *62'*
 - iii. Village C - Sixty-two (62) foot minimum lot width and lot size of 9,000 square feet, excepting four (4) lots, which shall have direct frontage onto the Pond Grover Loop Road, with on-site turnaround capabilities provided on each of them. These four (4) lots shall have a minimum width of seventy (70) feet, a front yard setback distance of thirty-five (35) feet, and a depth no less than one hundred sixty (160) feet. *7,400*
 - iv. Village D - Sixty (60) foot minimum lot width and lot size of 6,000 square feet. *62'*
 - v. Village E - Thirty-eight (38) foot minimum lot width and lot size of 4,000 square feet. *40'*
 - vi. Village F - Rear-Entry Garage Lots - Forty-five (45) foot minimum lot width and lots size of 5,400 square feet. *7,400*
 - vii. Properties located within a cul-de-sac shall be as approved by the Planning and Zoning Commission on the Site Development Plan. These widths shall be measured at the front building line.
- b. All detached single family dwellings shall have a minimum finish floor elevation of their front porches of eighteen (18) inches in height above the adjoining sidewalk grade. All dwelling units shall have a front porch, which must extend across at least thirty percent (30%) of the façade's elevation facing the frontage line, at a minimum depth of no less than six (6) feet. No building facade shall show more than four (4) corners to the frontage line or as approved by the Architectural Review Board on the required elevations.
- c. No building and/or structure shall be more than two (2) stories above final grade, as measured from the front building line on any individual lot.
- d. Direct residential drive access shall be allowed for up to one hundred fifty-seven (157) ~~units~~ *fifty-three (53)* of the single family detached units within this development from the system of internal streets, but the garage door(s) on each unit must be a minimum of seven point five (7.5) feet behind an imaginary line formed by an extension of the front elevation of the dwelling (including the front porch) parallel to the lot's frontage, excepting those units in Villages A, C, and E. *Units in two (2) of these villages shall be as reviewed and acted upon by the Planning and Zoning Commission on the Site Development Plan (Villages A and C). Garage door(s) associated with any unit located within*

Village E shall be a minimum of six (6) feet behind an imaginary line formed by an extension of the front elevation of the dwelling (including the front porch) parallel to the lot's frontage. Individual garage doors shall not be greater than twenty (20) feet in width and must be carriage types, including windows, and incorporate other architectural treatments, as determined by the City's Architectural Review Board to be appropriate, to lessen their prominence within the visual corridor formed by these interior streets within the development, unless a suitable alternative design is provided for these openings. The developer shall provide a minimum of two (2) options that incorporate these requirements to the Planning and Zoning Commission for its consideration, as part of the Site Development Plan review and action process, regarding the front of the garages that further reduces their prominence from the abutting street view. Architectural type shingle selections shall be required on all residential units of a minimum thirty (30) year standard.

From: **Mike Boerding** MBoerding@sterling-eng-sur.com
Subject: Bright Leaf -Questions regarding site
Date: June 9, 2016 at 4:12 PM
To: **Joe Vujnich** JVujnich@cityofwildwood.com
Cc: **Josh Foster** jfoster@jhberra.com, **Mike Falkner** mfalkner@sterling-eng-sur.com, **John Luetkenhaus** JLuetkenhaus@sterling-eng-sur.com, **George Gower** GGower@sterling-eng-sur.com

Joe,

I am sorry that I missed your call yesterday evening. I thought that an email may be a better way to communicate on these questions. As you know, Sterling prepared a revised SDP based upon comments from you and your staff. A few questions are outlined below and I appreciate your guidance as we move forward through the SDP and improvement plans.

Questions;

1. Has there been any resolution with the Fire Protection District? The splitter islands and speed platform have been shown on the latest version of the SDP as requested, however we understood there would be further discussion between the City and the FPD.
2. Correspondence with the school district was requested, however we are not aware of any concerns by the school district. Are we corresponding with the school district for informational purposes?
3. Mike Falkner said you were drafting the revised ordinance to run concurrently with the SDP approval. We have the old ordinance attached to the SDP. Should we remove those sheets or, should we add a water mark stating the ordinance is being amended?
4. Sterling understood that a clearing and grubbing permit request would be reviewed during the SDP. The comments asked for a SWPPP plan to be submitted with the SDP. Will the City review the SWPPP in anticipation of issuing a grading permit as soon as the SDP is approved?

Thank you,
Mike

Mike Boerding, PE
Vice President

The STERLING Company

5055 New Baumgartner Rd
St. Louis, MO 63129
314-446-5781 direct
314-487-0440 office
314-393-3813 cell
www.sterling-eng-sur.com

From: **Mike Boerding** MBoerding@sterling-eng-sur.com
Subject: RE: Bright Leaf -Questions regarding site
Date: June 10, 2016 at 8:13 AM
To: **Joe Vujnich** JVujnich@cityofwildwood.com
Cc: **Josh Foster** jfoster@jhberra.com, **Mike Falkner** mfalkner@sterling-eng-sur.com, **John Luetkenhaus** JLuetkenhaus@sterling-eng-sur.com, **George Gower** GGower@sterling-eng-sur.com

Joe,

I also meant to inquire about getting an additional variance allowing the decks to encroach the rear yard setback by an additional 5 feet. Please let us know if this could be incorporated into the ordinance or if this may be something that you could grant as Director.

Thank you,
Mike

From: Mike Boerding
Sent: Thursday, June 09, 2016 4:12 PM
To: 'Joe Vujnich' <JVujnich@cityofwildwood.com>
Cc: 'Josh Foster' <jfoster@jhberra.com>; 'Mike Falkner (mfalkner@sterling-eng-sur.com)' <mfalkner@sterling-eng-sur.com>; 'John Luetkenhaus (jluetkenhaus@sterling-eng-sur.com)' <jluetkenhaus@sterling-eng-sur.com>; George Gower <GGower@sterling-eng-sur.com>
Subject: Bright Leaf -Questions regarding site

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Thank you,
Mike

Mike Boerding, PE

Vice President

The STERLING Company

5055 New Baumgartner Rd

GENERAL NOTES:

- THIS SITE IS IN THE FOLLOWING DISTRICTS AND UTILITY SERVICE AREAS:
WARD EIGHT
METRO WEST FIRE PROTECTION DISTRICT
ST. LOUIS COUNTY POLICE DEPARTMENT - CITY OF WILDWOOD (6TH) PRECINCT
ROCKWOOD R-5 SCHOOL DISTRICT
METROPOLITAN ST. LOUIS SEWER DISTRICT
AMEREN MISSOURI
AT&T
LANE GAS COMPANY
MISSOURI AMERICAN WATER COMPANY
CHARTER CABLE SERVICES
- SANITARY SEWER CONSTRUCTION AND CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AND IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES.
- STORMWATER SYSTEM DESIGN SHALL BE PURSUANT TO THE CITY OF WILDWOOD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND SHALL DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
- THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
- ALL GRADING AND DRAINAGE SHALL BE PER CITY OF WILDWOOD, MODOT AND METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARDS. SOURCE OF TOPOGRAPHY- AERIAL PHOTOGRAPHY BY SURDEX DATED 3/11/2015.
- NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH MUST BE ACCEPTED/APPROVED BY THE CITY OF WILDWOOD.
- ALL PROPOSED UTILITIES WILL BE LOCATED UNDERGROUND WITHIN THIS SITE.
- NO PLANTS, TREES, SIGNS, ETC. GREATER THAN 36" IN HEIGHT SHALL BE PLACED WITHIN THE SIGHT DISTANCE TRIANGLE AT INTERSECTIONS AND MEDIANS AS TO RESTRICT SIGHT DISTANCE.
- MAXIMUM HEIGHT OF STREET LIGHTING FIXTURES SHALL BE 16 FEET AND SHALL BE IN COMPLIANCE WITH THE CITY OF WILDWOOD CODE REQUIREMENTS.
- STREET TREES AND SITE LANDSCAPING SHALL BE AS REQUIRED BY THE CITY OF WILDWOOD. SEE REQUIRED LANDSCAPE PLAN.
- THE NEAREST MAJOR INTERSECTION IS HIGHWAY 100 AND STATE ROUTE 109 APPROXIMATELY 200 FEET TO THE SOUTHWEST.
- THE FRONT FACADES MUST BE 1.5 FEET ABOVE GRADE AT FRONTAGE LINES.
- ENTRANCES, STREET INTERSECTIONS, CUL-DE-SACS SHALL BE CONSTRUCTED TO CITY OF WILDWOOD AND MODOT STANDARDS.
- ALL EXISTING WATER FEATURES LOCATED ON THIS SITE WHICH WILL BE DISTURBED SHALL BE DEWATERED IN COMPLIANCE WITH THE CITY OF WILDWOOD GRADING CODE.

DEVELOPMENT NOTES:

- LOCATOR NUMBERS: 23V230041, 23V230050, 23V240327, 23V310064, 23V330022, 23V330031, 23V330206, 23V330215, 23V330233, 23V610917
- SITE ADDRESS: 2344 EATHERTON RD WILDWOOD, MO. 63011
- CURRENT OWNERS: WILLIAM JONES 2350 EATHERTON RD
GOBBLER GROVER 2344 EATHERTON RD
MERA VAL INC. 2555 TAYLOR RD
DEBORAH STRAIN 16615 OVERLOOK HILLS DR
MERA VAL INC. 16721 MANCHESTER RD
WILLIAM JONES JR 2531 TAYLOR RD
MERA VAL INC. 2587 TAYLOR RD
WILLIAM JONES JR 16602 OVERLOOK HILLS DR
OVERLOOK HILLS LLC 16618 OVERLOOK HILLS DR
- EXISTING ZONING: R-3 10,000 SQUARE FOOT RESIDENCE DISTRICT (TOWN CENTER "NEIGHBORHOOD GENERAL DISTRICT" AND "NEIGHBORHOOD EDGE DISTRICT"), WITH A PLANNED RESIDENTIAL DEVELOPMENT OVERLAY DISTRICT (PRD), ORDINANCE #2145
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL
- GROSS AREA OF SITE: 78.82 ACRES
LESS RIGHT-OF-WAY: 43.53 ACRES
NET AREA: 35.29 ACRES
- DENSITY = 55.27 AC. X 43,580 S.F./AC. / 10,000 S.F. = 234 LOTS ALLOWABLE
NUMBER OF LOTS PROPOSED: 194
- PARKING REQUIREMENTS:
2 EA. X 194 LOTS = 388 SPACES
PROVIDED = 388 SPACES + 7 GUEST SPACES
- COMMON GROUND = 20.97 AC.
PUBLIC OPEN SPACE = 7.78 AC.
TOTAL SPACE = 28.75 AC.

PROPERTY DESCRIPTION:

A tract of land located in Section 1, Township 44 North, Range 3 East, City of Wildwood, St. Louis County, Missouri and being more particularly described as follows:

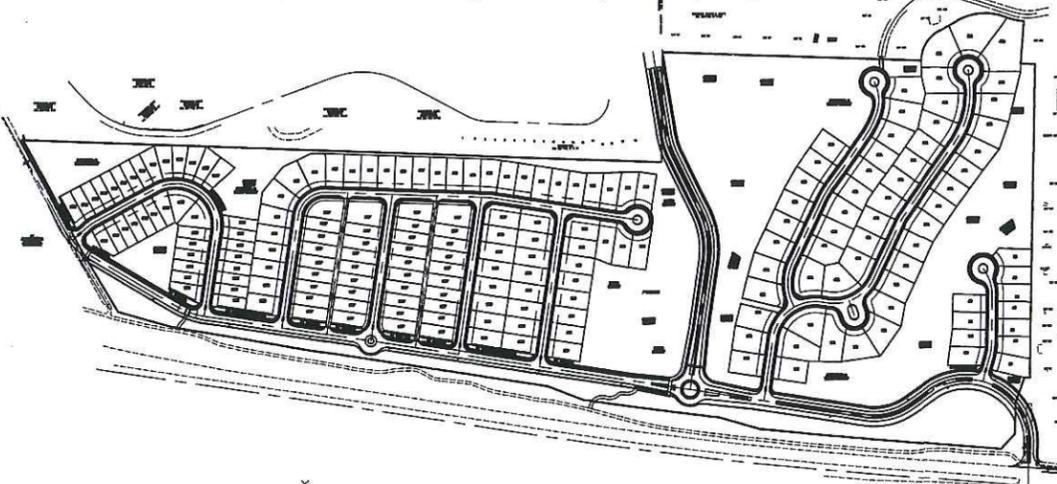
Beginning at the intersection of the north-south centerline of above said Section 1 and the east-west centerline of the Northeast Quarter of said Section 1, said intersection being the southwest corner of Evergreen Section 2 Plat 11, a subdivision according to the plat thereof recorded in Plat Book 250 Page 57 of the St. Louis County, Missouri Records; thence along the south line of said Evergreen Section 2 Plat 11 and its prolongation, being the south line of Evergreen Plat 4, a subdivision according to the plat thereof recorded in Plat Book 226 Page 55 of said records, South 87°39'31" East, 535.28 feet, to a point being the southeast corner of Lot 409 of said Evergreen Plat 4; thence leaving said south line and along the southeast line of Lots 407 through 409 of said Evergreen Plat 4; the following courses, distances and curves: along a curve to the right being non-tangential to the previous course, with a radius of 125.00 feet and whose chord bears North 31°51'07" East, 123.24 feet, an arc distance of 128.87 feet to a point of tangency; North 61°24'00" East, 79.93 feet to a point of curvature; and along a curve to the right with a radius of 200.00 feet, whose chord bears North 84°28'30" East, 156.56 feet, an arc distance of 180.88 feet to a point on the south right-of-way line of State Highway 109 (50 feet wide); thence leaving said southeast line and along said south right-of-way line, South 72°31'00" East, 38.21' to a point of curvature; thence continuing along said south right-of-way line, along a curve to the left with a radius of 200.00 feet and whose chord bears South 78°50'00" East, 44.01 feet, an arc distance of 44.10 feet to the northwest corner of Lot 408 of said Evergreen Plat 4; thence leaving said south right-of-way line and along the west line of said Lot 408, South 04°51'00" West, 153.28 feet to a point on said east-west centerline, said point also being the southwest corner of said Lot 406; thence along said east-west centerline, said line also being the south line of said Lot 406, South 87°39'31" East, 51.98' to a point on the north-south centerline of the Northeast Quarter of said Section 1, said point also being the northwest corner of Evergreen Plat 3; a subdivision according to the plat thereof recorded in Plat Book 204 Page 71 of said records; thence leaving said east-west centerline, said line also being the west line of Evergreen Plat 3, the west line of Evergreen Plat 2, a subdivision according to the plat thereof recorded in Plat Book 190 Page 52 of said records and the west line of Evergreen Plat 1, a subdivision according to the plat thereof recorded in Plat Book 190 Page 52 of said records, South 01°43'27" West, 1128.77 feet to a point in the centerline of Taylor Road (Width Variable); thence leaving said north-south centerline, North 88°25'23" West, 20.00 feet to the west right-of-way line of said Taylor Road; thence along said west right-of-way line the following courses and distances: South 20°00'41" West, 94.87 feet; South 01°24'37" West, 113.11 feet; and South 43°21'00" West, 75.00 feet to a point in the north right-of-way line of State Highway 109; thence leaving said west right-of-way line of Taylor Road and along said south right-of-way line of State Highway 109 the following courses, distances and curves: North 85°02'20" West, 461.64 feet to a point of curvature; along a curve to the right with a radius of 17,063.74 feet, whose chord bears North 84°21'00" West, 410.34 feet, an arc distance of 410.35 feet; North 73°52'28" West, 150.88 feet; along a curve to the right being non-tangential to the previous course with a radius of 17,028.74 feet, whose chord bears North 82°19'40" West, 495.62 feet, an arc distance of 495.64 feet; course with a radius of 13,703 feet; North 81°02'40" West, 865.00 feet; North 79°53'55" West, 500.10 feet; and North 74°04'56" West, 204.59' to a point in the east right-of-way line of Eatherton Road (40' wide); thence leaving said south right-of-way line and along said east right-of-way line of Eatherton Road, North 30°49'19" West, 225.43 feet; thence continuing along said east right-of-way line, North 28°03'19" West, 483.01 feet to a point on the south line of Sandalwood Creek Condominiums Phase One-A; according to the plat thereof recorded in Plat Book 240 Page 6 of said records; thence leaving said east right-of-way line and along said east right-of-way line and its prolongation, South 87°33'57" East, 1,534.33 feet to the southwest corner of Hunters Run, a subdivision according to the plat thereof recorded in Plat Book 25 of said records; thence leaving said east right-of-way line and along the south line of said Hunters Run, South 87°41'40" East, 771.44 feet to a point on said north-south centerline, said point being the Point of Beginning and contains 3,433.413 square feet, or 78.820 acres more or less, according to calculations performed by The Sterling Company during the month of March, 2016.

The Villages at Bright Leaf

A Tract Of Land Located In
Sections 1 & 2, Township 44 North, Range 3 East,
City Of Wildwood,
St. Louis County, Missouri

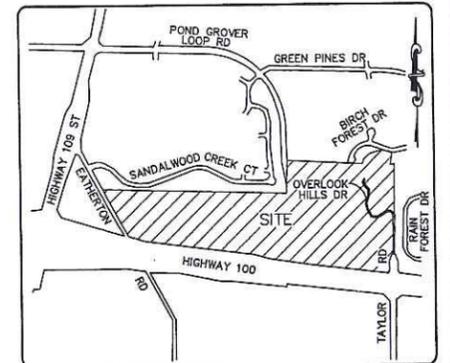
SITE DEVELOPMENT PLAN

R-3 10,000 Square Foot Residence District
(Town Center "Neighborhood General District" and "Neighborhood Edge District"),
With A Planned Residential Development Overlay District (PRD), Ordinance #2145



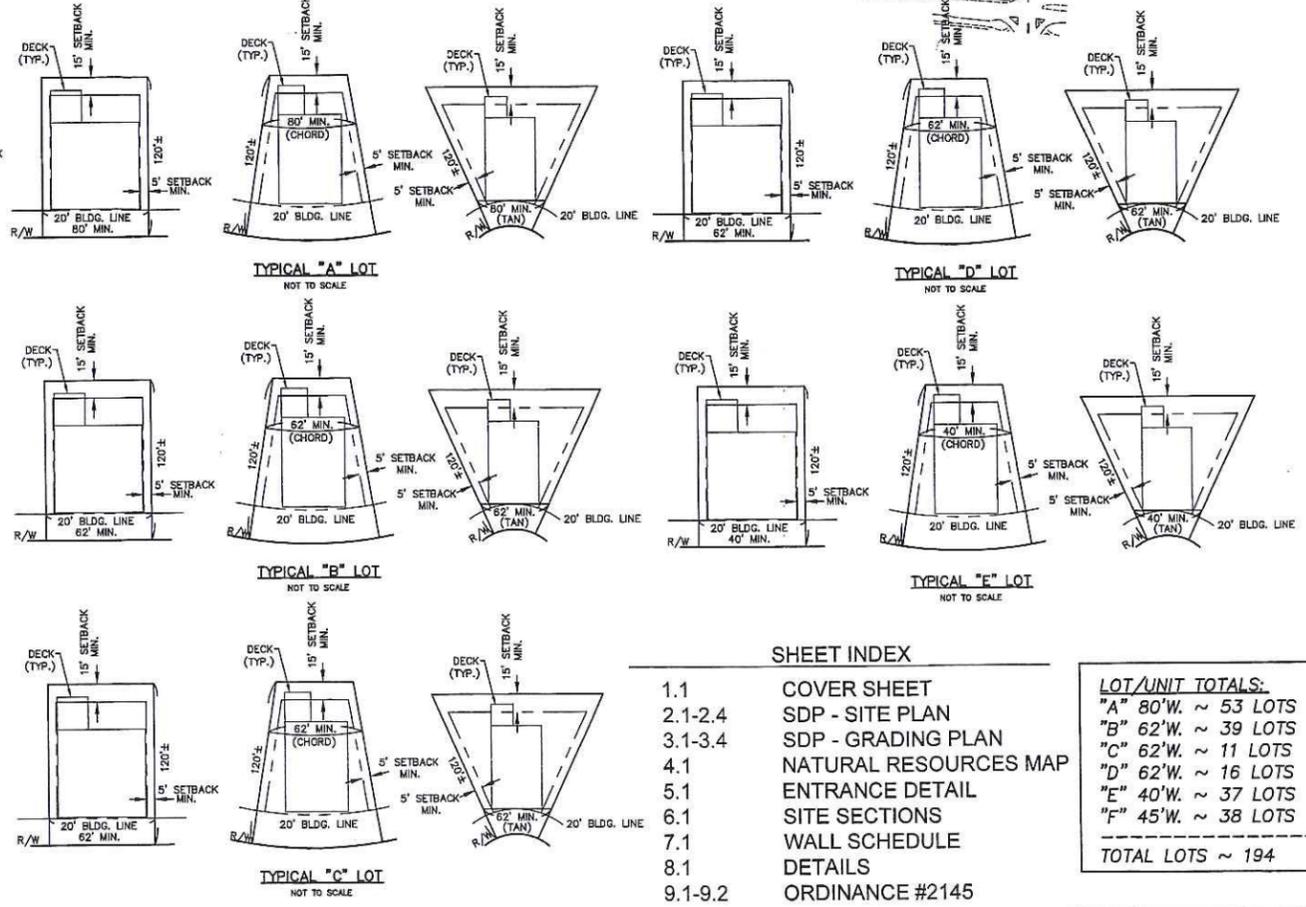
FLOOD NOTE:
ACCORDING TO THE FLOOD INSURANCE RATE MAP OF SAINT LOUIS COUNTY, MISSOURI, AND UNINCORPORATED AREAS (COMMUNITY PANEL NUMBER 28189C0250K DATED FEBRUARY 4, 2015), THIS PROPERTY LIES ENTIRELY OUTSIDE THE 500-YEAR FLOODPLAIN.

KEY MAP
SCALE: 1"=300'



LOCATION MAP
N.T.S.

EXISTING	LEGEND	PROPOSED
642	CONTOURS	(542)
X3.36	SPOT ELEVATIONS	538.0
—	CENTER LINE	—
—	BUILDINGS, ETC.	—
—	TREE LINE	—
—	FENCE	—
—	STORM SEWERS	—
—	SANITARY SEWERS	—
—	CATCH BASIN	—
—	AREA INLET	—
—	GRATED INLET	—
—	STORM MANHOLE	—
—	SANITARY MANHOLE	—
—	FLARED END SECTION	—
—	CLEANOUT	—
—	LATERAL CONNECTION	—
—	UTILITY OR POWER POLE	—
—	FIRE HYDRANT	—
—	TEST HOLE	—
—	PAVEMENT	—
2"0	GAS MAIN & SIZE	(2"0)
6"6	WATER MAIN & SIZE	(6"6)
—	TELEPHONE	(T)
E	ELECTRIC (U) UNDERGROUND	(E)
OWW	ELECTRIC (O) OVERHEAD	(OWH)
—	FLOW LINE	—
—	TO BE REMOVED	TBR
TC	TOP OF CURB	(TC)
—	SWALE	—
—	LIGHT STANDARD	—
—	STREET SIGN	—
—	PARKING STALLS	—
—	YARD LIGHT	—



SHEET INDEX

1.1	COVER SHEET
2.1-2.4	SDP - SITE PLAN
3.1-3.4	SDP - GRADING PLAN
4.1	NATURAL RESOURCES MAP
5.1	ENTRANCE DETAIL
6.1	SITE SECTIONS
7.1	WALL SCHEDULE
8.1	DETAILS
9.1-9.2	ORDINANCE #2145

LOT/UNIT TOTALS:

"A"	80'W. ~ 53 LOTS
"B"	62'W. ~ 39 LOTS
"C"	62'W. ~ 11 LOTS
"D"	62'W. ~ 16 LOTS
"E"	40'W. ~ 37 LOTS
"F"	45'W. ~ 38 LOTS
TOTAL LOTS ~ 194	

GEOTECHNICAL ENGINEER'S STATEMENT:

THESE PLANS HAVE BEEN REVIEWED BY JACOBI GEOTECHNICAL ENGINEERING, INC. FOR THEIR COMPLIANCE REGARDING GEOTECHNICAL RECOMMENDATIONS RELATIVE TO SITE DEVELOPMENT. BASED ON THIS REVIEW AND AVAILABLE SUBSURFACE INFORMATION, IT IS OUR OPINION THAT THE SITE MAY BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS, GOOD CONSTRUCTION PRACTICES, AND THE RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT PREPARED BY JACOBI GEOTECHNICAL ENGINEERING, INC.

WE HAVE NOT PREPARED ANY PART OF THESE PLANS AND MY SEAL ON THESE PLANS IS INTENDED ONLY TO CONFIRM MY PERSONAL REVIEW AND APPROVAL TO THE SITE GRADING PLAN AS IT RELATES TO THE STABILITY OF EARTH SLOPES.

JACOBI GEOTECHNICAL ENGINEERING, INC. MUST BE INVOLVED DURING THE CONSTRUCTION PHASE OF THIS PROJECT IN ORDER TO DETERMINE IF SUBSURFACE CONDITIONS ARE AS ANTICIPATED FROM THE FIELD EXPLORATION DATA, THAT OUR RECOMMENDATIONS RELATIVE TO SITE GRADING ARE IMPLEMENTED, AND THAT OTHER GEOTECHNICAL ASPECTS OF SITE DEVELOPMENT ARE PERFORMED IN ACCORDANCE WITH THESE PLANS.

JACOBI GEOTECHNICAL ENGINEERING, INC.
JUN 06 2016
CITY OF WILDWOOD
DEPT. OF PLANNING & PERMITS

SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF MARCH, 2016, AT THE REQUEST OF FISCHER & FRICHEL CUSTOM HOMES, LLC AND CONSORT HOMES, LLC, PREPARED A SITE DEVELOPMENT PLAN OF "THE VILLAGES AT BRIGHTLEAF", A TRACT OF LAND LOCATED IN SECTIONS 1 & 2, TOWNSHIP 44 NORTH, RANGE 3 EAST, CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI. THIS PLAN IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" IN EFFECT AT THE DATE OF THIS PLAN.

THE STERLING COMPANY
DATE: 06-06-2016
MICHAEL G. BOERDING
License No. E-28643
Civil Engineer
Job Number: 14-04-138
Date: June 6, 2016
Designed: MF
Drawn: SL
Checked: SL
Sheet: 1.1
SDP



MSD Base Map 23-V
MSD P #
Highway & Traffic #

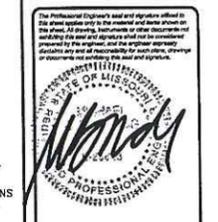
ISSUE REMARKS/DATE

1	3-22-2016	INITIAL SUBMITTAL
2	6-6-2016	REVISED PER CITY COMMENTS

Fischer & FricHEL Custom Homes, LLC
and Consort Homes, LLC
16640 CHESTERFIELD GROVE ROAD, SUITE 130
CHESTERFIELD, MISSOURI 63005
Ph. 636-770-7300

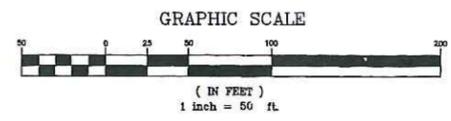
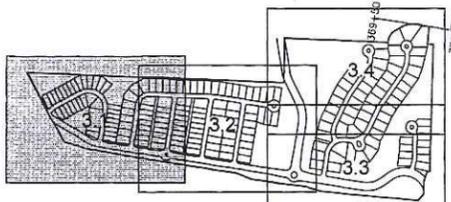
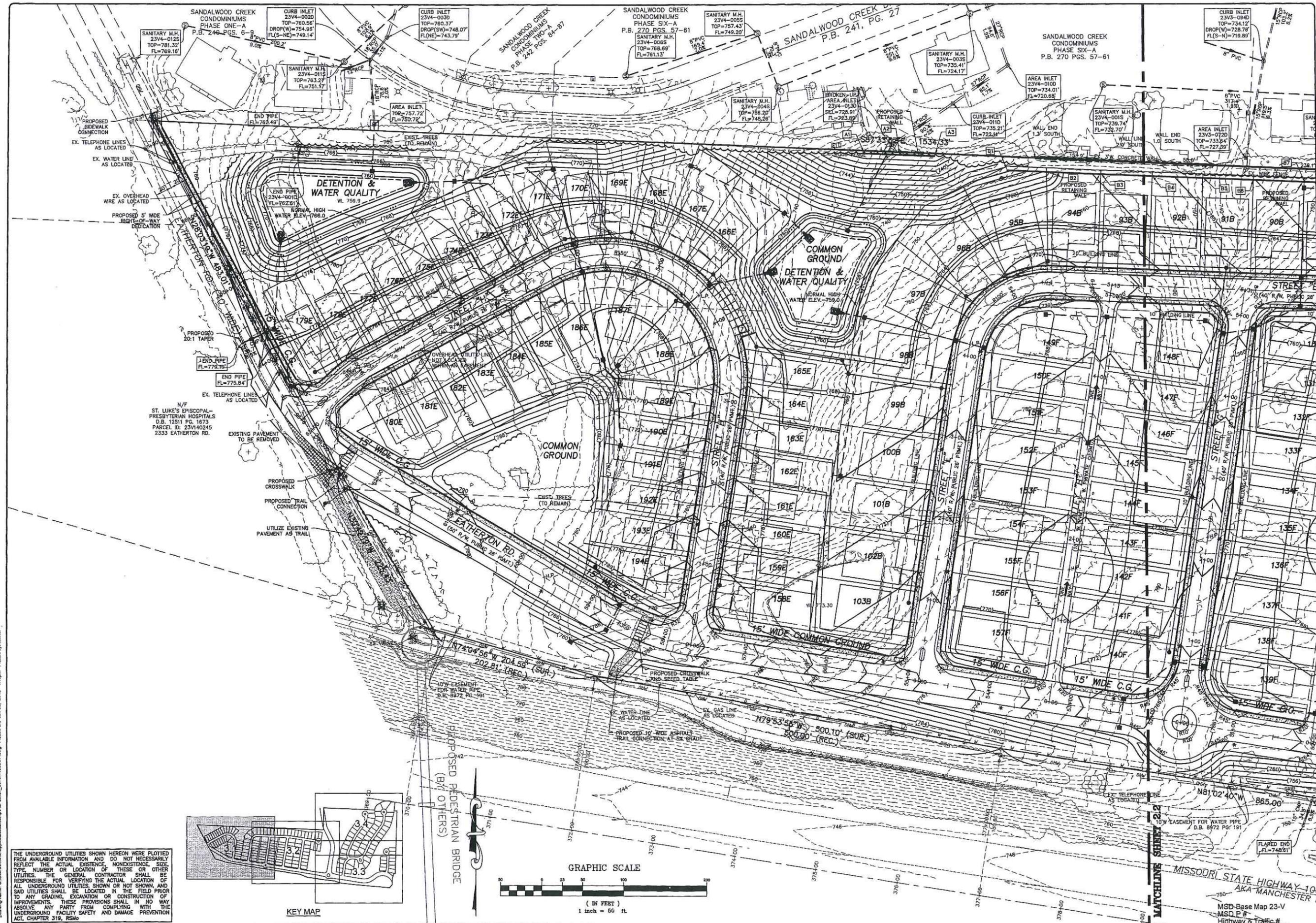
THE STERLING CO.
ENGINEERS & SURVEYORS
6055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-487-0440 Fax 314-487-9944
www.sterling-eng-survey.com
Corporate Certificate of Authority #001348

The Villages at Brightleaf
Wildwood, Missouri
SITE DEVELOPMENT PLAN



Date: 06-06-2016
MICHAEL G. BOERDING
License No. E-28643
Civil Engineer
Job Number: 14-04-138
Date: June 6, 2016
Designed: MF
Drawn: SL
Checked: SL
Sheet: 1.1
SDP

Drawing name: C:\Users\michaelgboerding\Documents\2016\2016-11-16pm Plotted by: mboerding



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.

ISSUE	REMARKS/DATE
1	3-22-2016, INITIAL SUBMITTAL
4	6-4-2016 REVISED PER CITY COMMENTS

Fischer & Frichel Custom Homes, LLC
 and **Consort Homes, LLC**
 16640 CHESTERFIELD GROVE ROAD, SUITE 130
 CHESTERFIELD, MISSOURI 63005
 Ph. 636-770-7300

THE STERLING CO.
ENGINEERS & SURVEYORS
 5005 New Baumgartner Road
 St. Louis, Missouri 63122-8844
 Ph. 314-487-4400 Fax 314-487-4400
 Corporate Certificate of Authority #001248

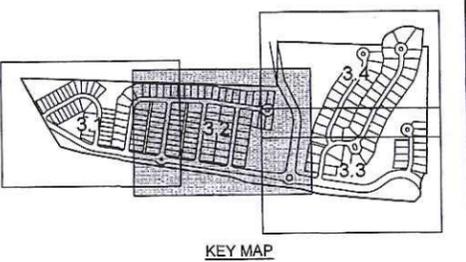
The Villages at Brightleaf
 Wildwood, Missouri
 SITE DEVELOPMENT PLAN
 GRADING PLAN

Date: 06-06-2016
 MICHAEL G. BOERDING
 License No. E-28843
 Civil Engineer

Job Number
14-04-138
 Date
June 6, 2016
 Designed: MF Sheet
 Drawn: SL
 Checked: SL
 Scale
2.1
 SDP



MISSOURI STATE HIGHWAY 100
 AKA MANCHESTER R
 MSD-Base Map 23-V
 MSD.P.#
 Highway & Traffic #



ISSUE	REMARKS/DATE
1	3-22-2016 INITIAL SUBMITTAL
4	6-6-2016 REVISED PER CITY COMMENTS

Fischer & Frichtel Custom Homes, LLC
 and Consort Homes, LLC
 16640 CHESTERFIELD GROVE ROAD, SUITE 130
 CHESTERFIELD, MISSOURI 63005
 Ph: 636-770-7300

THE **STERLING** CO.
 ENGINEERS & SURVEYORS,
 6055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph 314-487-0440 Fax 314-487-8944
 www.sterling-eng-sur.com
 Corporate Certificate of Authority #001546

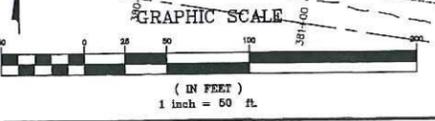
The Villages at Brightleaf
 Wixom, Missouri
 SITE DEVELOPMENT PLAN
 GRADING PLAN



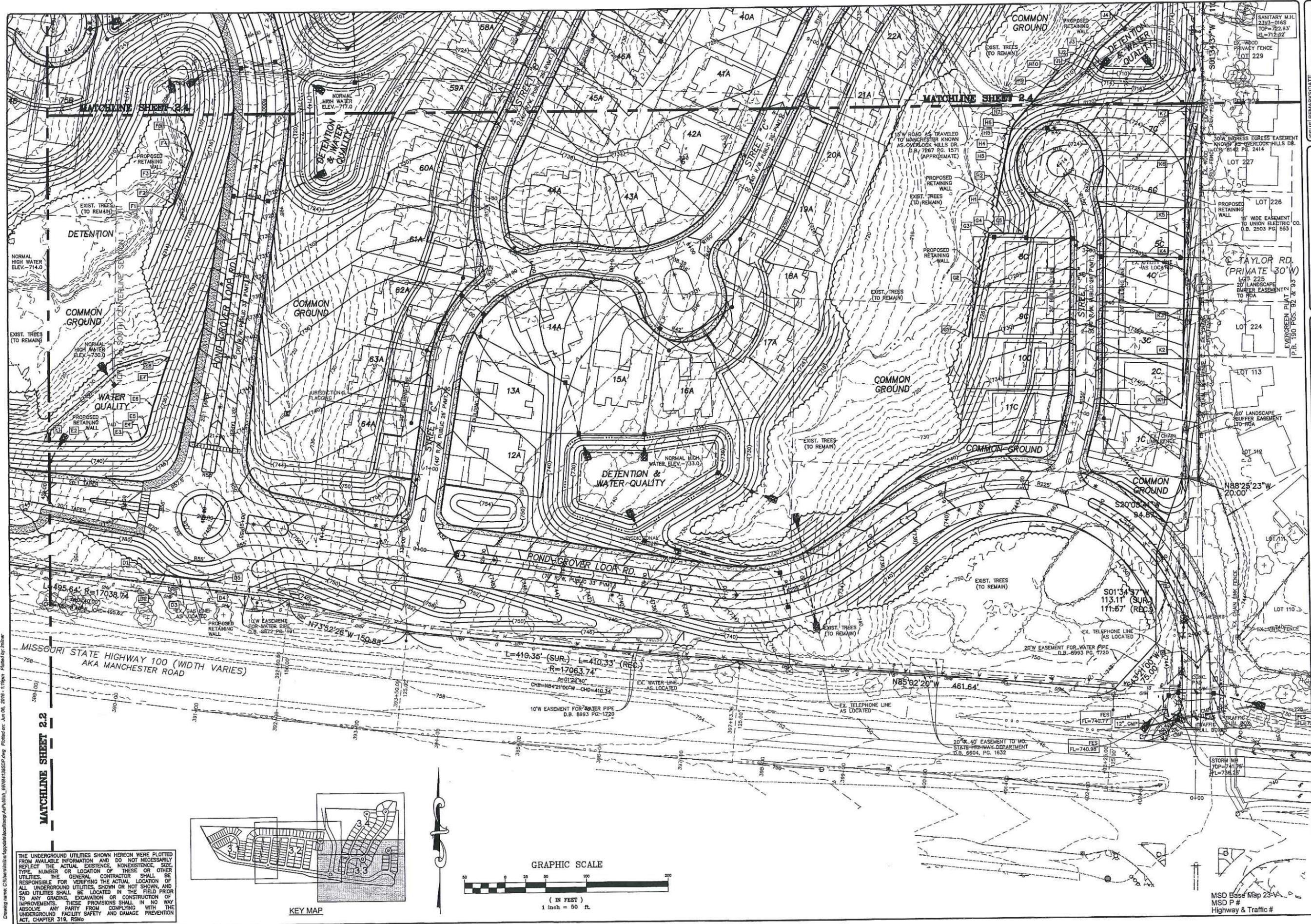
Date: 06-06-2016
 MICHAEL G. BOERDING
 License No. E-28843
 Civil Engineer

Job Number
14-04-138
 Date
June 6, 2016
 Designed: MF
 Drawn: SL
 Checked: SL
 Sheet
2.2
 SDP

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo



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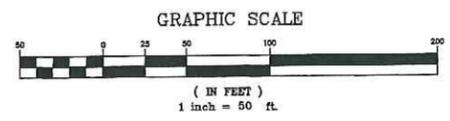
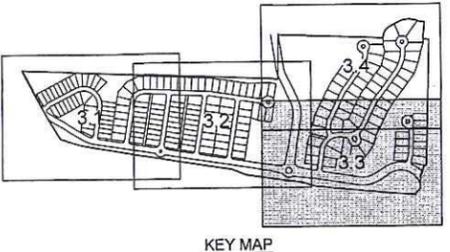


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MATCHLINE SHEET 2.2

MATCHLINE SHEET 2.4

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.



ISSUE	REMARKS/DATE
1	3-22-2016; INITIAL SUBMITTAL
4	6-6-2016 REVISED PER CITY COMMENTS

Fischer & Fritchell Custom Homes, LLC
and Consort Homes, LLC
 16840 CHESTERFIELD GROVE ROAD, SUITE 130
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 5055 New Baumgartner Road
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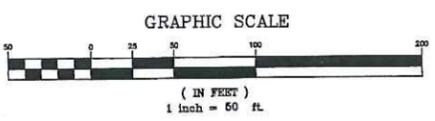
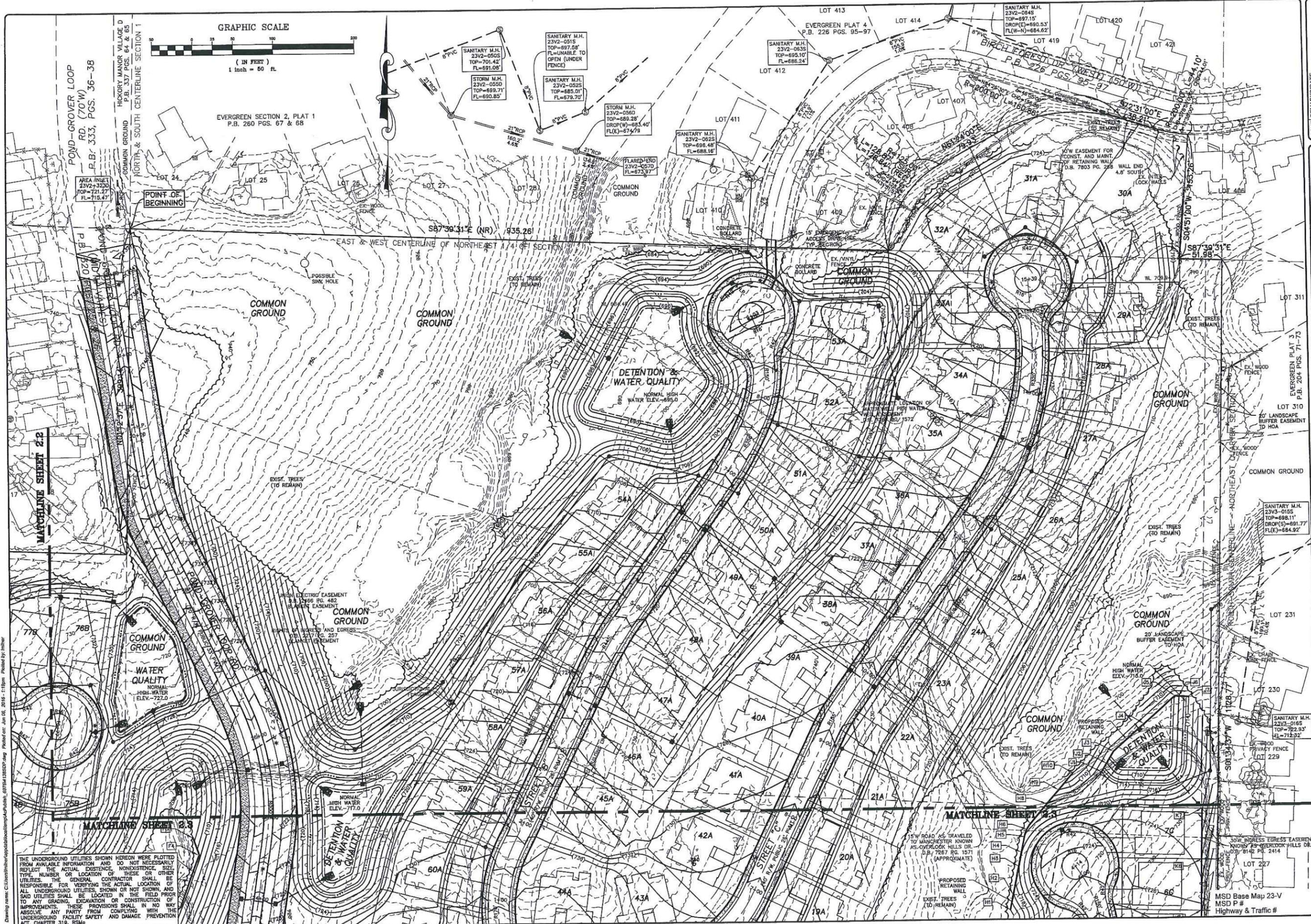
The Villages at Brightleaf
 Wildwood, Missouri
 SITE DEVELOPMENT PLAN
 GRADING PLAN



Date: 06-06-2016
 MICHAEL G. BOERDING
 License No. E-28643
 Civil Engineer

Job Number: 14-04-138
 Date: June 6, 2016
 Designed: MF
 Drawn: SL
 Checked: SL
 Sheet: 2.3
 SDP

MSD Base Map 23-A
 MSD P #
 Highway & Traffic #



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ISSUE	REMARKS/DATE
1	3-22-2016 INITIAL SUBMITTAL
4	6-6-2016 REVISED PER CITY COMMENTS

Fischer & Frichtel Custom Homes, LLC
and Consort Homes, LLC
 16640 CHESTERFIELD GROVE ROAD, SUITE 130
 CHESTERFIELD, MISSOURI 63005
 Ph. 636-770-7300

THE STERLING CO.
ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph 314-487-0440 Fax 314-487-9944
 www.sterling-eng-ar.com
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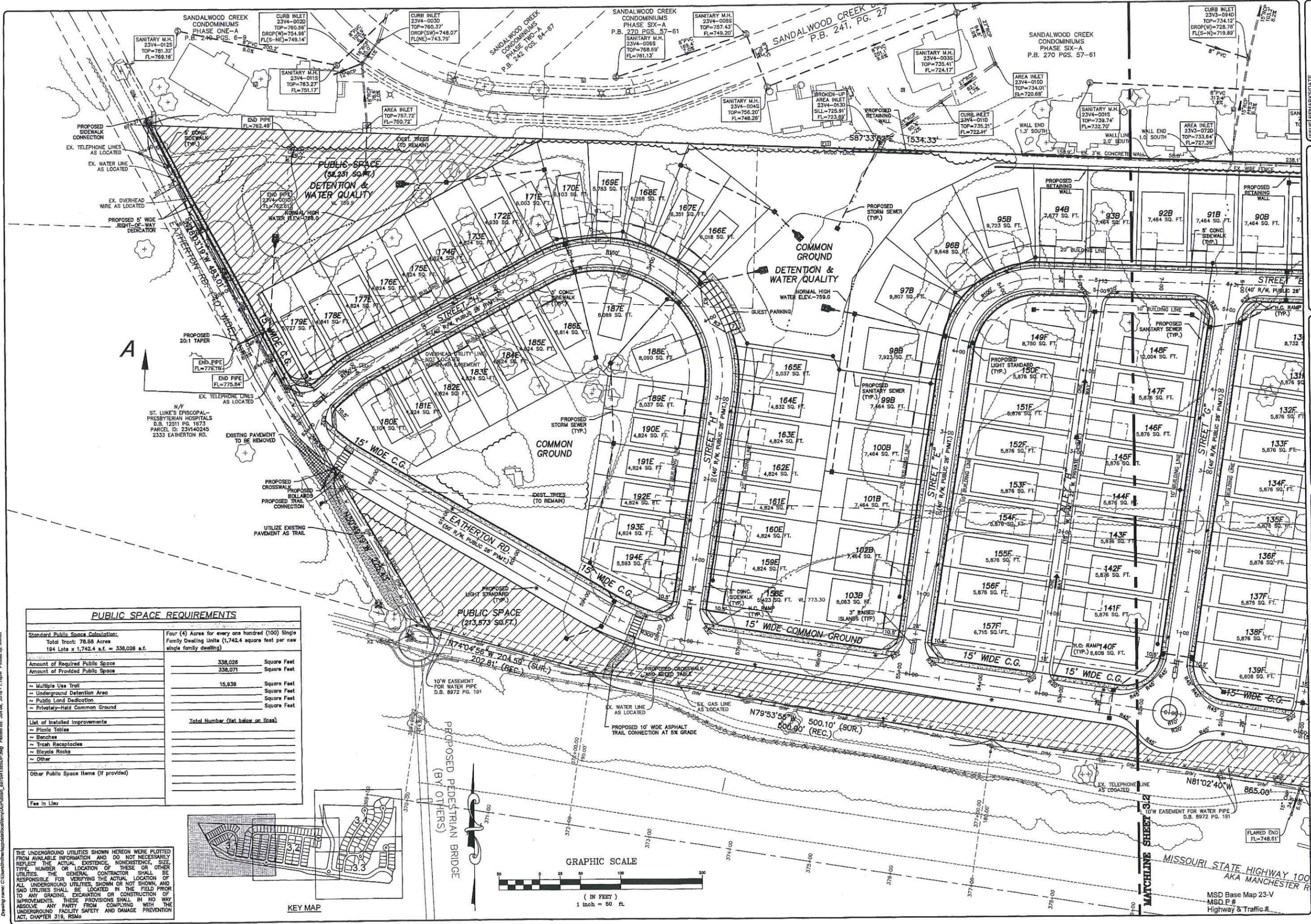
The Villages at Brightleaf
 Winnetka, Missouri
 SITE DEVELOPMENT PLAN
 GRADING PLAN

Date: 06-06-2016
 MICHAEL G. ROERING
 License No. E-28643
 Civil Engineer

Job Number
14-04-138
 Date
June 6, 2016
 Designed: MF Sheet
 Drawn: SL **2.4**
 Checked: SL SDP



MSD Base Map 23-V
 MSD P #
 Highway & Traffic #



ISSUE	REMARKS/DATE
1	3-22-2016: INITIAL SUBMITTAL
2	6-6-2016: REVISED PER CITY COMMENTS

Fischer & Fritchel Custom Homes, LLC
 and Consort Homes, LLC
 16640 CHESTERFIELD GROVE ROAD, SUITE 130
 CHESTERFIELD, MISSOURI 63005
 Ph. 636-770-7300

THE **STERLING** CO.
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 5055 New Baumgardner Road
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 P: 314-447-0440 F: 314-447-8944
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The Villages at Brightleaf
 Wildwood, Missouri
 SITE DEVELOPMENT PLAN
 SITE PLAN

Professional Engineer's seal and signature is affixed to this plan. All drawings, specifications and other documents of this project are the property of the engineer and shall remain his property. No part of this plan, or any part thereof, shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the engineer.

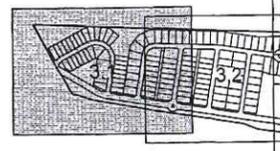
Date: 06-06-2016
 MICHAEL G. BOERDING
 License No. E-28643
 Civil Engineer

Job Number
14-04-138

Date
June 6, 2016

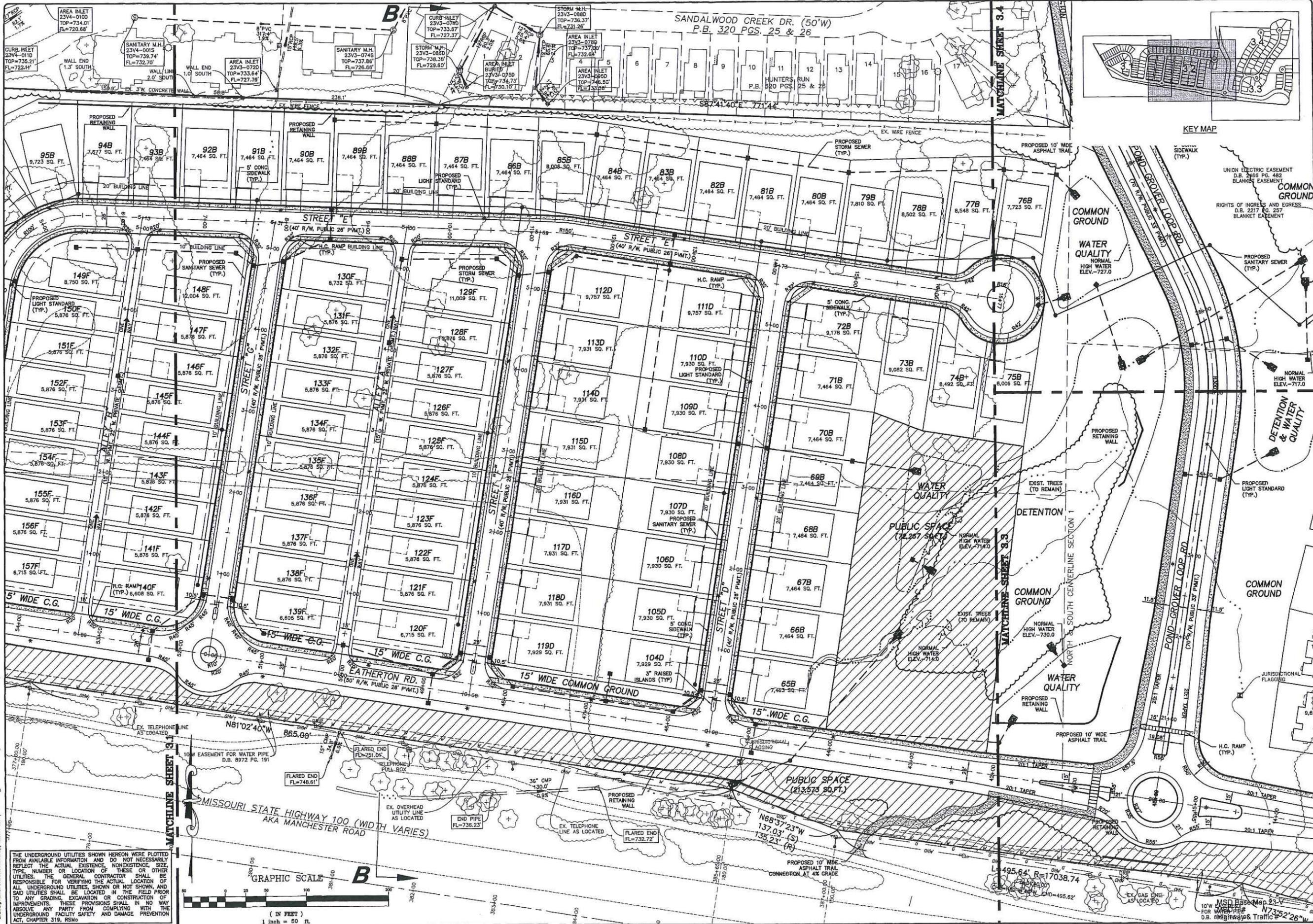
Designed: MF Sheet
 Drawn: SL
 Checked: SL SDP

PUBLIC SPACE REQUIREMENTS	
Standard Public Space Calculation: Total Tract: 78.88 Acres 194 Lots x 1,742.4 sq. ft. = 338,028 sq. ft.	Four (4) Acres for every one hundred (100) Single Family Dwelling Units (1,742.4 square feet per new single family dwelling)
Amount of Required Public Space	338,028 Square Feet
Amount of Provided Public Space	338,071 Square Feet
~ Multiple Use Trail	15,938 Square Feet
~ Underground Detention Area	Square Feet
~ Public Land Dedication	Square Feet
~ Privately-Held Common Ground	Square Feet
List of Installed Improvements	Total Number (list below on lines)
~ Picnic Tables	
~ Benches	
~ Trash Receptacles	
~ Bicycle Racks	
~ Other	
Other Public Space Items (if provided)	
Fee In Lieu	



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 219, RSMo.

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ISSUE	REMARKS/DATE
1	3-22-2016 INITIAL SUBMITTAL
2	6-2-2016 REVISED PER CITY COMMENTS

Fischer & Frichtel Custom Homes, LLC
 and Consort Homes, LLC
 16640 CHESTERFIELD GROVE ROAD, SUITE 130
 CHESTERFIELD, MISSOURI 63005
 Ph. 636-770-7300

THE **STERLING** CO.
 ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
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 Ph. 314-487-0440 Fax 314-487-6944
 www.sterling-eng.com
 Corporate Certificate of Authority #001948

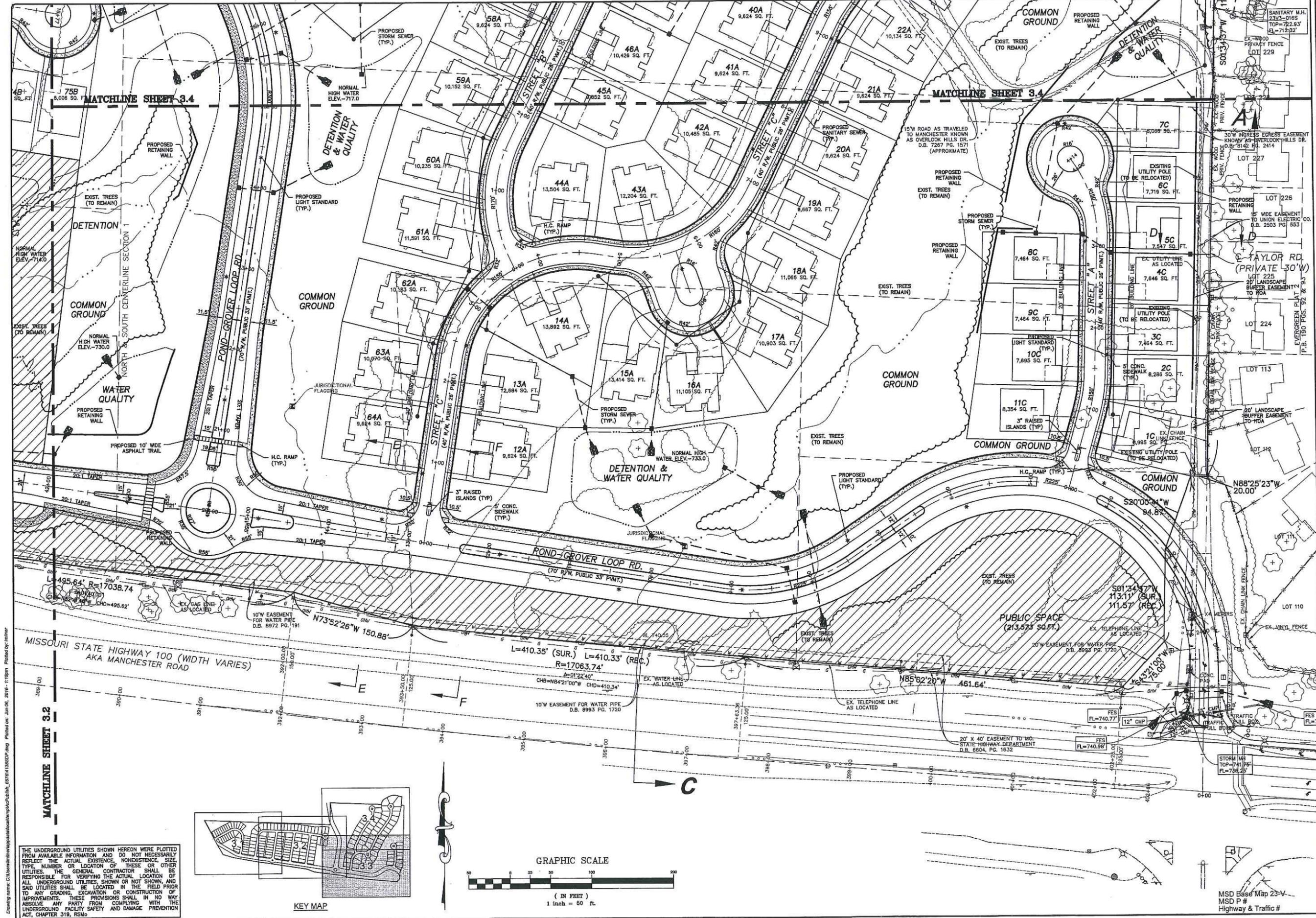
The Villages at Brightleaf
 Wildwood, Missouri
 SITE DEVELOPMENT PLAN
 SITE PLAN

Date: 06-08-2016
 MICHAEL G. BOERDING
 License No. E-28643
 Civil Engineer

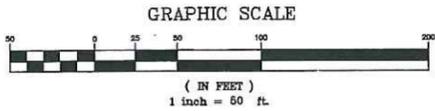
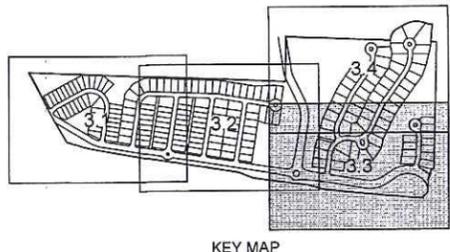
Job Number
14-04-138
 Date
June 6, 2016
 Designed: MF
 Drawn: SL
 Checked: SL
 Sheet
3.2
 SDP

Drawing name: C:\Users\mms\AppData\Local\Temp\1404138.dwg Plotter: Jun 06, 2016 - 11:59am Plotted by: jhls

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OR IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.



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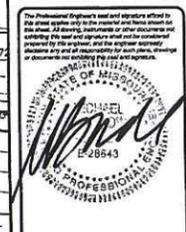


ISSUE	REMARKS/DATE
1	3-22-2016, INITIAL SUBMITTAL
2	6-6-2016, REVISED PER CITY COMMENTS
3	
4	

Fischer & Frichel Custom Homes, LLC
and Consort Homes, LLC
 16640 CHESTERFIELD GROVE ROAD, SUITE 130
 CHESTERFIELD, MISSOURI 63005
 Ph. 636-770-7300

THE STERLING CO.
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 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph. 314-487-0440 Fax 314-487-8944
 www.sterling-eng-survey.com
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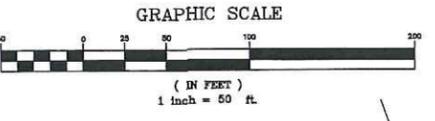
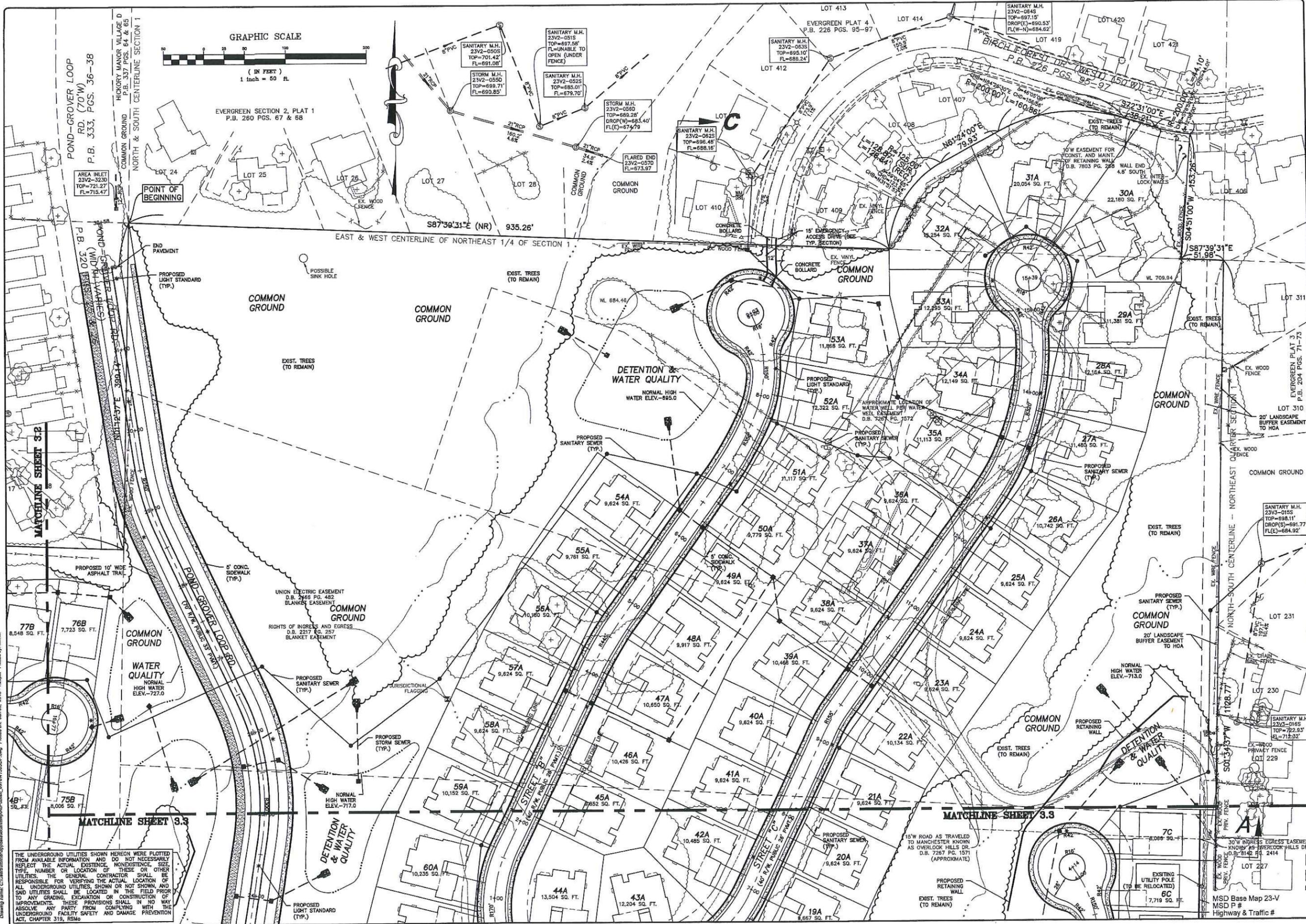
The Villages at Brightleaf
 Winwood, Missouri
 SITE DEVELOPMENT PLAN
 DEVELOPMENT PLAN



Date: 06-06-2016
 MICHAEL G. BOERDING
 License No. E-28643
 Civil Engineer

Job Number
14-04-138
 Date
June 6, 2016
 Designed: MF Sheet
 Drawn: SL **3.3**
 Checked: SL **SDP**

MSD Base Map 23-V
 Highway & Traffic #



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 315, RSMo.

ISSUE	REMARKS/DATE
1	3-22-2016, INITIAL SUBMITTAL
2	6-6-2016 REVISED PER CITY COMMENTS
3	
4	

Fischer & Fritchel Custom Homes, LLC
and Consort Homes, LLC
16640 CHESTERFIELD GROVE ROAD, SUITE 130
CHESTERFIELD, MISSOURI 63005
Ph. 636-770-7300

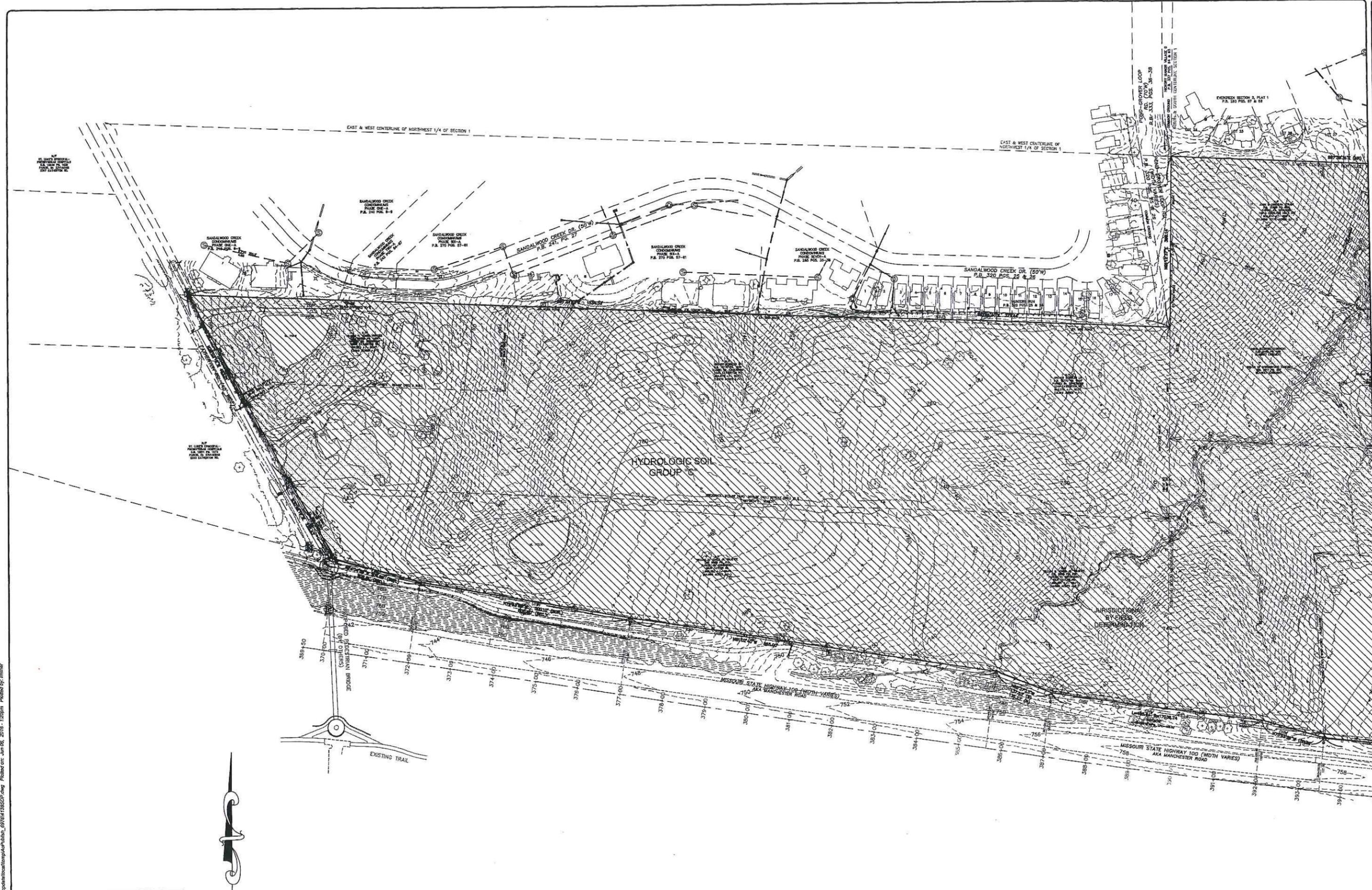
THE **STERLING** CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph. 314-487-0440 Fax 314-487-8844
www.sterling-eng-survey.com
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The Villages at Brightleaf
Wilderwood, Missouri
SITE DEVELOPMENT PLAN
SITE PLAN

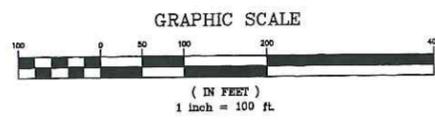
Professional Engineer's Seal and Signature of Michael G. Boerding, License No. E-28543, Civil Engineer.

Date: 06-06-2016
MICHAEL G. BOERDING
License No. E-28543
Civil Engineer
Job Number: 14-04-138
Date: June 6, 2016
Designed: MF Sheet
Drawn: SL 3.4
Checked: SL SDP

Drawing name: C:\Users\mshim\Documents\Projects\2016\14-04\14-04-SDP.dwg Plotted on: Jun 06, 2016 - 1:20pm Plotted by: jmlmhr



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and Consort Homes, LLC
 16640 CHESTERFIELD GROVE ROAD, SUITE 130
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 www.sterling-eng-srv.com
 Corporate Certificate of Authority #001348

The Villages at Brightleaf
 Wildwood, Missouri
 SITE DEVELOPMENT PLAN
 NATURAL RESOURCES MAP



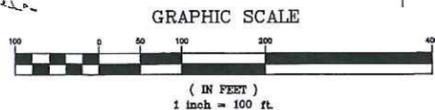
Date: 06-06-2016
 MICHAEL G. BOERDING
 License No. E-28643
 Civil Engineer

Job Number	14-04-138
Date	June 6, 2016
Designed: MF	Sheet
Drawn: SL	4.1
Checked: SL	SDP

MSD Base Map 23-V
 MSD P #
 Highway & Traffic #



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MSD Base Map 23-V
MSD P #
Highway & Traffic #

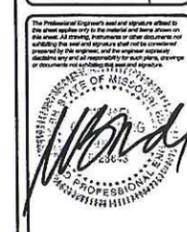
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ISSUE	REMARKS/DATE
1	3-22-2015, INITIAL SUBMITTAL
4	6-6-2016 REVISED PER CITY COMMENTS

Fischer & Frichtel Custom Homes, LLC
and **Consort Homes, LLC**
16640 CHESTERFIELD GROVE ROAD, SUITE 136
CHESTERFIELD, MISSOURI 63005
Ph. 636-770-7300

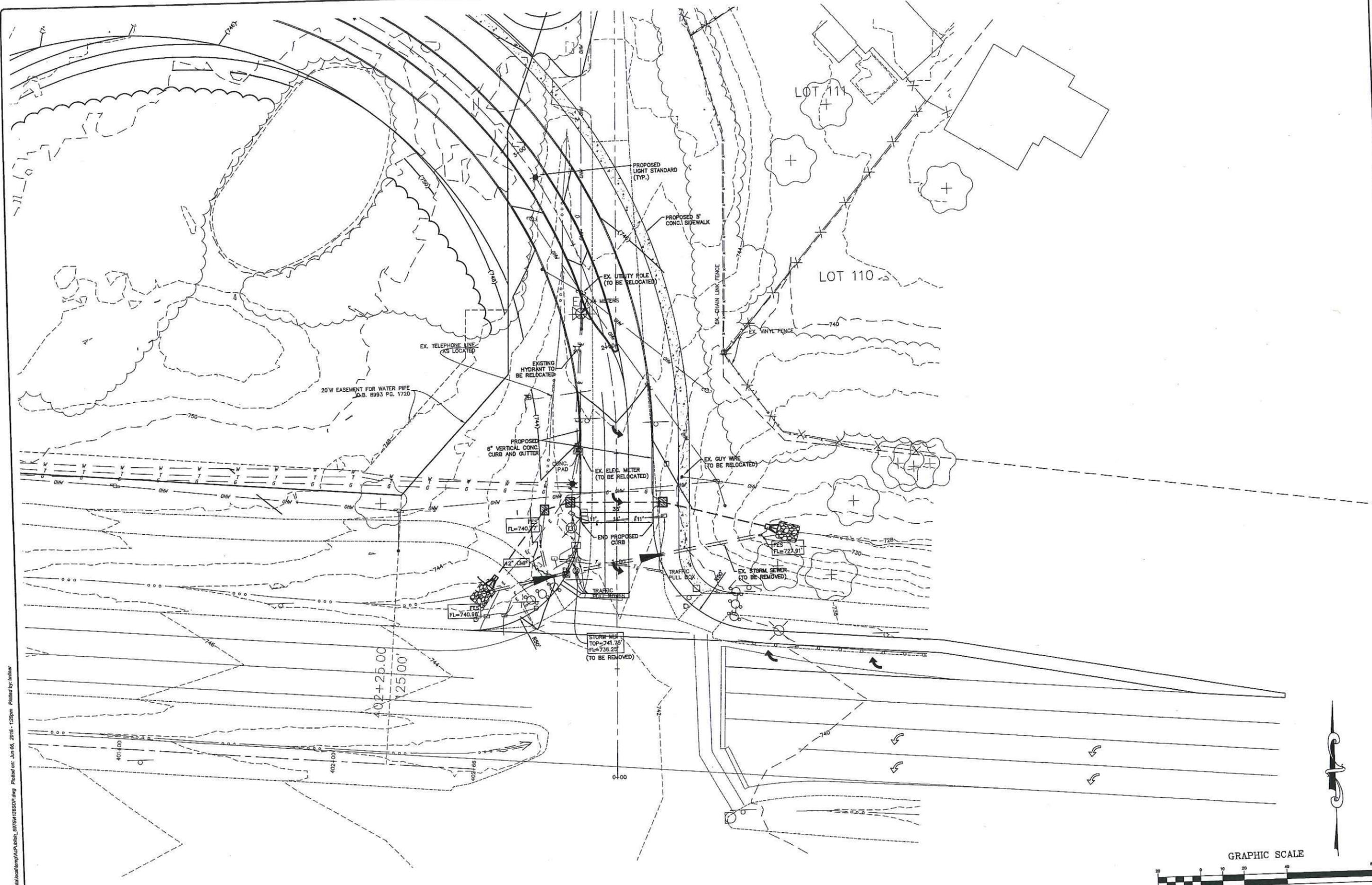
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5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-487-0440 Fax 314-487-8944
www.sterling-eng-sur.com
Corporate Certificate of Authority #001348

The Villages at Brightleaf
Wildwood, Missouri
SITE DEVELOPMENT PLAN
NATURAL RESOURCES MAP



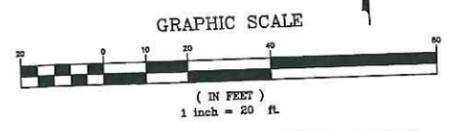
Date: 06-06-2016
MICHAEL G. BOERDING
License No. E-28643
Civil Engineer

Job Number	14-04-138
Date	June 6, 2016
Designed: MF	Sheet
Drawn: SL	4.2
Checked: SL	SDP



Drawing name: C:\Users\m\OneDrive\Documents\Projects\14-04-138\14-04-138SDP.dwg Plotted on: Jun 06, 2016 - 1:28pm Plotted by: mboerding

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF SAID UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo



MSD Base Map 23-V
 MSD P #
 Highway & Traffic #

ISSUE	REMARKS/DATE
1	3-22-2016, INITIAL SUBMITTAL
4	6-4-2016 REVISED PER CITY COMMENTS

Fischer & Frichtel Custom Homes, LLC
and Consort Homes, LLC
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 St. Louis, Missouri 63129-8844
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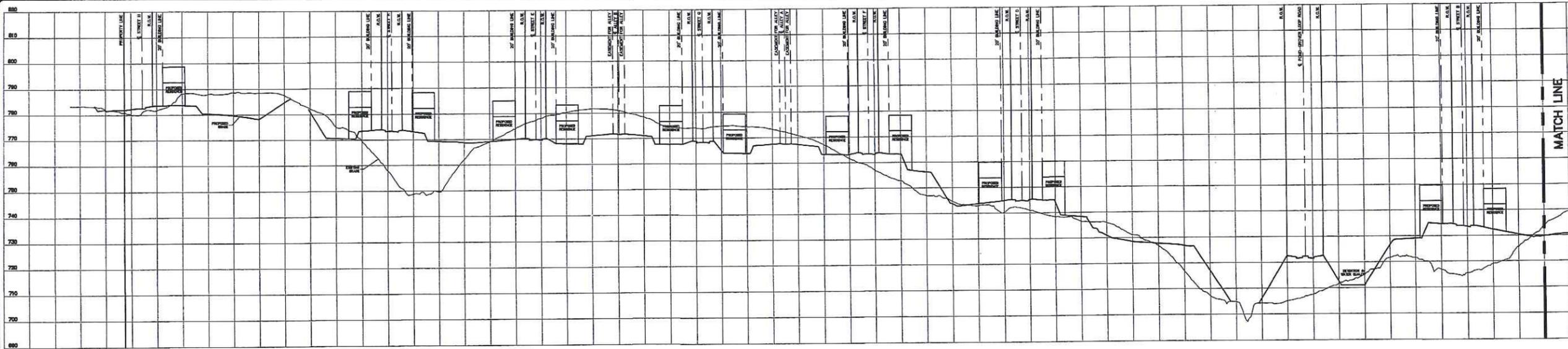
The Villages at Brightleaf
 Willowwood, Missouri
SITE DEVELOPMENT PLAN
ENTRANCE DETAIL



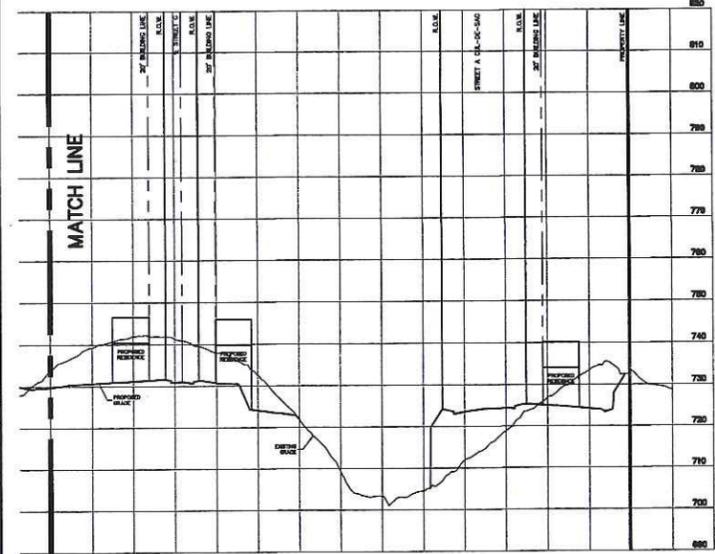
Date: 05-06-2016
 MICHAEL G. BOERDING
 License No. E-28843
 Civil Engineer

Job Number	14-04-138
Date	June 6, 2016
Designed: MF	Sheet
Drawn: SL	5.1
Checked: SL	SDP

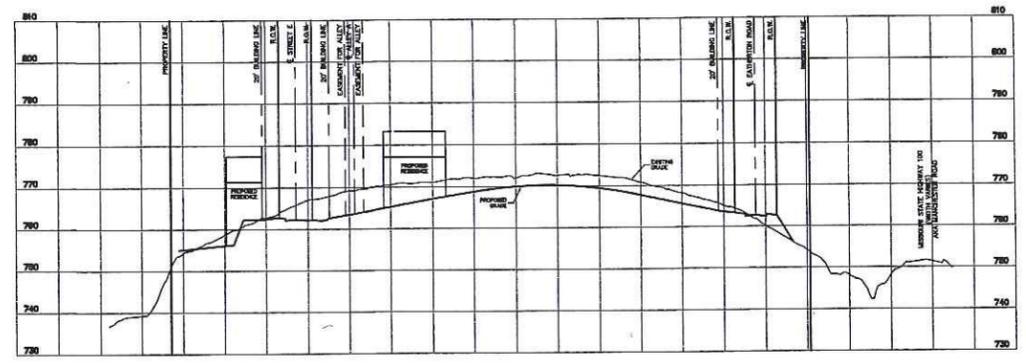
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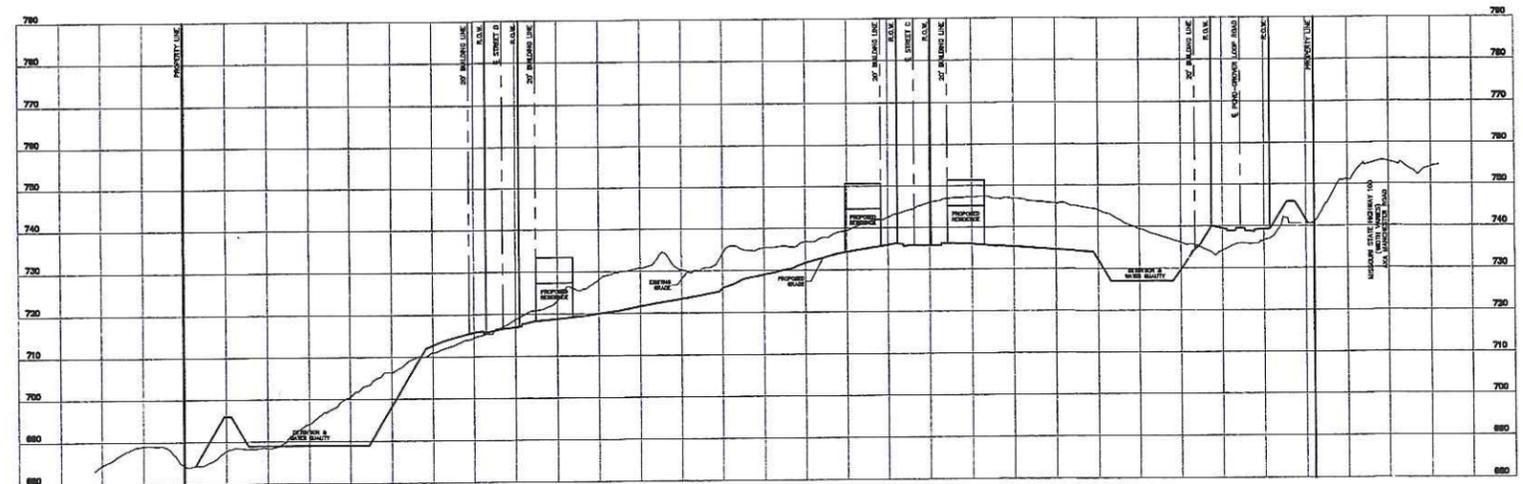
SECTION A-A



SECTION A-A



SECTION B-B



ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
A1	734.0	734.0	0.0			
				2.0	43.6	87
A2	734.0	730.0	4.0			
				2.0	42.6	85
A3	734.0	734.0	0.0			
TOTALS						86 172

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
B1	749.6	749.0	0.6			
				1.1	48	53
B2	755.1	753.5	1.6			
				4.2	66.7	280
B3	761.8	755.0	6.8			
				6.6	62.2	414
B4	760.6	754.1	6.5			
				9.6	62.2	597
B5	759.3	746.6	12.7			
				17.9	62.2	1110
B6	758.1	735.1	23.0			
				17.9	62.2	1110
B7	756.8	744.1	12.7			
				8.1	62.2	507
B8	755.6	752.0	3.6			
				2.4	20.7	50
B9	755.2	754.0	1.2			
TOTALS						446 4121

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
C1	736.1	736.0	0.1			
				0.5	30.5	15
C2	734.0	733.1	0.9			
				3.1	90.3	284
C3	730.0	724.6	5.4			
				6.7	50.8	340
C4	729.2	721.2	8.0			
				7.2	15.4	111
C5	728.0	721.6	6.4			
				4.6	31	144
C6	726.0	723.1	2.9			
				1.4	18.8	27
C7	725.0	725.0	0.0			
TOTALS						237 922

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
D1	756.7	756.7	0.0			
				1.2	16.6	20
D2	756.4	754.0	2.4			
				3.0	18.3	55
D3	755.6	752.0	3.6			
				2.8	33.6	94
D4	754.0	752.0	2.0			
				1.1	12	13
D5	753.1	753.0	0.1			
TOTALS						81 182

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
E1	732.0	732.0	0.0			
				1.8	55	96
E2	732.0	728.5	3.5			
				3.5	54.9	192
E3	732.0	728.5	3.5			
				3.5	11.5	40
E4	732.0	728.5	3.5			
				3.5	11.2	39
E5	732.0	728.5	3.5			
				3.5	31.3	110
E6	732.0	728.5	3.5			
				3.5	41	144
E7	732.0	728.5	3.5			
				1.8	23.7	41
E8	732.0	732.0	0.0			
TOTALS						229 662

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
F1	708.3	707.4	0.9			
				1.6	7.9	13
F2	709.7	707.4	2.3			
				3.7	33.2	121
F3	709.7	704.7	5.0			
				4.8	33.6	160
F4	709.7	705.2	4.5			
				2.3	22.7	51
F5	704.8	704.8	0.0			
TOTALS						97 344

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
G1	722.3	722.0	0.3			
				2.8	7.9	22
G2	722.3	717.0	5.3			
				8.6	33.2	286
G3	723.0	711.1	11.9			
				10.4	33.6	348
G4	722.8	714.0	8.8			
				4.9	22.7	111
G5	723.0	722.0	1.0			
TOTALS						97 767

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
H1	712.0	711.3	0.7			
				3.5	19.3	68
H2	716.0	709.7	6.3			
				9.8	34.9	342
H3	720.0	706.7	13.3			
				13.9	17.1	238
H4	720.0	705.5	14.5			
				14.3	10.1	144
H5	718.7	704.6	14.1			
				14.0	9.7	136
H6	717.6	703.7	13.9			
				13.8	9	124
H7	717.0	703.3	13.7			
				12.5	30.8	383
H8	714.0	702.8	11.2			
				9.0	22.9	205
H9	710.0	703.3	6.7			
				4.0	27.3	108
H10	706.0	704.8	1.2			
TOTALS						181 1748

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
J1	714.0	713.9	0.1			
				2.1	12.2	25
J2	714.0	710.0	4.0			
				5.5	17.4	96
J3	714.0	707.0	7.0			
				7.0	50.5	354
J4	714.0	707.0	7.0			
				6.3	51	319
J5	714.0	708.5	5.5			
				4.8	5.6	27
J6	714.0	710.0	4.0			
				2.0	11.9	24
J7	714.0	714.0	0.0			
TOTALS						149 843

ID Point	Top Wall Elevation	Bottom Wall Elevation	Wall Height (ft)	Average Wall Height (ft)	Length (ft)	Area (sff)
K1	740.0	739.5	0.5			
				1.1	41.7	46
K2	738.8	737.1	1.7			
				2.7	62.2	171
K3	736.8	733.0	3.8			
				4.5	62.2	283
K4	734.5	729.2	5.3			
				5.3	62.2	333
K5	731.8	726.4	5.4			
				4.8	62.2	302
K6	728.3	724.0	4.3			
				2.2	62.2	137
K7	724.0	723.9	0.1			
TOTALS						353 1271

ISSUE	REMARKS/DATE
1	3-22-2016 INITIAL SUBMITTAL
2	6-6-2016 REVISED PER CITY COMMENTS
4	

Fischer & Frichtel Custom Homes, LLC
and Consort Homes, LLC
 16640 CHESTERFIELD GROVE ROAD, SUITE 130
 CHESTERFIELD, MISSOURI 63005
 Ph. 636-770-7300

THE STERLING CO.
ENGINEERS & SURVEYORS
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 St. Louis, Missouri 63128
 Ph. 314-487-0440 Fax 314-487-8844
 www.sterlingco.com
 Corporate Certificate of Authority #001348

The Villages at Brightleaf
 Wildwood, Missouri
SITE DEVELOPMENT PLAN
WALL SCHEDULE

The Professional Engineer's seal and signature shall be placed on this plan only to the extent and in the manner as shown on this plan. All drawings, instruments or other documents not including the seal and signature shall be considered unapproved by the engineer, and the engineer assumes no responsibility for such plans, drawings or documents prepared by any other person.


Date: 06-06-2016
 MICHAEL G. BOERDING
 License No. E-28643
 Civil Engineer

Job Number
14-04-138
 Date
June 6, 2016
 Designed: MF
 Drawn: SL
 Checked: SL
 Sheet
7.1
 SDP

MSD Base Map 23-V
 MSD P #
 Highway & Traffic #

Drawing name: C:\Users\miller\appdata\local\temp\A04\pub\07161138D7P.dwg Plotted on: Jan 05, 2016 - 1:21 pm Plotted by: mllr

5. The areas of existing vegetation within the P.R.D. Overlay District boundaries identified as to be retained shall be marked on the site prior to the commencement of any disturbance in accordance with the City of Wildwood's Ordinance 410. These areas shall be indicated on the Site Development Plan submitted to the City of Wildwood for Planning and Zoning Commission review and approval. Existing mature tree canopy shall be preserved in accordance with the requirements of City of Wildwood's Ordinance 410 Tree Preservation and Restoration Code.

6. Landscaping with the defined common ground areas shall comply with Ordinance 410 Tree Preservation and Restoration Code requirements and accompanying Tree Manual. The Planning and Zoning Commission, on the Site Development Plan, shall approve the planting pattern. Amenities, such as benches, lights, and walking paths shall be installed in the open space area of the residential development by the developer of these one hundred ninety-four (194) eighty-seven (87) dwelling units.

7. The developer shall provide a minimum twenty (20) foot wide, landscape buffer strip, within a perpetual easement dedicated to the Homeowners Association for its maintenance and care, along the entire eastern boundary of the site, where existing woodlands are not preserved, for planting, as reviewed and acted upon by the Planning and Zoning Commission.

8. A Landscape Architect shall sign and submit all plans for review and approval for this mixed-use development.

Signs - Residential

9. Signs for this P.R.D. Overlay District shall be erected in accordance with the Town Center Plan Architectural Guidelines and Section 415-410 Sign Regulations of the City of Wildwood Zoning Ordinance for the R-3 10,000 square foot Residence District.

10. The location of all signage shall be as approved on the Site Development Plan by the Planning and Zoning Commission. Signage not located on common ground must be erected within an easement.

Lighting Requirements

11. The location of all lighting standards shall be as approved on the Site Development Plan. No on-site illumination source shall exceed sixteen (16) feet in height or be so situated that light is cast directly on adjoining properties. Illumination levels for all lighting shall comply with the provisions of the City of Wildwood's Zoning Code, Section 415-450 "Outdoor Lighting Requirements." A Lighting Study shall be submitted in conjunction with the Site Development Plan indicating compliance to these requirements. The Planning and Zoning Commission shall approve the location, design, and appearance of all light standards and fixtures as part of the Site Development Plan review process.

Miscellaneous Conditions

12. The design, color, material, and location of all garden and screen walls or fences, if planned or required, shall be consistent with the requirements of the Town Center Plan's Architectural Guidelines and be shown on the Site Development Plan for review and action by the Planning and Zoning Commission and the Architectural Review Board.

(a)

The amount of this required contribution, if not submitted by January 1, 2016, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the City of Wildwood Department of Public Works.

The Planning and Zoning Commission is recommending these fees be credited to the developer for the purpose of assisting with completion of required improvements within the right-of-way of the Park-Crover Loop Road, if constructed. Additionally, credits may also be considered toward the construction of the Easterton Road extension through the subject site, but would be solely based upon the difference in cost of a residential type street, of the same dimensions, versus this arterial type roadway. Credits would only be considered for the Easterton Road Extension, if Park-Crover Loop Road were not to be constructed. The granting of these credits is at the sole discretion of the City Council.

6. VERIFICATIONS PRIOR TO APPROVAL OF THE SITE DEVELOPMENT PLAN

Prior to approval of the Site Development Plan, the developer shall provide the following:

Stormwater Improvements

a. Submit to the Planning and Zoning Commission an engineering plan approved by the City of Wildwood Department of Public Works and the Metropolitan St. Louis Sewer District showing that adequate handling of the stormwater drainage of the site is provided.

1. The developer is required to provide adequate stormwater systems in accordance with the City of Wildwood and the Metropolitan St. Louis Sewer District standards.

2. All stormwater shall be discharged at an adequate natural discharge point. Stormwater is not adequate points of natural discharge and may not be disturbed.

3. Retention/detention of differential runoff of stormwater shall be required. Stormwater management shall be provided in permanent retention/detention facilities, such as ponds or other acceptable alternatives. These retention/detention facilities shall be completed and in operation prior to the issuance of building permits for an approved dwelling unit, except display lots.

4. All proposed retention/detention facilities and related stormwater improvements shall be located in a common ground area and ensure perpetual maintenance to the Homeowners Association to be created at the time of platting of this development, unless otherwise accepted by the Metropolitan St. Louis Sewer District.

5. The developer of this site shall be solely responsible to provide the necessary mechanisms, as part of the Site Development Plan/Improvement Plan process, to implement "best management practices" for stormwater management and the construction of related facilities. Minimally, these practices/facilities should include rain gardens, vegetative swales, and other options to substantially reduce the amount of stormwater leaving the subject site.

6. The developer shall provide adequate detention and/or hydrologic calculations for review and approval of all stormwater that will encroach on City of Wildwood/Missouri Department of Transportation (MoDOT) rights-of-way.

7. A bond or letter of credit will be required by the City of Wildwood to cover any downstream damage to existing or adjacent properties, common ground areas, or drainage ways caused by the developer's use of this subject site (land disturbance, grading, construction activities, etc.), which shall be used for the restoration of damaged areas to their pre-development condition, if the developers fail to meet their responsibilities in this regard. The amount of this bond and

(a)

the protected waterways and floodplain areas. This study shall minimally provide information relating to disturbance of any protected area and be reviewed and acted upon by the Department of Public Works, as part of the Site Development Plan submittal process.

7. RECORDING

Within ninety (90) days of approval of the Site Development Plan by the Planning and Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

8. VERIFICATION PRIOR TO PERMITS

Notification to Department of Planning

a. Subsequent to approval of the Site Development Plan and prior to issuance of any grading, foundation, or building permits, all approvals from the Department of Public Works (Wildwood), the Missouri Department of Transportation, the Metro West Fire Protection District, the Missouri Department of Natural Resources, and the Metropolitan St. Louis Sewer District must be received by the Department of Planning.

b. Prior to the issuance of a foundation or building permit for any lot, which adjoins the common ground area and/or detention, basin, written certification from a Professional Engineer which verifies these areas are graded in accordance with the approved plans, must be received by the Department of Planning.

Roadway Improvements

c. Improvements to State Route 100 and Easterton Road must be completed prior to the issuance of building permits in excess of ten (10) percent of the units. Any delays in utility company relocation and adjustments will not constitute a cause to allow occupancy prior to completion of roadway improvements.

Land Subdivision

d. Record a proper subdivision of the property and comply with all other applicable subdivision and Department Regulations sections affecting the development of land, except as otherwise specified by this ordinance.

Indentures

e. With the filing of the record plat establishing separate lots, the developer shall record an approved indenture, which defines the necessary assessments and specific trustee obligations in accord with provisions of Sections 415-470 and 415-510 of the City of Wildwood Zoning Code.

Escrow Requirements

f. All improvement and landscaping costs shall be submitted to the City of Wildwood through the standard subdivision escrow procedures.

(a)

Ordinance, except as may be provided by law. Nothing herein shall be deemed a waiver of any subdivision, zoning or other development regulation of the City whether by implication or reference.

1. This zoning approval is conditioned on compliance with the Zoning Code, Subdivision Code, and all applicable laws of the City. Such additional regulations are supplemental to the requirements herein and no modification of any applicable regulations shall result from this Planned Residential Development Overlay District ordinance, except where this ordinance has expressly modified such regulations by reference to the applicable provision authorizing such modification.

10. PUBLIC SPACE REQUIREMENTS

a. Developer shall construct improved public space in conformance with or otherwise satisfying the requirements of the City's Public Space Ordinance, Chapter 415-360 and 415-370 of the City of Wildwood's Zoning Ordinance. The City Council accepted the findings of the Public Space Study adopted therein and determines the compliance with the Public Space Ordinance provisions will address the impact of this specific development on public space needs in a manner and amount that is equal to less than an amount that is roughly proportional to the actual or anticipated impact. The installation of required public space improvements shall be as required by the applicable ordinances, but shall be completed prior to issuance of any occupancy (temporary or final) permit authorized by this ordinance. Unless otherwise approved pursuant to the procedures set forth in the Public Space Ordinance, the public space attributable to this development, based upon the number of enclosed dwelling units at a rate of 1.0 square feet per new single family dwelling. The provision of public space shall substantially comply with the Preliminary Development Plan submitted in conjunction with the public meeting on November 3, 2015.

Editor's Note: Changes to the report from its October 5, 2015 version to the November 3, 2015 version with a single strike-through line. Previous changes considered by the members at their October 5, 2015 Planning and Zoning Commission meeting are indicated by blue-type. No modifications have been made to the Letter of Recommendation, since the Planning and Zoning Commission took action upon it on November 16, 2015, amending Ordinance 415. This condition was recommended for a change, as part of the motion and vote on the overall Letter of Recommendation, which, again, failed for a lack of majority. Changes to the Letter of Recommendation, which were supported by the City Council and submitted for inclusion in the proposed Bill, are indicated in brown, bolded type. Many bolded type reflects changes from the January 11, 2016 City Council meeting.

Section Three. This ordinance shall be in full force and effect on and after its passage and approval.

This Bill was passed and approved this 25 day of January, 2016, by the Council of the City of Wildwood, Missouri after having been read by title, or in full, two (2) times prior to its passage.

[Signatures]
 Attest: *[Signature]* Fredrick Officer
[Signature] Timothy Wooten, Mayor
 Attest: *[Signature]* Liz Wuer City Clerk
[Signature] Liz Wuer City Clerk

(a)

13. Improvements associated with public infrastructure, such as roadways, sidewalks, and access points, shall comply with general design principles that will provide for safe and efficient movement of traffic in and around these sites and improve overall circulation in the area. These improvements shall be reviewed and approved by the Department of Public Works.

14. Hours of construction and grading activity shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday, and 8:00 a.m. to 6:00 p.m. on Saturday. No development (grading and construction) activity shall be authorized on Sundays.

15. All retaining walls exceeding three (3) feet in height per section or crossing individual property lines shall be constructed of an appropriate interlocking concrete block system. Walls crossing property lines shall be located in a maintenance easement. The design, color, material, and location of all walls shall be consistent with the requirements of the Town Center Plan's Architectural Guidelines and be shown on the Site Development Plan for review and action by the Planning and Zoning Commission.

16. The location of all utility easements for proposed service to this development shall be as approved by the Planning and Zoning Commission on the Site Development Plan. All utilities installed to serve this site shall be placed underground, including any existing overhead lines located on the subject property.

17. No portion of any lot that is to be located within the proposed eight (8) lot-out-of-222-solo-revived-by-Park-Crover-Loop-Road-shall-extend-closer-than-thirty (30)-feet-to-the-subject-Planned-Residential-Development-Overlay-District-(P.R.D.)-boundary-to-the-north. This buffer area shall be protected from all land disturbance activities. Additionally, the common boundary between this site and the Sandhillwood-Creek-and-Hunters-Run-Subdivisions shall be separated by a minimum ten (10) foot buffer area that is common ground. This area shall also be protected from all land disturbance activities.

5. TRAFFIC GENERATION ASSESSMENT FEE

The developer shall contribute to the East Area Traffic Generation Assessment Trust Fund established by Section 14-210 of the City of Wildwood's Revised Codes. This assessment must be paid in full at the time of the first Zoning Authorization for any building or structure or when the individual licenses of building permits for the authorized lots are approved. This contribution shall not exceed the amount established by multiplying the number of proposed parking spaces by the following rate:

Type of Development	Required Contribution
Single Family Dwelling (detached)	\$1,055.10/Parking Space

(Section 415-280 of the City of Wildwood Zoning Code defines a parking space.)

If type of development proposed differ than those listed, rates shall be provided by the Department of Public Works.

As this development is located within a Trust Fund area established by the City of Wildwood, any portion of the traffic generation assessment contribution, which remains, following completion of roadway improvements required by the development shall be retained in the appropriate trust fund.

(a)

the establishment of the process for creating an accurate baseline condition for the existing downstream facilities shall be at the discretion of the City of Wildwood Department of Public Works, in conjunction with input from the petitioner's engineer.

Geotechnical Report

b. Provide a Geotechnical Report covering development and grading required by improvements involved with this site, as directed by the Department of Public Works. Said report shall verify the adaptability of grading and improvements with soil and geologic conditions which are susceptible to rapid erosion, landslides, and/or creep. A statement of compliance with this study, signed by the Geotechnical Engineer preparing the report, shall be included on all Site Development Plans. The development and construction plans shall be designed to conform to the requirements and conditions of the Geotechnical Report. The Geotechnical Engineer shall be required to sign and seal all plans with a certification the proposed construction will be completed in accordance with the grading and soils requirements and conditions contained in the report.

Stormwater Pollution Prevention Plan

c. Submit a Stormwater Pollution Prevention Plan, as part of the Site Development Plan review process, indicating compliance to all Federal, State, and local requirements regarding the management of stormwater runoff to prevent siltation and erosion, while preserving water quality, both upon the site and on downstream properties.

Natural Resource Protection Plan

d. Provide a revised and final copy of the Natural Resource Protection Plan indicating all areas of the site, which are to be designated as protected and not developable. This revised and final copy of this map shall be reviewed and signed by a qualified soil scientist, who completed the analysis, and a statement indicating compliance with all the requirements of Section 1005.200 of the City of Wildwood's Subdivision and Development Regulations.

Environmental Assessment - Phase One

e. The developer shall provide to the Planning and Zoning Commission, as part of the Site Development Plan submittal package, a Phase I Environmental Assessment Report of the property, which indicates its current condition relative to its past utilization by other owners. Determination regarding any required mitigation shall be identified and completed, prior to the approval of the Record Plat and before the occupancy of any residential unit, all being in accordance with State and federal standards and guidelines, as set forth by the United States Environmental Protection Agency (EPA) and the Missouri Department of Natural Resources (MDNR), for any determined commitment exceeding a residential cleanup standard/guideline, with the cost borne for such by the developer and not the City of Wildwood.

Floodplain Study and Plan/Wetlands Study

f. The developer shall provide a floodplain/wetlands study to the Department of Public Works indicating compliance to the requirements of the City of Wildwood, the U.S. Army Corp of Engineers, and the Federal Emergency Management Agency (FEMA) regarding disturbance or development in

(a)

Improvement Plans

g. The developer of this residential subdivision shall provide to the City Improvement Plan indicating construction details relative to public and private infrastructure associated with its development. Said plans will be used to calculate escrow requirements for these identified improvements.

Sanitary Sewage System

h. The developer shall provide verification from the Metropolitan St. Louis Sewer District that public sewer service has been provided to this site. Verification shall be in a form acceptable to the City of Wildwood.

Portable Water Service

i. The developer shall provide verification from the Missouri American Water Company that service to this subdivision can be provided at acceptable levels relative to the density of the project and not cause service issues to other households served by the same.

9. GENERAL DEVELOPMENT CONDITIONS

a. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.

b. A grading permit is required prior to any grading on the site. Interim stormwater drainage control in the form of siltation control measures is required.

c. A copy of the most recently approved Site Development Plan for this P.R.D. Overlay District development shall be prominently displayed at all times in all sales offices for this development.

d. The petitioner shall be responsible for obtaining all necessary permits from the Department of Natural Resources Clean Water Commission as they relate to the development of this tract of land.

e. If cut and fill operations occur during a season not favorable for immediate establishment of a permanent ground cover, a fast germinating annual, such as rye or Sudan Grass, shall be utilized to retard erosion.

f. Failure to comply with any or all of the conditions of this ordinance shall be adequate cause for revocation of permits by issuing City of Wildwood Departments or Commissions.

g. The Zoning Enforcement Officer of the City of Wildwood, Missouri, shall enforce the conditions of this ordinance in accord with Site Development Plans approved by the Planning and Zoning Commission and the Department of Planning.

h. Any other applicable zoning, subdivision, or other regulations or requirements of the City, whether in effect at the adoption of this ordinance or as may be hereinafter adopted, shall further apply to the development of this property as authorized by this Planned Residential Development Overlay District

(a)

ISSUE	REMARKS/DATE
1	3-22-2016 INITIAL SUBMITTAL
2	6-6-2016 REVISED PER CITY COMMENTS
3	
4	

Fischer & Frichtel Custom Homes, LLC
 and Consort Homes, LLC
 16640 CHESTERFIELD GROVE ROAD, SUITE 130
 CHESTERFIELD, MISSOURI 63005
 Ph. 636-770-7300

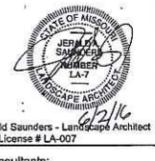
THE STERLING CO.
 ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph 314-487-0440 Fax 314-487-8844
 www.sterling-eng-survey.com
 Corporate Certificate of Authority #0011348

The Villages at Brightleaf
 Wildwood, Missouri
 SITE DEVELOPMENT PLAN
 ORDINANCE #2145

The Professional Engineer's seal and signature are placed on this document only in the presence of the client and are not valid for any other use. All drawings, specifications or other documents not including this seal and signature shall be considered void. This seal and signature shall not be considered valid for any use or reproduction of this seal, except as otherwise provided by the Professional Engineer.

[Signature]
 MICHAEL G. BOERDING
 License No. E-28843
 Civil Engineer

Date: 06-06-2016
 Job Number: 14-04-138
 Date: June 6, 2016
 Drawn: SL Sheet 9.2
 Checked: SL SDP



Jerald Saunders - Landscape Architect
MO License # LA-007
Consultants:

The Villages at Bright Leaf

Wildwood, Missouri

Revisions:

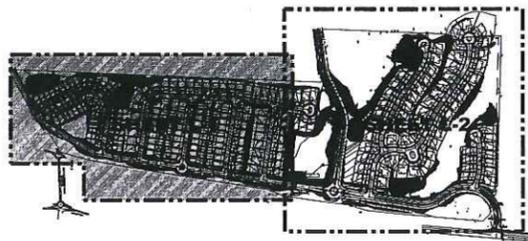
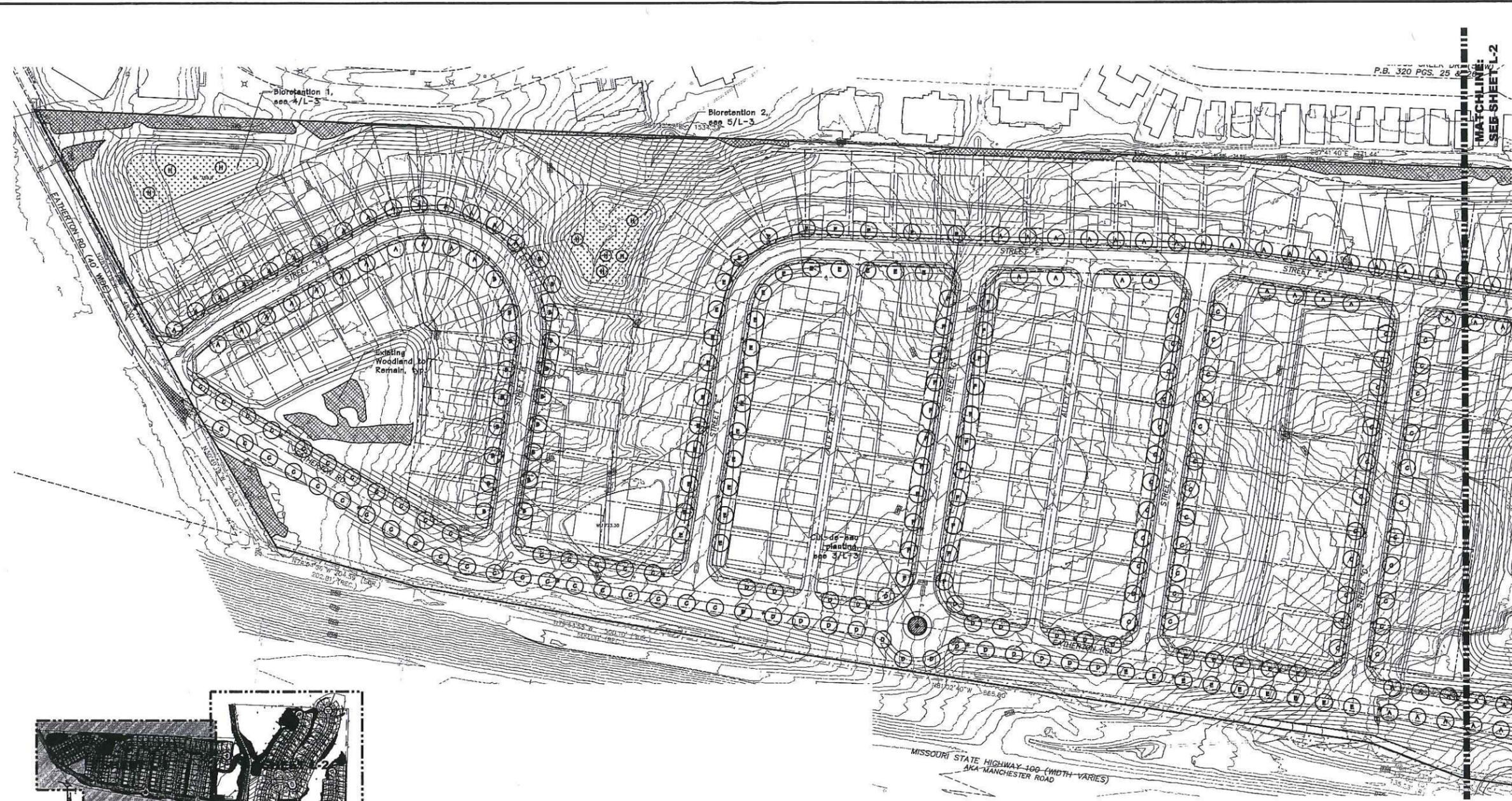
Date	Description	No.

Drawn: LWH
Checked: LWS

loomisAssociates
Landscape Architects/Planners
200 S. 40th Street, Suite 105
Berwyn, Missouri 64005-1005
Phone: 636-337-1100
www.loomisassociates.com

Missouri State Certificate of Authority #: LAC #000019

Sheet Title: Landscape Plan
Sheet No: L-1
Date: 07/07/15
Job #: 643.006



KEY PLAN
N.T.S.

LANDSCAPE PLAN

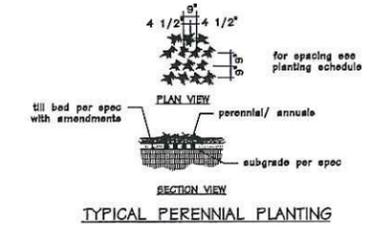
SCALE 1"=60'



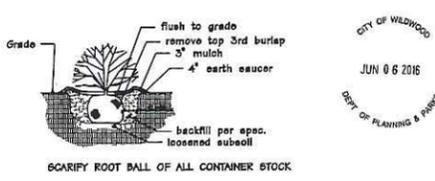
- WILDWOOD GENERAL NOTES:**
- Individual homeowners must be notified at least one week prior to the installation of plants on lots that have an occupied dwelling.
 - Unless otherwise stipulated by specific requirements of the City of Wildwood Tree Manual, the landscaping shown on this plan must be planted in accordance with the latest edition of the Tree and Shrub Transplanting Manual published by the International Society of Arboriculture (P.O. Box GG, Savoy, IL 61874-9902).
 - All trees are to be located a minimum distance of 5' from all utility boxes, 5' from a storm drain inlet or manhole, 10' from a fire hydrant, 15' from public street lights, 5' from driveway aprons, 20' from any traffic control sign and at least 30' from any intersection.
 - Locations of street trees may be subject to change in order to avoid conflict with street lighting.
 - Any planting within a tree preservation area, as designated on the Tree Preservation Plan and shown on this plan, must be done to avoid any adverse impact to the roots of existing trees.
 - Plant substitutions are permitted with verbal or written approval from the City of Wildwood Planning Department.
 - All plant material will be reinspected for survival by the City of Wildwood Planning Department one year following installation and again two full growing seasons after planting.
 - All plants must meet standards of the latest edition of the American Standards for Nursery Stock sponsored by the Association of American Nurserymen.
 - No plant shall be located in areas of obvious poor drainage. If such conditions exist, contact the Landscape Architect immediately to relocate affected plant material.
 - Soil conditions must be tested, verified and adjusted by the landscape contractor to insure that appropriate soil composition and pH levels are suitable for plant material specified for that specific location.

- LANDSCAPE CALCULATIONS:**
- Street Trees**
1. Street trees shall be installed a minimum of every 40 LF of proposed lot frontage.
17,241 LF ÷ 40 = 431 minimum street trees required
 - A maximum of forty percent (40%) of one (1) species may be utilized to meet planting requirements.
 - Street trees shall not be planted closer than three (3) feet to any curb.

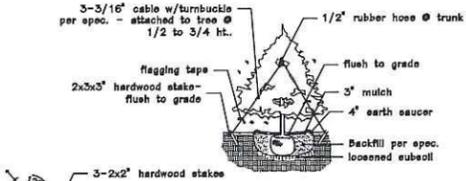
PLANTING SCHEDULE						
PLANT	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	TREE TYPE	PERCENTAGE
STREET TREES						
A	121	Quercus rubra	Red Oak	2.5"	Deciduous	20.0%
B	93	Gleditsia triacanthos f. Inermis 'Skycola'	Skyline Honeylocust	2.5"	Deciduous	15.3%
C	126	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	2.5"	Deciduous	20.8
D	65	Acer rubrum 'Frankered'	Red Sunset Maple	2.5"	Deciduous	10.7%
E	126	Quercus bicolor	Swamp White Oak	2.5"	Deciduous	20.5%
F	75	Taxodium distichum 'Mikoleon'	Shawnee Brave Baldcypress	2.5"	Deciduous	12.4%
606	TOTAL STREET TREES					=100%



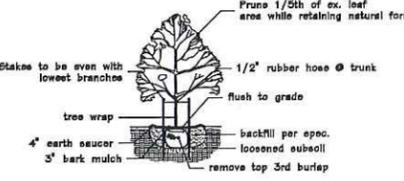
TYPICAL PERENNIAL PLANTING



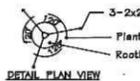
TYPICAL SHRUB PLANTING



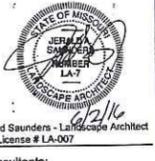
TYPICAL EVERGREEN PLANTING



CANOPY TREE PLANTING



TYPICAL PLAN VIEW



Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

The Villages at Bright Leaf

Widewood, Missouri

ID	Tree Species	DBH	Canopy Diam.	Condition Rating	Comment
1	Elm	35	50	2	some trunk decay at 4'
2	Sycamore	26	50	2	UTL trimmed
3	Collardwood	34	50	2	
4	White Ash	27	50	3	
5	Red Oak	27	40	2	
6	White Pine	20	25	3	
7	White Pine	24	30	2	broken lower limbs
8	Red Oak	24	60	2	
9	Shingle Oak	25	60	2	ivy
10	Red Oak	25	60	3	
11	Red Oak	24	60	3	
12	Hickory	24	60	4	
13	Elm	24	50	3	
14	Elm	24	50	3	vines
15	White Oak	30	60	2	fork at 5'
16	Red Oak	25	50	2	
17	White Oak	25	60	2	some deadwood
18	Hickory	30	60	2	fork at 6'
19	White Oak	26	70	2	some deadwood
20	White Oak	37	70	2	fork at 5'
21	Hickory	24	50	3	
22	Sassafras	26	40	3	
23	Silver Maple	46	60	2	some deadwood
24	Hickory	25	40	2	fence
25	Red Oak	28	60	3	
26	Red Oak	26	70	3	fork at 4'
27	Red Oak	24	60	2	fork at 4', fence
28	White Oak	28	60	3	vines
29	Shingle Oak	26	60	3	
30	Cedar	20	25	3	vines
31	Elm	43	80	3	vines
32	Elm	26	50	2	
33	Shingle Oak	24	60	2	fork at 4'
34	White Oak	36	70	3	
35	Elm	25	60	3	lower deadwood
36	Shingle Oak	39	70	2	
37	Elm	30	70	3	
38	Elm	24	60	3	some deadwood
39	Shingle Oak	30	60	3	deadwood
40	Shingle Oak	25	60	2	
41	Shingle Oak	28	50	3	
42	White Oak	25	50	3	
43	Red Oak	25	50	2	
44	White Oak	24	50	3	
45	White Oak	25	50	3	
46	White Oak	34	60	2	lower deadwood
47	White Oak	29	70	2	
48	White Oak	28	60	3	
49	Shingle Oak	24	60	2	lower deadwood
50	White Pine	20	35	3	
51	Shingle Oak	24	60	2	
52	Shingle Oak	27	20	2	some deadwood
53	White Pine	26	50	3	
54	Shingle Oak	27	40	3	
55	White Pine	20	50	2	vines
56	Shingle Oak	27	30	2	
57	Calalpa	27	50	2	
58	Pin Oak	29	60	3	
59	Cedar	20	30	3	
60	Red Oak	34	60	2	
61	Red Oak	24	50	3	
62	Red Oak	24	50	2	
63	Red Oak	28	60	2	

RATING: 1 = Poor
2 = Fair
3 = Good
4 = Excellent

Report

A. Average of Stand:	48%
B. Forest Type:	Oak-Hickory Hardwoods
C1. Dominant species:	Red and White Oaks, Shingle Oak, Hickory
C2. Co-dominant species:	Sassafras, Elm, Cedar, Persimmon
D. Density per acre:	27% of 2" DBH or greater
E. Avg. Canopy Diameter:	19.4'
F. Avg. canopy DBH:	7.8"
G. % of dominant species:	24% Red and White Oaks, 24% Hickory, 14% Shingle Oak.
H. Understory vegetation:	Bush Honeysuckle, Gooseberry, Multiflora Rose, Trumpet Honeysuckle, Virginia Creeper, Winterresper, May Apple
I. Apparent health problems:	Deadwood

BAF-10 Data:

Average Tree Basal Area (Sq.Ft.) / Basal Area per Acre (Sq.Ft.)

- SP1: 0.593 / 1718.69
- SP2: 0.633 / 1835.00
- SP3: 0.307 / 1260.69
- SP4: 0.386 / 1159.11
- SP5: 0.443 / 753.47
- SP6: 0.514 / 1079.89
- SP7: 0.542 / 1355.32
- SP8: 0.466 / 1070.89
- SP9: 0.320 / 959.90

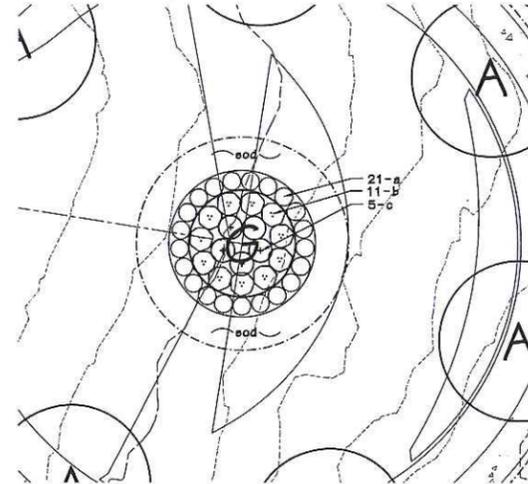
Total: 0.467 / 1327.34

Plot#	ID	Tree Species	DBH	Canopy Diam.	Condition Rating	Comment
SP1	100	Hickory	14	35	3	
SP1	101	White Oak	14	35	2	
SP1	102	Red Oak	24	45	2	
SP1	103	White Oak	5	15	2	
SP1	104	Hickory	12	30	3	
SP1	105	Red Oak	14	30	2	some deadwood
SP1	106	Sassafras	5	20	3	
SP1	107	Hickory	10	35	3	
SP1	108	Red Oak	7	15	2	
SP1	109	Sassafras	7	15	2	
SP1	110	Sassafras	10	20	2	
SP1	111	Dogwood	3	15	3	
SP1	112	Hickory	4	20	3	
SP1	113	White Oak	5	12	3	
SP1	114	Hickory	14	40	3	fork at 2'
SP1	115	White Oak	10	20	2	
SP1	116	White Oak	10	30	3	
SP1	117	Sugar Maple	2.5	10	3	
SP1	118	Hickory	2.5	10	3	
SP1	119	Hickory	6	20	2	
SP1	120	Hickory	2.5	15	3	
SP1	121	Cedar	2.5	8	4	
SP1	122	Dogwood	5	15	2	
SP1	123	Dogwood	4	12	2	
SP1	124	Elm	3	12	2	
SP1	125	Hickory	30	60	2	
SP1	126	Cedar	4	8	2	
SP1	127	Hickory	2.5	8	2	
SP1	128	Sassafras	4	15	3	
SP2	129	White Oak	8	25	2	
SP2	130	White Oak	7	15	2	
SP2	131	White Oak	12	25	2	
SP2	132	Hickory	6	20	4	
SP2	133	Hickory	6	15	4	
SP2	134	Hickory	3	8	3	
SP2	135	White Oak	10	25	3	
SP2	136	White Oak	14	35	2	
SP2	137	Shingle Oak	22	40	2	
SP2	138	Shingle Oak	7	20	2	
SP2	139	White Oak	6	20	2	
SP2	140	Hickory	7	20	3	
SP2	141	Hickory	6	25	3	
SP2	142	Red Oak	12	40	2	
SP2	143	Hickory	4	15	3	
SP2	144	Hickory	16	35	3	
SP2	145	Hickory	2.5	8	3	
SP2	146	White Oak	6	20	3	
SP2	147	White Oak	10	40	3	
SP2	148	Hickory	6	20	4	
SP2	149	White Oak	20	35	3	
SP2	150	Red Oak	18	35	1	
SP2	151	Hickory	2.5	8	3	
SP2	152	Shingle Oak	12	30	2	
SP2	153	White Oak	6	20	3	
SP2	154	Shingle Oak	14	20	2	
SP2	155	White Oak	12	40	2	
SP2	156	White Oak	14	35	3	
SP2	157	Cedar	6	12	3	
SP3	158	Shingle Oak	12	20	3	
SP3	159	Shingle Oak	20	35	2	
SP3	160	Dogwood	2.5	12	3	
SP3	161	Shingle Oak	14	30	3	
SP3	162	Shingle Oak	12	30	2	
SP3	163	Shingle Oak	8	15	3	
SP3	164	Sassafras	8	20	2	
SP3	165	Sassafras	3	6	2	
SP3	166	Persimmon	8	15	3	
SP3	167	Persimmon	8	15	3	ivy
SP3	168	Sassafras	3	6	2	
SP3	169	Hickory	5	12	3	
SP3	170	Hickory	4	12	3	
SP3	171	Sassafras	3	6	2	
SP3	172	Sassafras	4	8	2	
SP3	173	Persimmon	5	8	3	
SP3	174	Cedar	5	8	2	
SP3	175	Shingle Oak	5	8	2	
SP3	176	Shingle Oak	14	40	2	
SP3	177	Cedar	6	20	2	
SP3	178	Shingle Oak	12	40	2	
SP3	179	Persimmon	3	6	3	
SP3	180	Shingle Oak	6	15	2	
SP3	181	Sassafras	6	0	0	
SP3	182	Sassafras	6	0	0	
SP3	183	Sassafras	8	0	0	
SP3	184	Sassafras	3	0	0	
SP3	185	Sassafras	6	0	0	
SP3	186	Sassafras	4	0	0	
SP3	187	Sassafras	5	6	1	
SP3	188	Elm	6	10	3	
SP3	189	Sassafras	4	6	3	
SP3	190	Elm	6	10	3	
SP3	191	Sassafras	8	0	0	
SP3	192	Sassafras	8	0	0	
SP3	193	Shingle Oak	6	20	2	
SP3	194	Sassafras	3	6	1	
SP3	195	Sassafras	4	8	2	
SP3	196	Sassafras	4	8	2	
SP3	197	Elm	3	10	2	
SP3	198	Elm	6	20	3	
SP4	199	Shingle Oak	24	60	3	
SP4	200	Hickory	8	25	3	
SP4	201	Hickory	6	20	3	
SP4	202	Hickory	6	20	3	
SP4	203	Hickory	4	8	3	
SP4	204	Hickory	4	8	3	
SP4	205	White Oak	12	35	2	
SP4	206	Sassafras	8	15	2	
SP4	207	Hickory	10	30	4	
SP4	208	Hickory	8	25	4	
SP4	209	Hickory	5	15	3	
SP4	210	Hickory	7	25	4	
SP4	211	Hickory	6	15	4	
SP4	212	Hickory	4	10	4	
SP4	213	Elm	5	15	2	
SP4	214	Shingle Oak	12	35	2	
SP4	215	Hickory	5	12	4	
SP4	216	Hickory	8	25	4	
SP4	217	Hickory	10	25	4	
SP4	218	Hickory	7	20	4	
SP4	219	Hickory	6	20	3	
SP4	220	Hickory	6	20	4	
SP4	221	Hickory	7	20	4	
SP4	222	White Oak	10	35	3	
SP4	223	White Oak	12	35	2	
SP4	224	Elm	8	25	2	
SP4	225	Shingle Oak	4	20	3	
SP4	226	Hickory	3	15	4	
SP4	227	Hickory	3	15	4	
SP4	228	Sassafras	4	10	2	

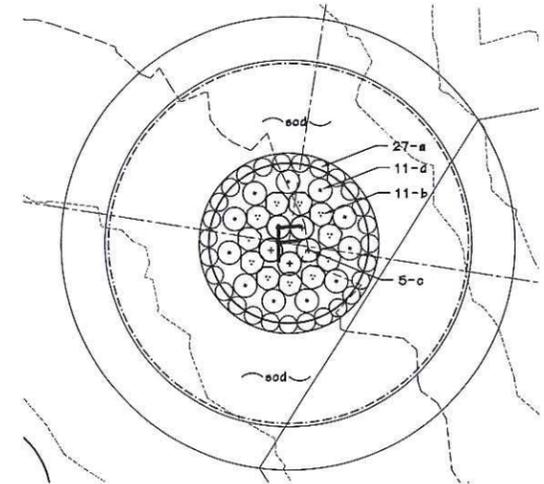
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SP5	229	Hickory	6	20	3	
SP5	230	Hickory	6	20	3	
SP5	231	Hickory	4	8	3	
SP5	232	Shingle Oak	4	20	3	
SP5	233	Hickory	3	15	4	
SP5	234	Sassafras	4	10	2	
SP5	235	Elm	6	10	3	
SP5	236	Sassafras	6	12	2	
SP5	237	White Oak	12	35	2	
SP5	238	Sassafras	8	15	2	
SP5	239	Red Oak	18	35	1	
SP5	240	Hickory	2.5	8	3	
SP5	241	White Oak	14	35	2	
SP5	242	White Oak	10	30	3	
SP5	243	Sugar Maple	2.5	12	4	
SP5	244	Shingle Oak	14	20	2	
SP5	245	White Oak	12	40	2	
SP5	246	White Oak	10	25	3	
SP5	247	White Oak	14	35	2	
SP5	248	Shingle Oak	22	40	2	
SP5	249	Shingle Oak	7	20	2	
SP5	250	White Oak	6	20	2	
SP5	251	Cedar	5	8	3	
SP5	252	Cedar	7	8	4	
SP5	253	Cedar	8	8	3	
SP5	254	Cedar	4	8	4	
SP5	255	Hickory	4	8	3	
SP5	256	White Oak	12	35	2	
SP5	257	Cedar	6	20	2	
SP5	258	Sassafras	8	15	2	
SP5	259	Hickory	10	30	4	
SP5	260	White Oak	12	40	2	
SP5	261	White Oak	14	35	3	
SP5	262	Cedar	6	12		



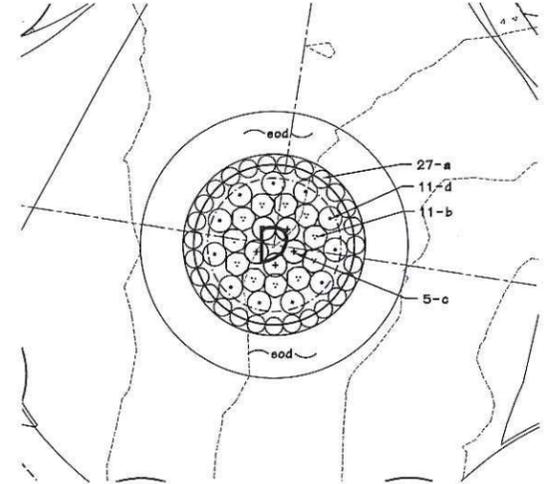
Jerald Saunders - Landscape Architect
 MO License # LA-007
 Consultants:



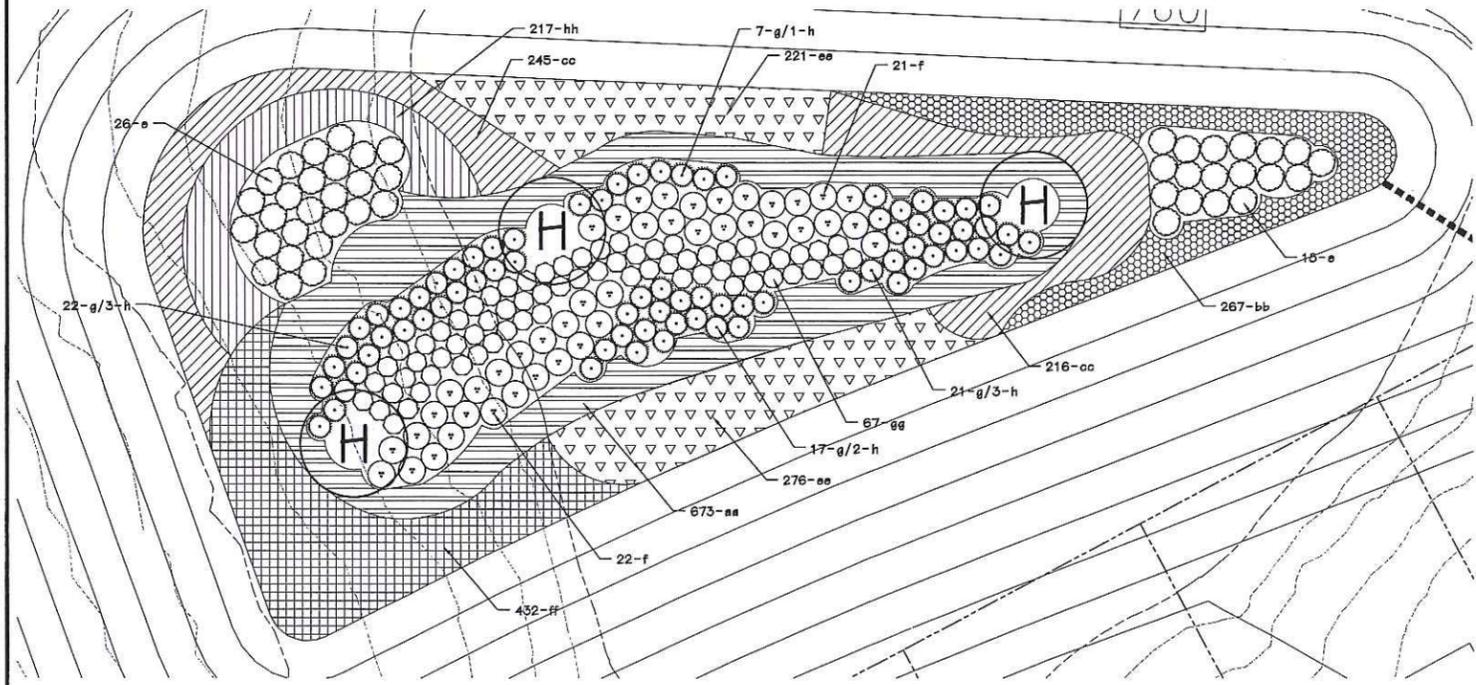
1 CUL-DE-SAC LANDSCAPE PLAN
 L-3 SCALE 1"=10'



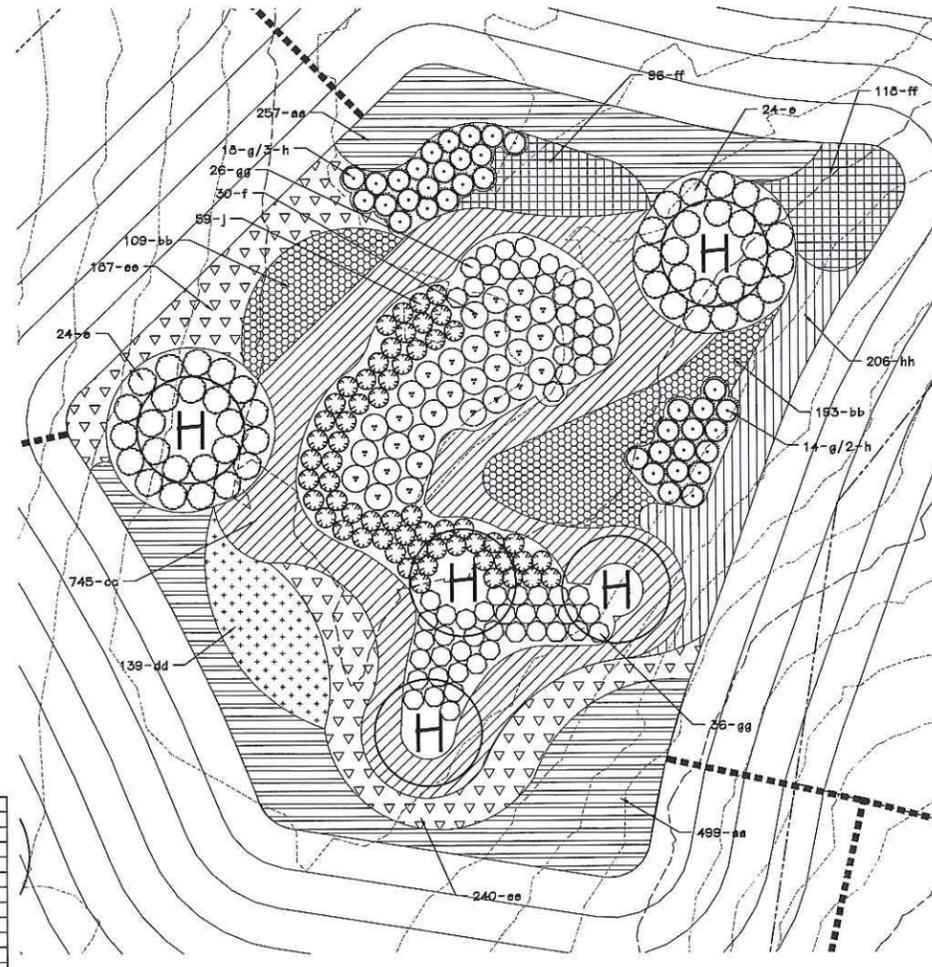
2 ROUNDABOUT LANDSCAPE PLAN
 L-3 SCALE 1"=10'



3 ROUNDABOUT LANDSCAPE PLAN
 L-3 SCALE 1"=60'



4 BIORETENTION 1 LANDSCAPE PLAN
 L-3 SCALE 1"=10'



5 BIORETENTION 2 LANDSCAPE PLAN
 L-3 SCALE 1"=10'

PLANT	QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	CHARACT.
CUL-DE-SAC PLANTINGS						
TREES						
G	5		Malus x 'Spring Snow'	Spring Snow Crabapple	2"	Deciduous, Understory
SHRUBS						
a	159		Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	24-36"	Evergreen shrub
b	77		Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	24-36"	Deciduous shrub
c	35		Physocarpus opulifolius 'Monro'	Diablo Ninebark	24-36"	Deciduous shrub
d	22		Rosa 'Radrazz'	Red Knockout Rose	24-36"	Deciduous shrub

PLANT	QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	CHARACT.
BIORETENTION PLANTINGS						
TREES						
H	14		Carpinus caroliniana 'JFS-KWE'	Native Flame Hornbeam	2"	Deciduous, Understory
J	0		Chionanthus virginicus	Fringe Tree	2"	Deciduous, Understory
SHRUBS						
e	225		Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet	3 gal	Deciduous shrub
f	244		Cornus sericea 'Iceberg'	Iceberg Red Twig Dogwood	3 gal	Deciduous shrub
g	240		Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	3 gal	Deciduous shrub
h	29		Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry	3 gal	Deciduous shrub
i	331		Ilex virginiana 'Henry's Garnet'	Henry's Garnet Sweetpire	3 gal	Deciduous shrub
PERENNIALS AND GRASSES						
aa	3442		Carex vulpinoidea	Fox Sedge	plug	space 15' o.c.
bb	1000		Echinacea purpurea	Purple Coneflower	plug	space 15' o.c.
cc	2393		Iris fulva	Copper Iris	plug	space 15' o.c.
dd	1070		Liatris spicata 'Kobold'	Kobold Blazing Star	plug	space 15' o.c.
ee	1778		Lobelia cardinalis	Cardinal Flower	plug	space 15' o.c.
ff	1537		Monarda fistulosa	Bee Balm	plug	space 15' o.c.
gg	425		Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	1 gal	space as shown
hh	2410		Rudbeckia fulgida	Black-eyed Susan	plug	space 15' o.c.

The Villages at Bright Leaf

Wildwood, Missouri

Revisions:

Date	Description	No.

Drawn: LWH
 Checked: JAS

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 Kansas City, MO 64112
 Phone: 816.452.1000
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Sheet Title: Landscape Plan
 Sheet No: L-3
 Date: 07/07/15
 Job #: 643.006



Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

The Villages at Bright Leaf

Wildwood, Missouri

Revisions:

Date	Description	No.

Drawn: LWH
Checked: JAS

Iomis Associates

Landscape Architects/planners

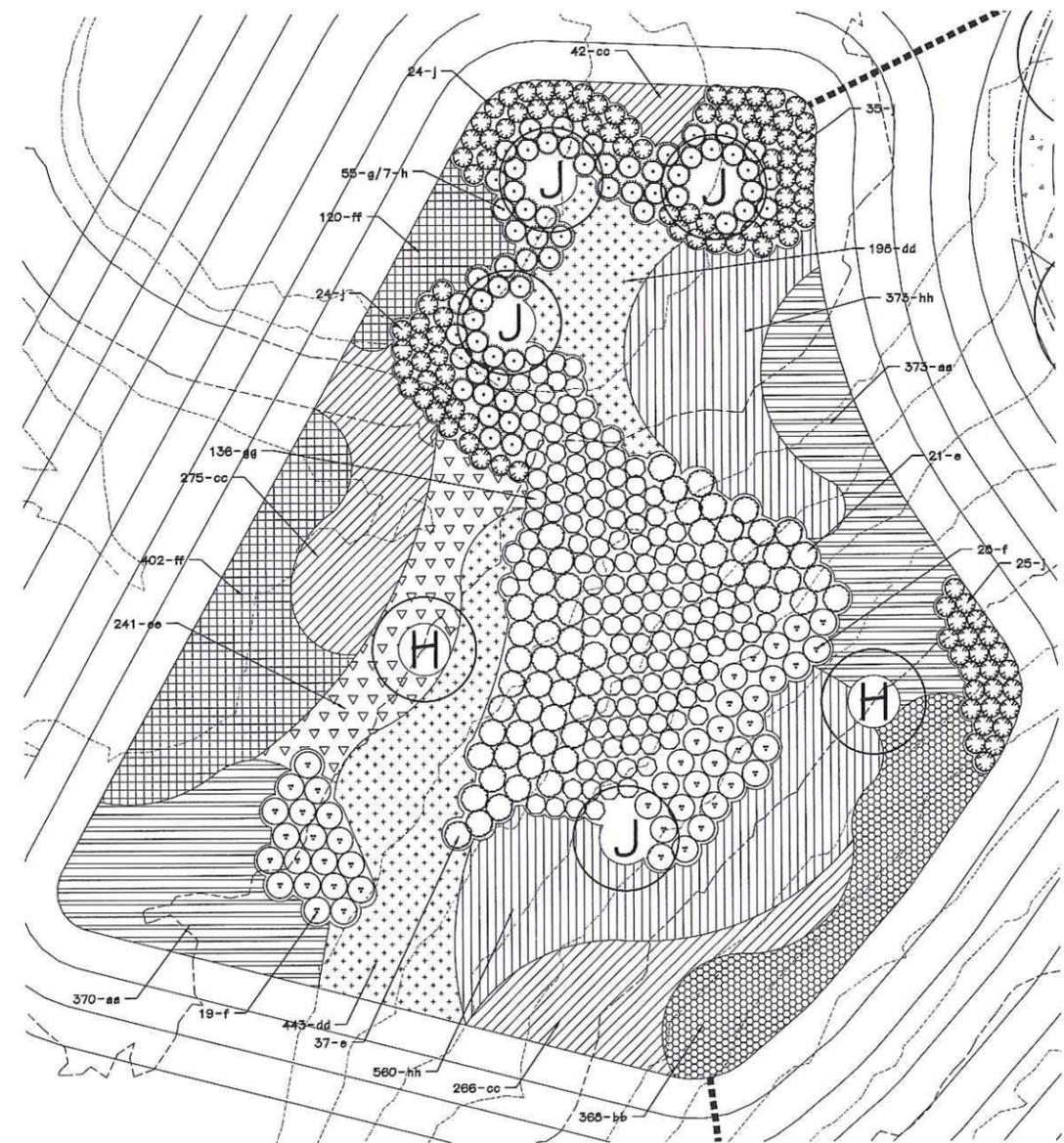
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www.iomisassociates.com

Iomis Associates Inc.
Missouri State Certificate of Authority # LAC #000019

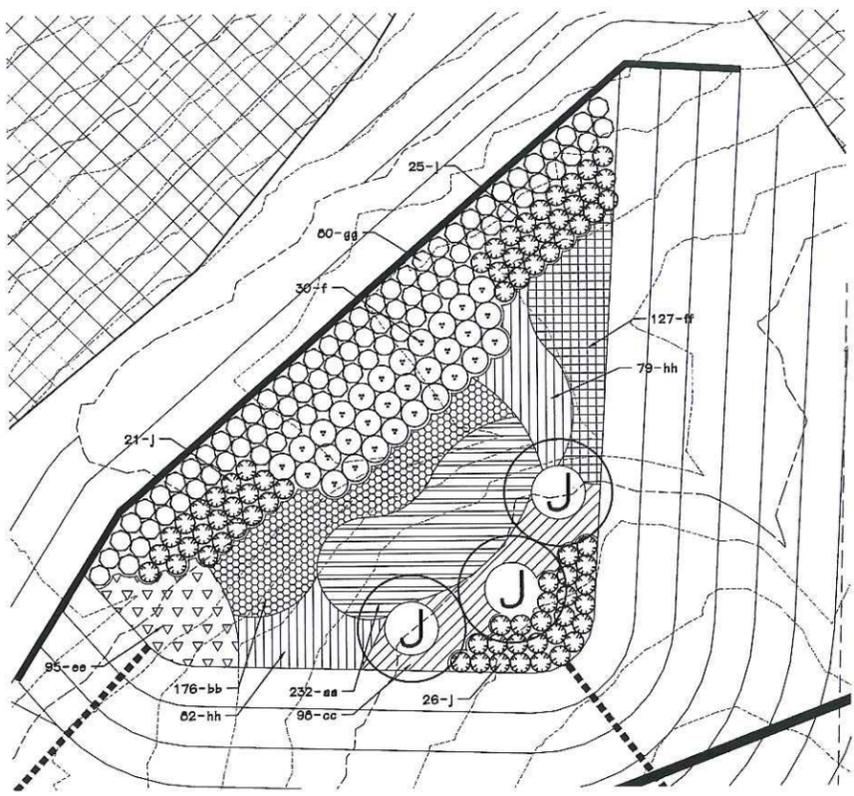
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Sheet No: **L-4**

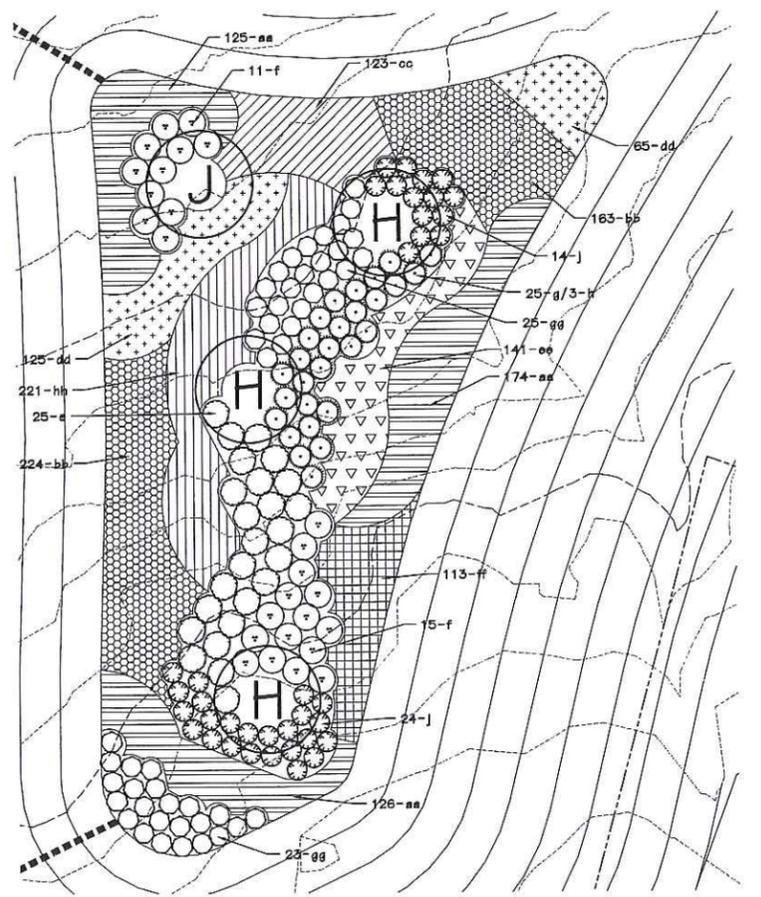
Date: 07/07/15
Job #: 643.006



1
L-4
BIORETENTION 4 LANDSCAPE PLAN
SCALE 1"=10'



3
L-4
BIORETENTION 6 LANDSCAPE PLAN
SCALE 1"=10'



2
L-4
BIORETENTION 3 LANDSCAPE PLAN
SCALE 1"=10'

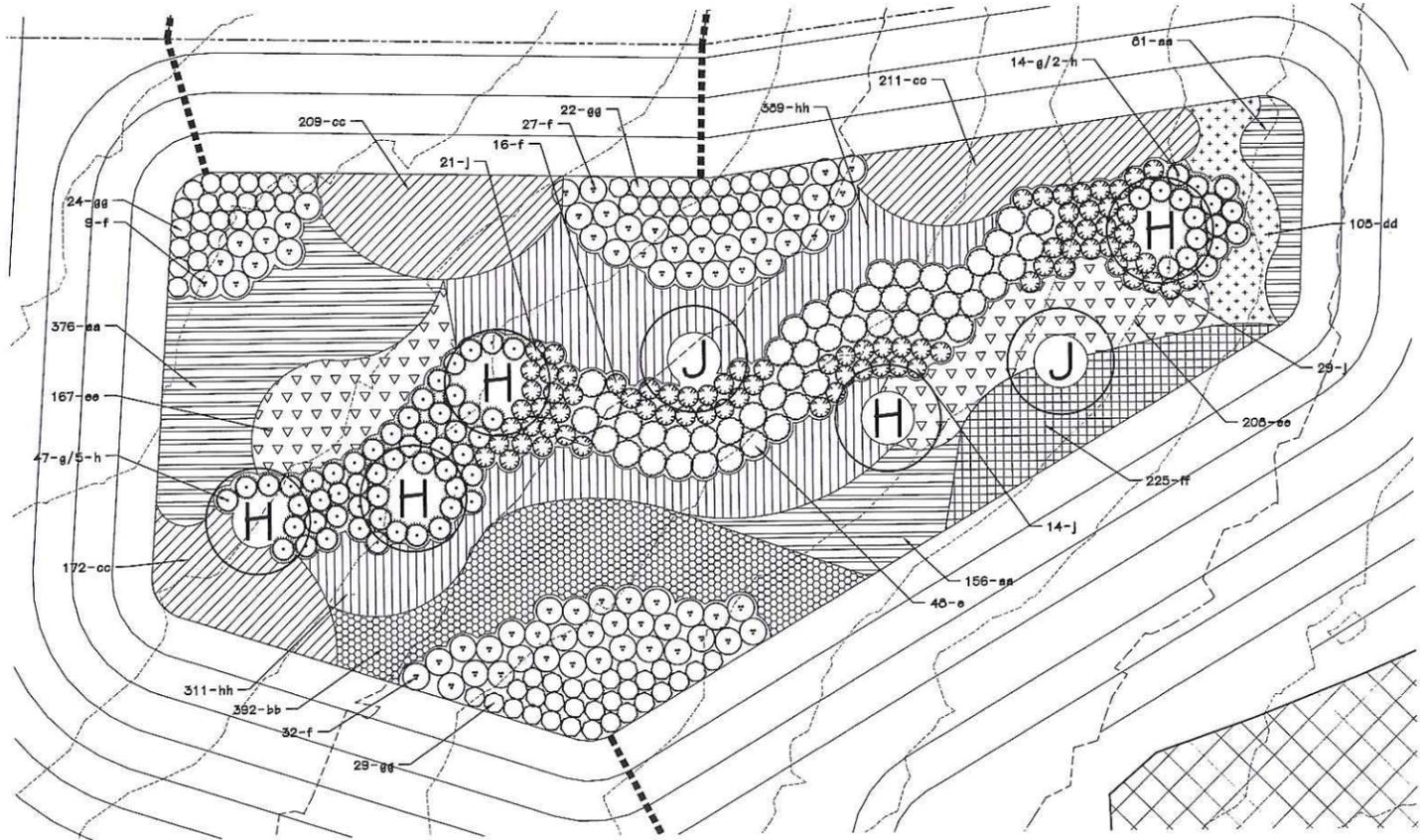


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Consultants:

The Villages at Bright Leaf

Wildwood, Missouri



BIORETENTION 5 LANDSCAPE PLAN

SCALE 1"=10'



Revisions:

Date	Description	No.

Drawn: LWH
Checked: JAS

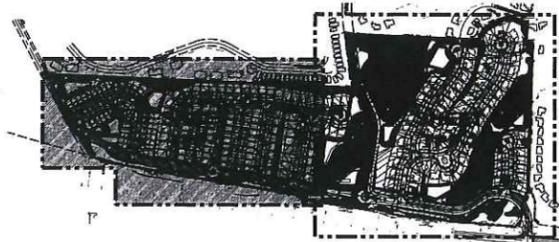
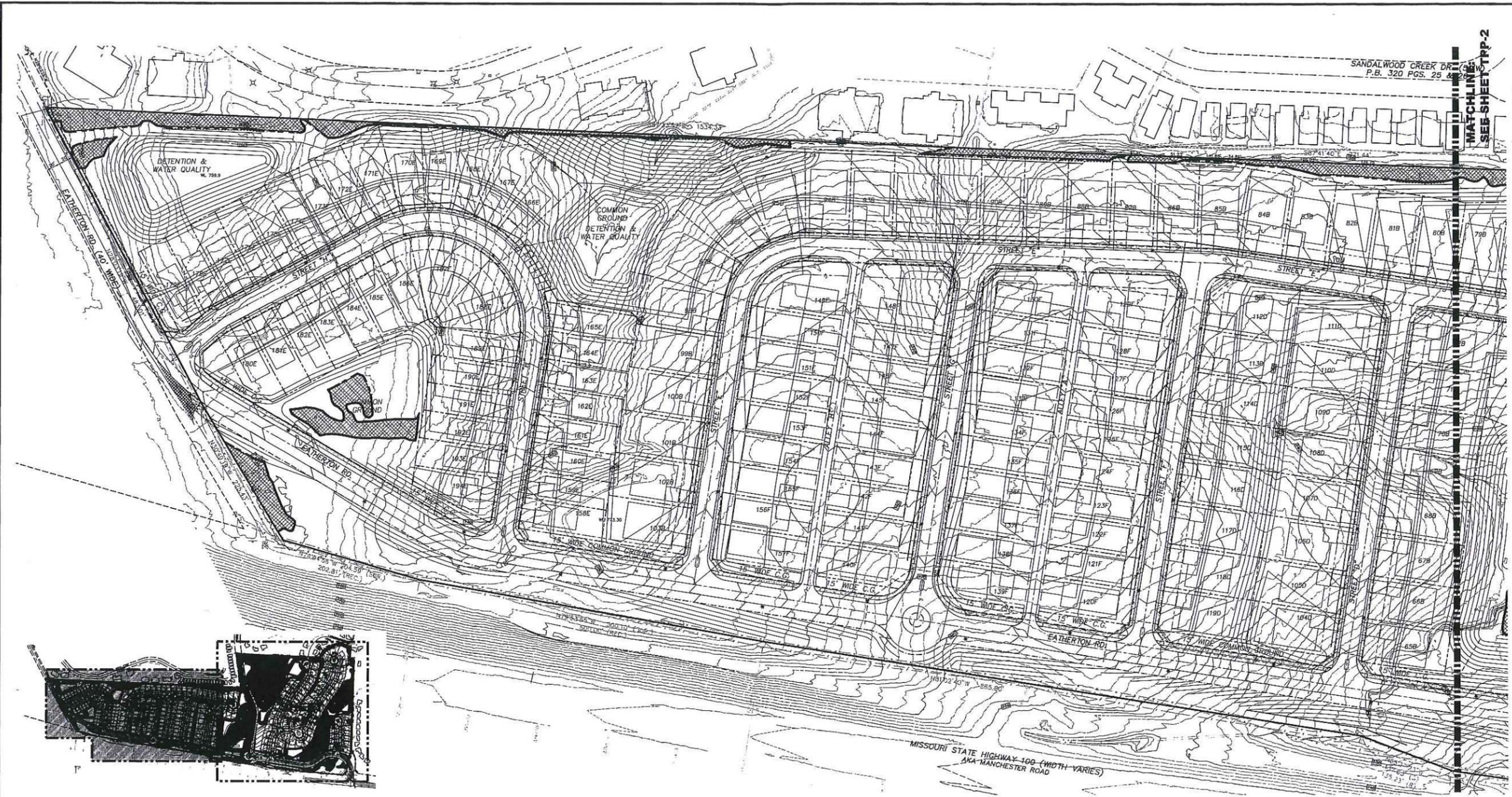
loomisAssociates

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Columbia, MO 65203-1027
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F: 646.875.1112
E: info@loomisassociates.com

Loomis Associates Inc.
Missouri State Certificate of Authority #: LAC #000019

Sheet: Bioretention
Title: Landscape Plan
Sheet No: L-5
Date: 07/07/15
Job #: 643.006

The Villages at Bright Leaf
 Wildwood, Missouri



KEY PLAN
 N.T.S.

TREE PRESERVATION PLAN
 SCALE 1"=60'



- KEY
- Existing Grand Tree to remain
 - Existing Woodland Canopy to remain
 - Tree protection fence
 - Root pruning

Zone: Single-family residential

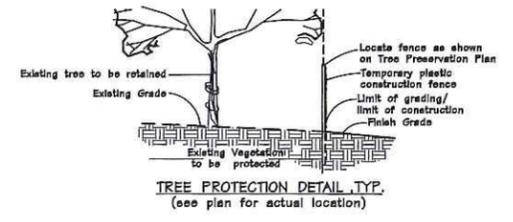
Site Area:	3,436,441 sq. ft. or	78.88 Ac.
Existing Woodland Canopy:	2,050,744 sq. ft. or	47.99 Ac.
Canopy Preservation Required:	30%	or 14.39 Ac.
Total Existing Canopy Preserved:	483,990 sq. ft. or	11.11 Ac. (23.15%)
Tree Canopy Planned:	605	
Total Tree Canopy Provided:	1,089,990 sq. ft. or	25.02 Ac.
Proposed Units:	194	

TREE PROTECTION NOTES:

- 1) Preserved woodland canopy is delineated with shading. Grand Trees designated to be preserved shall be located by surveyor.
- 2) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators; construction supervisors; developer's representative; and city zoning inspector.
- 3) Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required. Where noted on plan, contractor to trench and root prune prior to any grading activity. Required siltation devices to be installed along limit of disturbance line.
- 4) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed including the installation of tree protection fencing along all "Limit of Disturbance" lines shown on the plan.
- 5) Tree Protection Fencing shall be 4-foot high temporary plastic construction fence. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area. Any proposed plantings shall be subject to the review and approval of the City Arborist. All ground plane shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 6) Tree protection measures to be maintained throughout construction sequence.

TREE PROTECTION ACTION KEY SEQUENCE:

- 1) Survey limit of disturbance.
- 2) Perform root pruning as shown on plan.
- 3) Install tree protection fencing.
- 4) Post tree protection signage on fence (No signs will be posted on trees).
- 5) Maintain tree protection area as an off-limits zone.



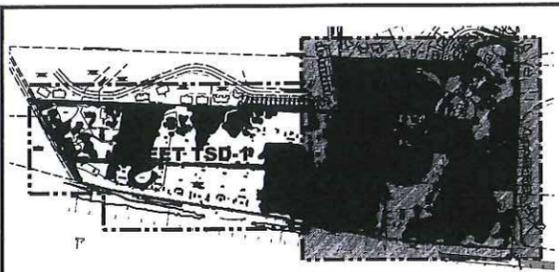
Revisions:

Date	Description	No.

Drawn: BB
 Checked: JAS

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 2025440 Area One, Suite 105
 Chesterfield, Missouri 63005-0505
 www.ioomis.com

Sheet Title: Tree Preservation Plan
 Sheet No: TPP-1
 Date: 05/11/16
 Job #: 643.006



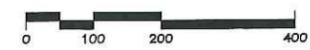
KEY PLAN
N.T.S.

- KEY**
- Existing Grand Tree
 - Existing Individual Tree
 - Existing Woodland Canopy
 - BAF-10 Study Sample Plot



MATCHLINE:
SEE SHEET TSD-1

TREE STAND DELINEATION PLAN
SCALE 1"=100'



STATE OF MISSOURI
JEREMY SAUNDERS - Landscape Architect
MO License # LA-007
Consultants:

The Villages at Bright Leaf
Wildwood, Missouri

Revisions:

Date	Description	No.

Drawn: BB
Checked: JAS

Ioomis Associates
Landscape Architects & Planners
1000 N. Highway 100, Suite 100
Wildwood, Missouri 64308
Phone: 660-843-0088
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Sheet Title: **Tree Stand Delineation Plan**

Sheet No: **TSD-2**

Date: 05/11/16
Job #: 643.008

Tree Inventory
Prepared under direction of
Brien Bage
Certified Arborist MW# 5033A



WILDWOOD

July 5, 2016

The Honorable City Council
City of Wildwood, Missouri
16860 Main Street
Wildwood, Missouri 63040

Re: P.Z. 25, 26, and 26a-14
Petitioner: Main Street Crossing, Payne Family Homes L.L.C.
Request: To allow for certain allowances/relief to existing requirements relating to required roadway improvements and utility issues, so as the project can proceed to eventual construction.
Zoning: R-4 7,500 square foot Residence District ("Neighborhood Edge" District), with a Planned Residential Development Overlay District (PRD).
Location: Locator Number: 23V120094/Street Address: 2461 Eatherton Road; east side of State Route 109, south of State Route 100
Tract Size: 28 acres
Locator Numbers:
Ward: Eight

Council Members:

INTRODUCTION AND ACTION >>> The Planning and Zoning Commission is in receipt of the request from the City Council that seeks its review of the site-specific ordinance that governs this large Town Center Area residential development called Main Street Crossing. The request of City Council is to review the current site-specific ordinance to determine if the developer's (Payne Family Homes) requests for amendments are reasonable regarding changes to roadway requirements and utilities improvements. Given the City Council's request, the Planning and Zoning Commission has reviewed the files relating to this twenty-eight (28) acre site, along with other supporting information, and completed a recommendation in this regard. Accordingly, acting at its July 5, 2016 Executive Meeting, and by a vote of -- to --, hereby submits its report and recommendation to the City Council for its consideration and action. The development of this information has complied with the requirements of the Zoning Ordinance for the amendment of a special procedures permit, including postings.

BACKGROUND >>> Since the approval of the site-specific ordinance for this Town Center project, a number of meetings and actions have continued to occur regarding its development. The impetus for these meetings and actions was the developer of this project's desire to seek public financing incentives from the City of Wildwood to offset the cost of roadway improvements associated with

the development of the allowable one hundred four (104) lots on this twenty-eight (28) acre site. Specifically, the developer was seeking an undefined amount of funding from these public incentives to address expenses associated with infrastructure and utilities, which at the start of this review process by City Council would have been approximately one million dollars (\$1,000,000.00). Ultimately, through the crediting of Traffic Generation Assessment Fees and the planned funding of the mandatory twenty (20) percent of a grant application to the East-West Gateway Council of Governments, the City was planning on contributing approximately seven hundred fifty thousand dollars (\$750,000.00) to the project.

Key to this contribution, and in addition to it, was a grant application component of it, which was intended to cover the entire cost of State Route 109 improvements, to be submitted by the City to the East-West Gateway Council of Governments. The proposal was for the City to provide the twenty (20) percent matching requirement, while the grant itself would fund the remaining one million three hundred thousand dollar (\$1,300,000.00) amount. This one point six million dollar (\$1,600,000.00) project would provide for the roundabout at the project's entrance onto State Route 109. With the use of this grant funding approach for this project, the developer would then only be responsible for the roadway components interior to the subject site and along Eatherton Road (the east boundary of the property).

The grant application was not funded by the East-West Gateway Council of Governments, which meant the desired funding source for the State Route 109 roundabout, and related improvements, would be delayed at least to the next funding cycle (2017) or become the sole responsibility of the developer, as the existing site-specific ordinance requires at this time. The developer advised City Council it could not fund the entirety of the required roadway improvements and would need assistance, which would include the committed Traffic Generation Assessment fee credit, both for the one hundred four (104) home sites approved for Main Street Crossing, but also the future development of the commercial outlots to the west of the subject site. The City Council, in directing staff in this regard, referred the matter to the Planning and Zoning Commission to address the developer's request to allow the phasing of improvements or outright changes to them, so as to reduce cost and allow the project to proceed.

CURRENT REQUEST >>> To this end, the developer has identified a number of requested changes to the project's existing requirements relative to infrastructure and utilities to address the current, estimated costs associated with the roadway and utility related items. With these changes significant savings would occur and allow the project to proceed to its next phase, which includes the review and action of the Planning and Zoning Commission on the Site Development Plan. These items for consideration, as defined by the developer, include the following roadway and utility related improvements:

Cost Items – Main Street	Proposed Changes	Potential Savings
Street Lights	Alternating 75 foot spacing; no lights in street median	\$144,000.00
Utility Relocations	Request Ameren Missouri to absorb these costs, as they are related to development of City roads in public rights-of-way	\$130,000.00

Street Improvements (Street trees, sidewalks, handicapped ramps)	Costs to be paid by commercial outlots, when developed	\$128,151.00
Water Main	Remove cost for water main, per Missouri American Water Company e-mail	\$144,340.00

Cost Items – Eatherton Road	Proposed Changes	Potential Savings
Street Lights	Alternating 75 foot spacing	\$31,500.00
Utility Relocations	Request Ameren Missouri to absorb these costs, as they are related to development of City roads in public rights-of-way	\$140,000.00

Other Items	Proposed Changes
State Route 109 Improvements and Access Restrictions	<p>The current site-specific ordinance requires the developer to construct a roundabout at the property's frontage onto State Route 109 for access purposes. The City is now offering to fund this roundabout through a grant process, but will have to wait to the next funding cycle to apply. Therefore, some form of temporary access arrangement needs to be considered at this time.</p> <p>The current site-specific ordinance prohibits the use of Eatherton Road, until such time forty (40) percent of the building permits for the 104 homesites have been issued, which assumed the roadway improvements to State Route 109 would be completed by that stage of the development. Request this prohibition be removed from the ordinance, given the proposed access to the site is via a right-in/right-out curb cut onto State Route 109.</p>
Building Permit Limitations	The current site-specific ordinance requires all roadway improvements be completed, which would include Eatherton Road, Main Street, and State Route 109, before more than twenty (20) percent of the building permits for the dwellings are issued. Request this prohibition be modified in the ordinance to allow more dwellings to be completed.

These requested changes would amend the current governing ordinance for this site and, according to the developer, create the needed relief to allow the project to be fiscally achievable.

ANALYSIS >>> In considering these items, the Planning and Zoning Commission would have to first note that the Department of Planning, and this membership, defined all of these improvements and requirements to the developer at the start of the zoning process. In the first correspondence prepared by the City, it identified the level, type, and extent of these roadway and utility requirements, before the public hearing had been scheduled on the Regulating Plan change and associated rezoning and application of the Planned Residential Development Overlay District (PRD). The Commission makes note of this matter to assure the City Council that a developer has a full understanding of the City's requirements before beginning any zoning process in Wildwood, which leads to a great deal of resources and time being put forth by all parties.

In considering the items the developer has identified relative to this project, the Commission has determined the following in regards to each. These determinations are as follows:

Cost Items – Main Street	Proposed Changes	Commission's Position
Street Lights	Alternating 75 foot spacing; no lights in street median	<p>The developer is seeking a change to the spacing pattern of the planned street lighting, which is set forth in the Town Center Plan's Streetscape Requirements and corresponding Street Specifications.</p> <p>These two (2) sources for the design criteria of streets and roadways have been utilized in their current forms for all public improvements constructed in this special area, since its adoption in 1998. However, with the development of the first two (2) phases of the Manchester Road Streetscape Projects, both Phase I and Phase II, the City has used a different pattern of street light spacing due to cost and comparable benefit. The Planning and Zoning Commission approved the changes to the lighting design of these two (2) phases of the City's project, before implementation, given their respective inclusion in the Town Center Plan. The pattern of spacing was doubled, from seventy-five (75) feet to one hundred fifty (150) feet, but with the standards being staggered on opposite sides of the street or roadway to ensure no area along them has more than seventy-five (75) feet separation from a light source. This pattern has provided the needed lighting to address safety and visibility along these Town Center streets and roadways, while addressing a criticism of the early lighting pattern on Taylor Road, and others, as having too many lights and illumination.</p> <p>Accordingly, in the case of this current request, the Commission is supportive of the revised pattern of street light spacing being used for these planned Town Center streets. This allowance for an increase in the spacing allocations of streetlights is premised on the City's use of this same standard for its past and current projects, specifically on Manchester Road. Additionally, the spacing pattern provides the needed, and minimum, levels of illumination for safety and visibility on the streets of this project, which are the principal needs in this regard. Along with these reasons, the Commission believes this change also will assist to preserve the night sky of Wildwood by providing the minimum needed lighting, but no more than such.</p>
Utility Relocations	Request Ameren Missouri to absorb these costs, as they are related to development of City roads in public rights-of-way	<p>The developer has asked the City to address the costs of the utility relocations associated with the overhead electrical lines that parallel the eastern edge of the State Route 109 right-of-way and Eatherton Road. These electrical lines are so placed, and at a height, that makes the relocations of them essential for access to the site. The relocations of these lines, if developer driven due to its project, are costs that must be assumed by the private entity, not Ameren Missouri. This cost can be substantial, which is the reason the developer is seeking the City's assumption of these components, and would lead to reduced costs, since public projects do not have to compensate the utility for the line relocations.</p>

Cost Items – Main Street	Proposed Changes	Commission’s Position
		<p>This approach, from the developer's perspective, would provide major cost savings to it.</p> <p>Despite this developer’s request, the Commission does not believe this approach can be accommodated due to these relocations are not initiated by the City, nor includes any funding from Wildwood, and would not likely pass the review processes of Ameren Missouri. However, the City can certainly make the argument of the public benefit associated with these roadway projects, which have prompted the need for these utility relocations, but this request, if granted and accepted by Ameren Missouri, would inevitably lead to no new development ever being responsible for utility relocations in the future, if the City was always considered as the project source for new roadways and streets they require to address new demand created by development projects by initiated by private entities. Therefore, the request does not appear to be feasible, and does not require any change to the governing ordinance for this project. Regardless, the City can certainly ask Ameren Missouri about this matter.</p>
<p>Street Improvements (Street trees, sidewalks, handicapped ramps)</p>	<p>Costs to be paid by commercial outlots, when developed</p>	<p>The developer is also seeking the relief to completing all of the Main Street improvements associated with the required streetscape through a portion of the overall site, specifically, where the commercial outlots are planned. The roadway would make a complete connection between Eatherton Road and State Route 109, but not be consistent in character along its length. This relief includes the streetlights, trees, tree grates, and furniture.</p> <p>Along with these improvements associated with the required streetscape for Main Street, the developer is also noting the need to minimize the pedestrian facilities in this same area as well, including handicap ramps. Collectively, the developer would construct the currently required Main Street improvements through the eastern portion of the site, but not for its entire length, thereby leaving the remaining improvements to a future time, again when the commercial outlots are developed for use.</p> <p>The Commission does not support this request for relief from the ordinance identified requirements for all of Main Street. The need for a completed street, including pedestrian facilities, is necessary, given the eventual addition of one hundred four (104) new homesites upon the overall site. Additionally, there is no timeline for the development of the commercial outlots, so such could happen very quickly or take many years. This undetermined timeline would create major safety considerations for the future and lessen the efficiency and function of the overall use of the roadway. This non-support is also premised on creating a non-accessible route, when no community should ever ignore the need to create accessible facilities for those individuals and groups with special needs.</p>

Cost Items – Main Street	Proposed Changes	Commission’s Position
		<p>Additionally, the City, in the past, has required completed and full improvements to roadways to service Town Center Area, regardless of cost or other factors. Taylor Road, between State Route 100 and Manchester Road, was a requirement of Dierbergs Markets to complete and had to meet the improvement levels of the Street Specifications and Streetscape Requirements of the Town Center Plan. Therefore, for consistency and equitability, the Commission does not believe allowing a lesser street to be constructed on such an important roadway connection is appropriate.</p>
Water Main	Remove cost for water main per Missouri American Water Company e-mail	<p>The current language in the site-specific ordinance states as follows: “The developer shall provide verification from the Missouri American Water Company that service to this subdivision can be provided at acceptable levels relative to the density of the project and not cause service issues to other households served by the same.” Although the Commission is just ensuring that adequate potable water is available to the new development, while not impacting existing residences in the vicinity, it will not support any action that leads to a less than cohesive system for all public utilities that not only fails to meet current demands, but future needs. This consideration is premised on certain developments and residential subdivisions in the area struggling with appropriate water pressures and flows to address minimum fire standards, as well as quality of life issues. Therefore, the Commission is not recommending any change to the current language in the site-specific ordinance, but would also seek the direction of the Metro West Fire Protection District in this regard, before the Site Development Plan is acted upon by it.</p>

Cost Items – Eatherton Road	Proposed Changes	Commission’s Position
Street Lights	Alternating 75 foot spacing	<p>The developer is seeking a change to the spacing pattern of the planned street lighting, which is set forth in the Town Center Plan’s Streetscape Requirements and corresponding Street Specifications.</p> <p>These two (2) sources for the design criteria of streets and roadways have been utilized in their current forms for all public improvements constructed in this special area, since its adoption in 1998. However, with the development of the first two (2) phases of the Manchester Road Streetscape Projects, both Phase I and Phase II, the City has used a different pattern of street light spacing due to cost and comparable benefit. The Planning and Zoning Commission approved the changes to the lighting design of these two (2) phases of the City’s project, before implementation, given their respective inclusion in the Town Center Plan. The pattern of spacing was doubled, from seventy-five (75) feet to one hundred fifty (150) feet, but with the standards being staggered on opposite sides of the street or roadway to ensure no area along them has more than seventy-five (75) feet separation from a light source.</p>

Cost Items – Eatherton Road	Proposed Changes	Commission’s Position
		<p>This pattern has provided the needed lighting to address safety and visibility along these Town Center streets and roadways, while addressing a criticism of the early lighting pattern on Taylor Road, and others, as having too many lights and illumination.</p> <p>Accordingly, in the case of this current request, the Commission is supportive of the revised pattern of street light spacing being used for these planned Town Center streets. This allowance for an increase in the spacing allocations of streetlights is premised on the City’s use of this same standard for its past and current projects, specifically on Manchester Road. Additionally, the spacing pattern provides the needed, and minimum, levels of illumination for safety and visibility on the streets of this project, which are the principal needs in this regard. Along with these reasons, the Commission believes this change also will assist to preserve the night sky of Wildwood by providing the minimum needed lighting, but no more than such.</p>
Utility Relocations	Request Ameren Missouri to absorb these costs, as they are related to development of City roads in public rights-of-way	<p>The developer has asked the City to address the costs of the utility relocations associated with the overhead electrical lines that parallel the eastern edge of the State Route 109 right-of-way and Eatherton Road. These electrical lines are so placed, and at a height, that makes the relocations of them essential for access to the site. The relocations of these lines, if developer driven due to its project, are costs that must be assumed by the private entity, not Ameren Missouri. This cost can be substantial, which is the reason the developer is seeking the City’s assumption of these components, and would lead to reduced costs, since public projects do not have to compensate the utility for the line relocations. This approach, from the developer’s perspective, would provide major cost savings to it.</p> <p>Despite this developer’s request, the Commission does not believe this approach can be accommodated due to these relocations are not initiated by the City, nor includes any funding from Wildwood, and would not likely pass the review processes of Ameren Missouri. However, the City can certainly make the argument of the public benefit associated with these roadway projects, which have prompted the need for these utility relocations, but this request, if granted and accepted by Ameren Missouri, would inevitably lead to no new development ever being responsible for utility relocations in the future, if the City was always considered as the project source for new roadways and streets they require to address new demand created by private development projects initiated by private entities. Therefore, the request does not appear to be feasible, and does not require any change to the governing ordinance for this project. Regardless, the City can certainly ask Ameren Missouri about this matter.</p>

Other Items	Proposed Changes	Commission's Position
<p>State Route 109 Improvements and Access Restrictions</p>	<p>Allow for a right-in/right-out access point onto State Route 109, in lieu of the current roundabout, for temporary use into/out of the site.</p> <p>Request this prohibition be removed from the ordinance restricting access to Eatherton Road, given the proposed main access point into site is via a right-in/right-out curb cut onto State Route 109.</p>	<p>The Commission, given the City's desire to oversee and complete the State Route 109 improvements along this site's frontage, is supporting a modification to the current governing ordinance to allow for a temporary access point onto this roadway, while the roundabout is pursued through other channels, including grant funding and the development of surrounding properties in the future. However, this allowance would be premised upon the developer meeting all of the Missouri Department of Transportation's (MoDOT) requests for additional information, studies, and improvements set forth hereafter. If the developer does not meet these requirements, the Commission would not support proceeding forward in this manner.</p> <p>The current language of the site-specific ordinance prohibits the use of Eatherton Road for access purposes to the new homes, until at least forty (40) percent of them are completed, which was intended to correspond to the completion of the roundabout at the site's frontage onto State Route 109. The Commission is wary of allowing too much traffic onto Eatherton Road, given its current design and capacity. However, it recognizes the need to allow for potential access at some point sooner than forty (40) percent of the building permits being issued for the project. Accordingly, the Commission is recommending the forty (40) percent requirement be eliminated, but the prohibition on the use of Eatherton Road for construction traffic remain in place, as-is, while requiring the minimum level of roadway improvements be completed, so as to provide multiple locations of ingress/egress. This approach would still allow for an amount of time for the developer and the City to address the State Route 109 access issue with the roundabout and determine if all of the remaining portions of Eatherton Road could be constructed to a new standard that would better accommodate increased traffic upon it.</p>
<p>Building Permit Limitations</p>	<p>Modify the current site-specific ordinance's language that requires all roadway improvements be completed, which would include Eatherton Road, Main Street, and State Route 109, before more than twenty (20) percent of the building permits for the dwellings are issued.</p>	<p>Given the fluid nature of the roadway components of this project, and the inability of the developer to meet them, the Commission is willing to address this request by amending the percentage to a higher level, which again provides all of the parties an opportunity for more time.</p>

SUMMARY AND RECOMMENDATION >>> The Planning and Zoning Commission is supporting a limited extent of the requested changes sought by the petitioner in this case. These changes are necessary, given the direction of the City Council from its action on the developer's request for

public finance incentives, while recognizing the need to minimize potential impacts to existing neighborhoods in the vicinity of the site. These changes provide more flexibility to the developer and reduce costs. Accordingly, the Planning and Zoning Commission is recommending Planned Residential Development Overlay District Ordinance #2116 be amended to read as follows:

1. PERMITTED USES

- a. This Planned Residential Development (P.R.D.) Overlay District shall authorize the maximum development of one hundred four (104), detached single family dwellings on individual lots, with common ground and public space, and all permitted accessory structures normally found in conjunction with the primary use of each of the allowable residential properties.

2. LOT SIZES, DEPTHS, AND BUILDING REQUIREMENTS

- a. Each detached dwelling unit shall be located on an individual lot of record that is a minimum of 4,000 square feet in size. The minimum width of any lot within this P.R.D. Overlay District shall be forty (40) feet in distance, except for those properties located within a cul-de-sac, which shall be as approved by the Planning and Zoning Commission on the Site Development Plan. These lot widths shall be measured at the front building line.
- b. All detached single family dwellings shall have a minimum finish floor elevation of their front porches of eighteen (18) inches in height above the adjoining sidewalk grade. All dwelling units shall have a front porch, which must extend across at least twenty percent (20%) of the façade's elevation facing the frontage line, at a minimum depth of no less than six (6) feet. No building facade shall show more than four (4) corners to the frontage line or as approved by the Architectural Review Board on the required elevations.
- c. No building and/or structure shall be more than two (2) stories above final grade, as measured from the front building line on any individual lot.
- d. Direct residential drive access shall be allowed for up to seventy-six (76) of the single family detached units within this development from the system of internal streets, but the garage door(s) on each unit must be a minimum of six (6) feet behind an imaginary line formed by an extension of the front elevation of the dwelling (including the front porch) parallel to the lot's frontage. Individual garage doors shall not be greater than twenty (20) feet in width and must be carriage types, including windows, and incorporate other architectural treatments, as determined by the City's Architectural Review Board to be appropriate, to lessen their prominence within the visual corridor formed by these interior streets within the development, unless a suitable alternative design is provided for these openings. The developer shall provide a minimum of two (2) options that incorporate these requirements to the Planning and Zoning Commission for its consideration, as part of the Site Development Plan review and action process, regarding the front of the garages that further reduces their prominence from the abutting street view. Architectural type shingle selections shall be required on all residential units of a minimum thirty (30) year standard.

- e. The New Urbanism lots that are part of this Planned Residential Development Overlay District boundary shall be accessed by service lanes (alleys) that comply in their construction with the Street Specifications of the Town Center Plan. These service drives shall provide access to rear loaded garages that must be provided, as part of any single-family detached dwelling, for a minimum of twenty-eight (28) of the allowable one hundred four (104) lots. These lots do not need to incorporate the garage-offset distance noted in Condition 2(d.) of this Ordinance.
- f. The first story, interior clear height for all single family dwellings shall be not less than **nine (9) feet**.
- g. Detached single family dwelling units, which face the frontage line, but also places the side of the building along another right-of-way, shall be designed to incorporate the elements of the front facade along that portion of the structure. The placement and design of these units shall be approved by the Planning and Zoning Commission on the Site Development Plan and the elevations of these units by the Architectural Review Board.
- h. The proposed architectural design, character, and style of all buildings and dwelling units shall adhere to the City of Wildwood's Town Center Architectural Guidelines, Neighborhood Design Standards, and any other applicable requirements of the Town Center Plan, excepting no vinyl siding shall be allowed on any dwelling unit within the boundaries of this Planned Residential Development Overlay District (PRD). All materials used on any facade of a residential unit shall be fiber cement siding and backer board. Approval of the required design shall be by the Architectural Review Board. Minimally, all buildings shall maintain a consistent theme throughout the boundaries of this Planned Residential Development Overlay District in terms of material, color, and style.
- i. The overall area of this Planned Residential Development Overlay District (PRD) shall be no less than twenty-eight (28) acres and no greater than 28.5 acres.

3. PLAN SUBMITTAL REQUIREMENTS

Within twelve (12) months of the P.R.D. Overlay District approval by the City Council, and prior to any site disturbance, the developer shall submit to the Planning and Zoning Commission for their review and approval a Site Development Plan. Where due cause is shown by the developer, time intervals may be extended once by the Planning and Zoning Commission in accord with requirements of Section 420.060 of the City of Wildwood Zoning Ordinance. Said Site Development Plan shall include, but not be limited to, the following information:

- a. Outboundary plat and legal description of the property.
- b. A general numbered lot plan with setback lines from all streets and roadways on and adjacent to the property. A typical lot diagram, indicating all site design information such as, but not limited to, right-of-way width, improvement dimensions and locations, setbacks, and building placement.

- c. The location and size of all parking areas, pavement widths, and right-of-way dedications of all internal roadway improvements and drives.
- d. A general plan indicating setback lines along the perimeter of the subject tract of land and surrounding property lines and related improvements within four hundred (400) feet of this site's boundaries.
- e. Location of all roadways adjacent to the property, including required roadway right-of-way dedication and pavement widening with existing and proposed improvements, and general location, size, right-of-way, and pavement width of all interior drives.
- f. The location and size of all freestanding signs, lighting, fences, sidewalks, and other above ground structures, except retaining walls less than two (2) feet in height per section.
- g. Existing and proposed contours at vertical intervals of not more than two (2) feet.
- h. General location of sanitary sewer facilities.
- i. Parking and density calculations.
- j. Conceptual location and size of common ground areas.
- k. A typical section of the proposed road indicating the placement and design of required streetscape improvements.
- l. A Landscape Plan including, but not limited to, the location, size, and general type of plant materials to be used in accord with the City of Wildwood's Ordinance 410 and accompanying Tree Manual.
- m. An inventory of the percent of tree canopy or individual trees to be retained on the site.
- n. Location of all existing and proposed easements.
- o. All other information not mentioned above, but required on a preliminary plat in accord with Section 420.060 of the City of Wildwood Subdivision and Development Regulations.

If the Planning and Zoning Commission determines, through its standard review processes, the Site Development Plan cannot be acted upon due to non-compliance to the site-specific ordinance, the Zoning Ordinance, or other land use regulations applicable to this type of subdivision, as interpreted by it, then the Regulating Plan changes, the rezoning of the subject site, and the application of the Planned Residential Development Overlay District shall not remain effective thereafter and the City must initiate the revocation process described in the Zoning Ordinance for this type of circumstance.

4. SITE DEVELOPMENT PLAN DESIGN CRITERIA

The above Site Development Plan shall adhere to the following specific design criteria:

Build-To Lines - Residential

- a. Any building or structure, other than boundary and/or retaining walls, fences, detention facilities, and/or light standards, shall adhere to the following build-to lines, as specified in the Town Center Plan's Neighborhood Design Standards:
 - (1) **Twenty (20)** feet from any right-of-way line.
 - (2) **Five (5) feet** for any side yard property line and ten (10) feet for side yard areas that abut the perimeter of the Planned Residential Development Overlay District.

- (3) Fifteen (15) feet from any rear yard property line and thirty (30) feet for rear yard areas that abut the perimeter of the Planned Residential Development Overlay District.

Parking Setbacks – Residential

- b. All parking stalls or loading spaces, excluding points of ingress or egress for the detached dwelling units, shall be located behind the front elevation of the dwelling a minimum of twenty-five (25) feet. Driveway widths serving these required parking spaces, specifically between the edge of the public right-of-way and the front building line, shall be as approved by the Planning and Zoning Commission on the Site Development Plan, but be minimized in their respective distances to the greatest extent possible.

Access and Roadway Improvements

- c. Dedicate the required amount of right-of-way and/or easements along this property's State Route 109 frontage to the Missouri Department of Transportation (MoDOT) for public roadway purposes, *which shall incorporate the ultimate design for the planned installation of a roundabout and related items, while constructing a temporary, right-in/right-out access point ~~a roundabout and related channelization island(s) and other improvements required therein.~~* Improvements, *whether temporary or permanent in nature*, to State Route 109 shall conform to the requirements of the Missouri Department of Transportation (MoDOT) and the City of Wildwood's Street Specifications of the Town Center Plan, as directed and approved by the State of Missouri and the City of Wildwood's Department of Public Works. ~~All streetscape requirements (street trees, lights, signs, waste receptacles, benches, and other items consisting of approved materials) shall be installed by the developer, as specified by the City of Wildwood's Town Center Plan within the right-of-way of State Route 109 and directed by the Department of Public Works.~~
- d. Establish a minimum seventy (70) foot wide public right-of-way for the construction of Main Street within the site, for a total of thirty-four (34) feet of pavement area (inclusive of the concrete vertical curb and gutter and grass median) and five (5) foot sidewalks on both sides of this internal roadway, which adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan. Along with this dedication of seventy (70) feet of right-of-way, the developer shall provide a five (5) foot wide roadway, maintenance, landscaping, sewer, sidewalk, and utility easement along both sides of this public dedication area. All streetscape requirements (street trees, lights *(spacing of lights on one (1) side of any street/roadway shall be no greater than one hundred fifty (150) feet in distance)*, signs, waste receptacles, benches, and other items consisting of approved materials) shall be installed by the developer, as specified by the City of Wildwood's Town Center Plan within the right-of-way of Main Street and directed by the Department of Public Works.

- e. Complete the necessary dedication of land area within this subject site for public right-of-way purposes associated with the internal network of streets. These dedications for public rights-of-way shall be used for the construction by the developer of a network of internal residential streets for service to the authorized lots. These dedications shall be a minimum of forty (40) feet in width to accommodate the construction of two (2) lanes of asphalt roadway, with concrete curb and gutter, and five (5) foot wide sidewalks, including a three (3) foot tree lawn area, which all adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan. Along with this dedication of these rights-of-way areas, the developer shall provide a five (5) foot wide roadway, maintenance, landscaping, sewer, sidewalk, and utility easement along both sides of this public dedication area. All streetscape requirements (street trees, lights, signs, waste receptacles, benches, and other items consisting of approved materials) shall be installed by the developer, as specified by the City of Wildwood's Town Center Plan within the rights-of-way of these unnamed streets and directed by the Department of Public Works.
- f. Dedicate the required amount of right-of-way and/or easements along this property's Eatherton Road frontage to the City of Wildwood, Missouri for public roadway purposes and for the construction of required roadway improvements, which include a widening of a minimum of five (5) feet in width, a five (5) foot wide sidewalk, and street trees and lights, including a minimum three (3) foot wide tree lawn area for these improvements. A future roundabout, and related channelization islands and other improvements required therein, shall not be required, but the dedication of right-of-way for such shall be made at the time of the Record Plat. Improvements to Eatherton Road shall conform to all of the requirements of the City of Wildwood's Street Specifications of the Town Center Plan, as directed and approved by the City of Wildwood's Department of Public Works. All streetscape requirements (street trees, lights, signs, waste receptacles, benches, and other items consisting of approved materials) shall be installed by the developer, as specified by the City of Wildwood's Town Center Plan within the right-of-way of Eatherton Road and directed by the Department of Public Works.
- g. Extend all existing stub streets abutting the subject site into it and these extensions shall adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan. These stub street extensions shall include Larksong Drive South, Kilare Lane, and Grover Ridge Drive. Safety components determined necessary for any stub street extension shall be indicated on the Site Development Plan and reviewed and acted upon by the Planning and Zoning Commission.
- h. Dedicate a minimum forty (40) foot wide strip of land on the subject site for a future street connection to the south, which shall be as approved by the Planning and Zoning Commission on the Site Development Plan. The location of this planned stub street shall be generally in the southeast corner of the subject site, approximately 370 feet to the west of existing

Eatherton Road. Within this dedication of public right-of-way, construct a roadway that shall adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan.

- i. Complete the necessary dedication of land area within this subject site for private access purposes. These dedications for private purposes shall be used for the construction by the developer of a system of lanes/alleys for service to the authorized lots. These dedications shall be a minimum of twenty-two (22) feet in width to accommodate the construction of a lane/alley, which all adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan.
- j. Any planned traffic island/cul-de-sac shall be designed and constructed by the developer of this residential subdivision in accordance with City of Wildwood standards, and as directed by the Department of Public Works. The Planning and Zoning Commission, on the Site Development Plan, shall approve the final design of this traffic calming improvement.

Miscellaneous Roadway Requirements

- k. Installation of landscaping and ornamental entrance monument or identification signage, if proposed, shall be reviewed by the Department of Public Works for sight distance considerations and approved prior to its installation or construction.
- l. If required sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to vertical alignment and other off-site improvements, may be required to provide the required sight distance as directed by the Department of Public Works.
- m. **Construction access shall be from State Route 109 during the development of this site, not via the Cambury Subdivision or Eatherton Road.**
- n. Sidewalks shall be required on all public and private streets (parking lot aisles) and provide for a continuous and logical layout of this pedestrian network. Design and construction requirements for all sidewalks within the entire development shall be as established in the Street Specifications and Streetscape Elements of the Town Center Plan. Approval of their location, design, and material shall be by the Planning and Zoning Commission, as part of the Site Development Plan review process.
- o. The developer is advised that utility companies will require compensation for relocation of their utility facilities within public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's Traffic Generation Assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior

to completion of roadway improvements. *The City of Wildwood will assist, where applicable, with the discussions on said utility requirements, so as to minimize delays and costs to the developer. Any decision in this regard shall be acted upon by the City Council, if funding is associated with such.*

- p. All internal streets, access drives, or lanes, whether public or private, shall comply with the Streetscape Requirements of the Town Center Plan in terms of improvements, such as drive lane widths, sidewalks, stormwater drainage facilities, garden walls, street trees and lights, and pedestrian furniture. If certain streets, drives, or lanes are to be private, an easement shall be provided to the City granting public use of them for pedestrian and vehicular purposes. These easements shall be granted at the time of the Record Plat approval by the City Council.

Parking Requirements - Residential

- q. Parking spaces shall be provided as required by the Town Center Plan's Neighborhood Design Standards and Section 415.340 Off-Street Parking and Loading Requirements of the City of Wildwood Zoning Ordinance for the R-4 7,500 square foot Residence District.

Landscape Requirements - Specific

- r. Landscaping shall adhere to all requirements of Ordinance 410 and its accompanying Tree Manual, including the submittal of a Tree Preservation Plan in conjunction with the Site Development Plan.
- s. All streets, roads, and lanes shall be appropriately landscaped as required by the Streetscape Design Requirements of the Town Center Plan and approved by the Planning and Zoning Commission on the Site Development Plan.
- t. The areas of existing vegetation within the P.R.D. Overlay District boundaries identified as to be retained shall be marked on the site prior to the commencement of any disturbance in accord with the City of Wildwood's Ordinance 410. These areas shall be indicated on the Site Development Plan submitted to the City of Wildwood for Planning and Zoning Commission review and approval. Existing mature tree canopy shall be preserved in accordance with the requirements of City of Wildwood's Ordinance 410 Tree Preservation and Restoration Code.
- u. Landscaping within the defined common ground areas shall comply with Ordinance 410 Tree Preservation and Restoration Code requirements and accompanying Tree Manual. The Planning and Zoning Commission, on the Site Development Plan, shall approve the planting pattern. Amenities, such as benches, lights, and walking paths shall be installed in the open space area of the residential development by the developer of these one hundred four (104) dwelling units.

- v. The developer shall provide a minimum ten (10) foot wide, landscape buffer strip, within a perpetual easement dedicated to the Homeowners Association for its maintenance and care, along the entire southern boundary of the site, and upon individual rear lot areas, for plantings, as reviewed and acted upon by the Planning and Zoning Commission.
- w. A Landscape Architect shall sign and submit all plans for review and approval for this mixed-use development.

Signs - Residential

- x. Signs for this P.R.D. Overlay District shall be erected in accordance with the Town Center Plan Architectural Guidelines and Section 415.410 Sign Regulations of the City of Wildwood Zoning Ordinance for the R-4 7,500 square foot Residence District.
- y. The location of all signage shall be as approved on the Site Development Plan by the Planning and Zoning Commission. Signage not located on common ground must be erected within an easement.

Lighting Requirements

- z. The location of all lighting standards shall be as approved on the Site Development Plan. No on-site illumination source shall exceed sixteen (16) feet in height or be so situated that light is cast directly on adjoining properties. Illumination levels for all lighting shall comply with the provisions of the City of Wildwood's Zoning Code, Section 415.450 "Outdoor Lighting Requirements." A Lighting Study shall be submitted in conjunction with the Site Development Plan indicating compliance to these requirements. The Planning and Zoning Commission shall approve the location, design, and appearance of all light standards and fixtures as part of the Site Development Plan review process.

Miscellaneous Conditions

- aa. The design, color, material, and location of all garden and screen walls or fences, if planned or required, shall be consistent with the requirements of the Town Center Plan's Architectural Guidelines and be shown on the Site Development Plan for review and action by the Planning and Zoning Commission and the Architectural Review Board.
- bb. Improvements associated with public infrastructure, such as roadways, sidewalks, and access points, shall comply with general design principles that will provide for safe and efficient movement of traffic in and around these sites and improve overall circulation in the area. These improvements shall be reviewed and approved by the Department of Public Works.

- cc. Hours of construction and grading activity shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday, and 8:00 a.m. to 6:00 p.m. on Saturday. No development (grading and construction) activity shall be authorized on Sundays.
- dd. All retaining walls exceeding three (3) feet in height per section or crossing individual property lines shall be constructed of an appropriate inter-locking concrete block system. Walls crossing property lines shall be located in a maintenance easement. The design, color, material, and location of all walls shall be consistent with the requirements of the Town Center Plan's Architectural Guidelines and be shown on the Site Development Plan for review and action by the Planning and Zoning Commission.
- ee. The location of all utility easements for proposed service to this development shall be as approved by the Planning and Zoning Commission on the Site Development Plan. All utilities installed to serve this site shall be placed underground, including any existing overhead lines located on the subject property.
- ff. Access to Eatherton Road from this Planned Residential Development Overlay District, e.g. any street or alley, including Main Street, shall not be authorized, **until such time as all necessary street and roadway improvements, including temporary access to State Route 109, have been completed to an acceptable minimum level to the Missouri Department of Transportation (MoDOT) and the City of Wildwood.** ~~forty (40) percent of the authorized units within its boundaries are owner-occupied.~~ Until this threshold is reached, access shall be restricted/blocked to Eatherton Road, as shown on the Site Development Plan and reviewed and acted upon by the Department of Public Works and the Planning and Zoning Commission. Specifications for the manner in which access shall be controlled to Eatherton Road shall be at the discretion of the City of Wildwood, but all costs associated with such are the responsibility of the developer.

5. TRAFFIC GENERATION ASSESSMENT FEE

The developer shall contribute to the East Area Traffic Generation Assessment Trust Fund established by Section 140.210 of the City of Wildwood's Revised Codes. This assessment must be paid in full at the time of the first Zoning Authorization for any building or structure or when the individual issuances of building permits for the authorized lots are approved. This contribution shall not exceed the amount established by multiplying the number of parking spaces provided by the following rate:

<i>Type of Development</i>	<i>Required Contribution</i>
Single Family Dwelling (detached)	\$1,055.10/Parking Space

(Parking space is defined by Section 415.280 of the City of Wildwood Zoning Code.)

If type of development proposed differ than those listed, rates shall be provided by the Department of Public Works.

As this development is located within a Trust Fund area established by the City of Wildwood, any portion of the traffic generation assessment contribution, which remains, following completion of roadway improvements required by the development shall be retained in the appropriate trust fund.

The amount of this required contribution, if not submitted by January 1, 2016, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accord with the construction cost index as determined by the City of Wildwood Department of Public Works.

The Planning and Zoning Commission is recommending these fees be credited to the developer for use for the purposes of assisting with completion of required improvements within the right-of-way of State Route 109 and the off-site portion of the Main Street right-of-way. The granting of these credits is at the sole discretion of the City Council.

6. VERIFICATIONS PRIOR TO APPROVAL OF THE SITE DEVELOPMENT PLAN

Prior to approval of the Site Development Plan, the developer shall provide the following:

Stormwater Improvements

- a. Submit to the Planning and Zoning Commission an engineering plan approved by the City of Wildwood Department of Public Works and the Metropolitan St. Louis Sewer District showing that adequate handling of the stormwater drainage of the site is provided.
 1. The developer is required to provide adequate stormwater systems in accordance with the City of Wildwood and the Metropolitan St. Louis Sewer District standards.
 2. All stormwater shall be discharged at an adequate natural discharge point.
 3. Retention/detention of differential runoff of stormwater shall be required. Stormwater management shall be provided in permanent retention/detention facilities, such as ponds or other acceptable alternatives. These retention/detention facilities shall be completed and in operation prior to the issuance of building permits for an approved dwelling unit, except display lots.
 4. All proposed retention/detention facilities and related stormwater improvements shall be located in a common ground area and insure perpetual maintenance to the Homeowners Association to be created at the time of platting of this development.
 5. The developer of this site shall be solely responsible to provide the necessary mechanisms, as part of the Site Development Plan/Improvement Plan process, to implement "best management practices" for stormwater management and the construction of related facilities. Minimally, these practices/facilities should include rain gardens, vegetative swales, and other options to substantially reduce the amount of stormwater leaving the subject site.

6. The developer shall provide adequate detention and/or hydrologic calculations for review and approval of all stormwater that will encroach on City of Wildwood/Missouri Department of Transportation (MoDOT) rights-of-way.
7. A bond or letter of credit will be required by the City of Wildwood to cover any downstream damage to abutting or adjacent properties, common ground areas, or drainageways caused by the developers' use of this subject site (land/disturbance/grading/construction activities, etc.), which shall be used for the restoration of damaged areas to their pre-development condition, if the developers fail to meet their responsibilities in this regard. The amount of this bond and the establishment of the process for creating an accurate baseline condition for the existing downstream facilities shall be at the discretion of the City of Wildwood Department of Public Works, in conjunction with input from the petitioner's engineer.

Geotechnical Report

- b. Provide a Geotechnical Report covering development and grading required by improvements involved with this site, as directed by the Department of Public Works. Said report shall verify the adaptability of grading and improvements with soil and geologic conditions which are susceptible to rapid erosion, landslide, and/or creep. A statement of compliance with this study, signed by the Geotechnical Engineer preparing the report, shall be included on all Site Development Plans. The development and construction plans shall be designed to conform to the requirements and conditions of the Geotechnical Report. The Geotechnical Engineer shall be required to sign and seal all plans with a certification the proposed construction will be completed in accordance with the grading and soils requirements and conditions contained in the report.

Stormwater Pollution Prevention Plan

- c. Submit a Stormwater Pollution Prevention Plan, as part of the Site Development Plan review process, indicating compliance to all Federal, State, and local requirements regarding the management of stormwater runoff to prevent siltation and erosion, while preserving water quality, both upon the site and on downstream properties.

Natural Resource Protection Plan

- d. Provide a revised and final copy of the Natural Resource Protection Plan indicating all areas of the site, which are to be designated as protected and not developable. This revised and final copy of this map shall be reviewed and signed by a qualified soil scientist, who completed the analysis, and a statement indicating compliance with all the requirements of Section 1005.200 of the City of Wildwood's Subdivision and Development Regulations.

Environmental Assessment – Phase One

- e. The developer shall provide to the Planning and Zoning Commission, as part of the Site Development Plan submittal package, a Phase I Environmental Assessment Report of the property, which indicates its current condition relative to its past utilization by other owners. Determination regarding any required mediation shall be identified and completed, prior to the approval of the Record Plat and before the occupancy of any residential unit, all being in accordance with State and federal standards and guidelines, as set forth by the United States Environmental Protection Agency (EPA) and the Missouri Department of Natural Resources (MDNR), for any determined contaminant exceeding a residential cleanup standard/guideline, with the cost borne for such by the developer and not the City of Wildwood.

Floodplain Study and Plans

- f. The developer shall provide a floodplain/wetlands study to the Department of Public Works indicating compliance to the requirements of the City of Wildwood, the U.S. Army Corp of Engineers, and the Federal Emergency Management Agency (FEMA) regarding disturbance or development in the protected waterways and floodplain areas. This study shall minimally provide information relating to disturbance of any protected area and be reviewed and acted upon by the Department of Public Works, as part of the Site Development Plan submittal process.

7. RECORDING

Within ninety (90) days of approval of the Site Development Plan by the Planning and Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

8. VERIFICATION PRIOR TO PERMITS

Notification to Department of Planning

- a. Subsequent to approval of the Site Development Plan and prior to issuance of any grading, foundation, or building permit, all approvals from the Department of Public Works (Wildwood), the Missouri Department of Transportation, the Metro West Fire Protection District, the Missouri Department of Natural Resources, and the Metropolitan St. Louis Sewer District must be received by the Department of Planning.
- b. Prior to the issuance of a foundation or building permit for any lot, which adjoins the common ground area and/or detention, basin, written certification from a Professional Engineer which verifies these areas are graded in accordance with the approved plans, must be received by the Department of Planning.

Roadway Improvements

- c. Improvements to State Route 109 and Eatherton Road must be completed prior to the issuance of building permits in excess of **fifty (50)** ~~twenty (20)~~ percent of the units. **These required improvements may be credited against the overall Traffic Generation Assessment Fee (TGA) charge associated with these allowable residential units, if authorized by the City Council.** Any delays in utility company relocation and adjustments will not constitute a cause to allow occupancy prior to completion of roadway improvements.

Land Subdivision

- d. Record a proper subdivision of the property and comply with all other applicable Subdivision and Development Regulations sections affecting the development of land, except as otherwise specified by this ordinance.

Indentures

- e. With the filing of the record plat establishing separate lots, the developer shall record an approved indenture, which defines the necessary assessments and specific trustee obligations in accord with provisions of Section 415.470 and 415.510 of the City of Wildwood Zoning Code.

Escrow Requirements

- f. All improvement and landscaping costs shall be submitted to the City of Wildwood through the standard subdivision escrow procedures.

Improvement Plans

- g. The developer of this residential subdivision shall provide to the City Improvement Plans indicating construction details relative to public and private infrastructure associated with its development. Said plans will be used to calculate escrow requirements for these identified improvements.

Sanitary Sewage System

- h. The developer shall provide verification from the Metropolitan St. Louis Sewer District that public sewer service has been provided to this site. Verification shall be in a form acceptable to the City of Wildwood.

Potable Water Service

- i. The developer shall provide verification from the Missouri American Water Company that service to this subdivision can be provided at acceptable levels relative to the density of the project and not cause service issues to other households served by the same.

9. GENERAL DEVELOPMENT CONDITIONS

- a. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
- b. A grading permit is required prior to any grading on the site. Interim stormwater drainage control in the form of salutation control measures is required.
- c. A copy of the most recently approved Site Development Plan for this P.R.D. Overlay District development shall be prominently displayed at all times in all sales offices for this development.
- d. The petitioner shall be responsible for obtaining all necessary permits from the Department of Natural Resources Clean Water Commission as they relate to the development of this tract of land.
- e. If cut and fill operations occur during a season not favorable for immediate establishment of a permanent ground cover, a fast germinating annual, such as Rye or Sudan Grasses, shall be utilized to retard erosion.
- f. Failure to comply with any or all of the conditions of this ordinance shall be adequate cause for revocation of permits by issuing City of Wildwood Departments or Commissions.
- g. The Zoning Enforcement Officer of the City of Wildwood, Missouri, shall enforce the conditions of this ordinance in accord with Site Development Plans approved by the Planning and Zoning Commission and the Department of Planning.
- h. Any other applicable zoning, subdivision, or other regulations or requirements of the City, whether in effect at the adoption of this ordinance or as may be hereinafter adopted, shall further apply to the development of this property as authorized by this Planned Residential Development Overlay District Ordinance, except as may be provided by law. Nothing herein shall be deemed a waiver of any subdivision, zoning or other development regulation of the City whether by implication or reference.
- i. This zoning approval is conditioned on compliance with the Zoning Code, Subdivision Code, and all applicable laws of the City. Such additional regulations are supplemental to the

requirements herein and no modification of any applicable regulations shall result from this Planned Residential Development Overlay District ordinance, except where this ordinance has expressly modified such regulations by reference to the applicable provision authorizing such modification.

10. PUBLIC SPACE REQUIREMENTS

- a. Developer shall construct improved public space in conformance with or otherwise satisfying the requirements of the City's Public Space Ordinance, Chapter 415.260 and 415.270 of the City of Wildwood's Zoning Ordinance. The City Council accepts the findings of the Public Space Study adopted therein and determines the compliance with the Public Space Ordinance provisions will address the impact of this specific development on public space needs in a manner and amount that is equal to less than an amount that is roughly proportional to the actual or anticipated impact. The installation of required public space improvements shall be as required by the applicable ordinances, but shall be completed prior to issuance of any occupancy (temporary or final) permit for the authorized by this ordinance. Unless otherwise approved pursuant to the procedures set forth in the Public Space Ordinance, the public space attributable to this development, based upon the number of authorized dwelling units at a rate of 1,742.4 square feet per new single family dwelling.

Respectfully submitted,
CITY OF WILDWOOD PLANNING AND ZONING COMMISSION

R. Jon Bopp, Chair

ATTEST:

Joe Vujnich, Director
Department of Planning

Cc: The Honorable Timothy Woerther, Mayor
Council Members Garritano and Goodson, Ward Eight
Ryan S. Thomas, P.E., City Administrator
John A. Young, City Attorney
Kathy Arnett, Assistant Director of Planning and Parks
Travis Newberry, Planner
Tom Cummings, Representative of the Developer – Payne Family Homes

PUBLIC FINANCING APPLICATION AND REPORT



WILDWOOD

PRIMER

PUBLIC FINANCING PROPOSAL

Proposal 2015-01

Payne Family Homes

(Main Street Crossing Project)

City of Wildwood, Missouri

Development Finance Group's Recommendation

Issue Date – June 13, 2016

“Planning Tomorrow Today®”

The Development Finance Group (DFG) has been meeting on a regular basis to address the requests of City Council on a proposal by Payne Family Homes (“PFH”) to the City of Wildwood for the Main Street Crossing Project. These requests from the City Council were set forth during its meeting on this matter that was held on March 14, 2016. Specifically, the City Council was seeking more information on the costs of the roadway improvements prompting the developer's request and how these costs could be allocated to the parties in a more clear and concise fashion.

To this end, the DFG has held meetings with PFH over the course of the past few weeks, first on April 5, 2016 and then again on April 19, 2016, to discuss project costs, proposed allocation of funding and other considerations to improve the financial viability of the development. As a result, the DFG prepared a final recommendation to the City Council for its consideration at the April 25, 2016 City Council Work Session, from which it authorized the scheduling of a Public Hearing to receive public input for consideration of the request and recommendation. This recommendation is organized in two separate parts, for costs associated with MO Route 109 Improvements and Main Street Improvements.

PART ONE: MO ROUTE 109 IMPROVEMENTS

Principally, the MO Route 109 Improvements include the construction of a roundabout to accommodate the intersection of Main Street with MO Route 109, including associated right-of-way improvements within the State right-of-way. An application for federal transportation funding had been submitted to the East-West Gateway Council of Governments, which, if awarded, would have funded 80% of the cost of these improvements, in addition to an upgrade from a single-lane to multi-lane roundabout and additional improvements to the north and south along MO Route 109.

Current Cost Estimate:	\$1,518,225
Federal Share of Cost (80%):	\$1,214,580
Local Share of Cost (20%):	\$ 303,645

It has since been learned that the City's 2016 application for federal funding is not recommended to receive funding; therefore, it will be necessary to reapply for this funding in 2017. The East-West Gateway Council of Governments has provided some guidance on how to improve our chance for funding next year, which includes a reduced scope of work to improve the cost-effectiveness score.

If PFH wishes to proceed with the Main Street Crossing development, without the certainty of funding for the roundabout, it may request approval of an interim improvement for access to MO Route 109. This request would require the approval of both the City and MoDOT. The City's review would begin with its Planning & Zoning Commission. If approved, the interim condition would likely remain in place until the year 2019 at the earliest, when the federal funding may become available.

DFG Recommendations for Local Share of Cost for MO Route 109 Improvements:

1. \$303,645 funded 100% by the City of Wildwood
2. Sources of City funding:
 - a. Current East Area and West Area TGA Fund Balances: \$165,000
 - b. Future Collected East Area and West Area TGA Funds: \$138,645
3. Recommendation subject to the approval of the City's application for federal funding in 2017

Reasons for Recommendation:

1. Although required as a condition of the rezoning of the Main Street Crossing site, the improvements to MO Route 109 serve a regional benefit, and would be desired with or without the development.
2. With the construction phase of the federally-funded project not scheduled until the Year 2019 at the earliest, adequate time remains to increase the balance of the East Area and West Area TGA Funds from monies collected from other planned developments, thereby making it possible to fund the improvements without necessitating the use of general revenue and/or capital project funds.

PART TWO: MAIN STREET IMPROVEMENTS

Principally, the Main Street Improvements include the construction of Main Street, including associated streetscape improvements, between Eatherton Road and MO Route 109.

Current Cost Estimate:	\$1,471,517
Committed Developer Funding:	\$ 400,000
Unfunded Cost:	\$1,071,517

DFG Recommendations for Unfunded Cost of Main Street Improvements:

1. Waiver of the TGA Funds to be collected from the Main Street Crossing development (approximately \$250,000).
2. Provide to PFH TGA Funds collected by the City at the time the commercial outlots are developed (approximately \$200,000).
3. Remaining unfunded cost (\$621,517) to be funded by PFH, except as it may be reduced through identified design modifications, if approved by the appropriate divisions of City Government,

including the Planning & Zoning Commission and/or Department of Public Works [not a function of the DFG and outside the scope of this review]

Reasons for Recommendations:

1. The waiver of the TGA Funds to be collected from the Main Street Crossing development is justified, in light of the off-site improvements provided across the commercial outlots and as acknowledged in the conditions of the rezoning.
2. Completing the improvements to both Route 109 and Main Street, as provided herein, should spur development of the commercial outlots, justifying the allocation of the to-be collected TGA Funds to PFH.
3. A number of potential design modifications have been identified, which involve lighting, utilities and contributions by other parties, which could reduce the remaining identified unfunded cost [not a function of the DFG and outside the scope of this review].
4. Notwithstanding any further cost reductions due to approved design modifications, the total unfunded cost of \$621,517 would result in a minimal additional cost of less than \$6,000 per residential lot.

SUMMARY OF RECOMMENDED CITY CONTRIBUTION:

Route 109 Improvements:	\$303,645
Main Street Improvements:	\$450,000
Total Recommended Contribution:	\$753,645
Percentage funded by current/future TGA funds:	100%

Following public comment, if the City Council wishes to proceed with the recommendation of the DFG (subject to the uncertainty of funding for the Route 109 roundabout), the appropriate next step would be to refer the matter to the Planning & Zoning Commission to review the site specific conditions associated with the current zoning approval.

Attachments:

- Letter from Payne Family Homes, identifying cost saving opportunities (April 21, 2016)
- Updated Cost Estimate – Main Street (April 19, 2016)
- Updated Cost Estimate – MO Route 109 Improvements (April 12, 2016)
- Updated Cost Estimate – Eatherton Road (April 12, 2016)
- DFG’s 2nd Addendum to Report and Recommendation (April 25, 2016)
- DFG’s 1st Addendum to Report and Recommendation (March 14, 2016)
- DFG’s Original Report and Recommendation (February 22, 2016)



April 21, 2016

VIA ELECTRONIC MAIL

City of Wildwood
Department of Planning
Attn.: Mr. Joe Vujnich
16860 Main Street
Wildwood, MO 63040

RE: Main Street Crossing Development Cost Saving Opportunities

Dear Mr. Vujnich:

During our meeting with the Development Finance Group (DFG) on 4/5/16, the Payne Family Homes (PFH) team and the DFG discussed several potential opportunities for development cost savings related to the above property.

This effort was undertaken after the Director of Public Works identified cost savings, and scope adjustments in an email dated 3/28/16. These changes are reflected in the attached cost estimates entitled "CURRENT" for each of Hwy 109 Improvements, Main Street, and Eatherton Rd.

During our subsequent meeting on 4/19/16, the DFG stated to the PFH team that the Hwy 109 Roundabout and associated Improvements are planned to be undertaken by the City as part of a project that would not require PFH financial contribution, so any reference to that portion of the table below has been removed, and the figures adjusted accordingly.

The following potential cost savings were identified in our meeting on 4/5/16 as possible ways to decrease project cost:

[The remainder of this page was intentionally left blank.]

MAIN STREET CROSSING POTENTIAL COST SAVINGS

Cost item	Proposed Change	Potential Savings
Street Lights	Alternating 75' spacing; no lights in the street median	\$144,000.00
Utility Relocations	Request Ameren to absorb these costs, as they are related to development of City roads in ROW	\$130,000.00
Street Improvements (Street trees, sidewalk, handicapped ramp)	Costs to be paid by commercial outlots when developed	\$128,151.00
Water Main	Remove cost for water main per Missouri American Water email	\$144,340.00

EATHERTON ROAD POTENTIAL COST SAVINGS

Cost Item	Proposed Change	Potential Savings
Street Lights	Alternating 75' spacing;	\$31,500.00
Utility Relocations	Request Ameren to absorb these costs, as they are related to development of City roads in ROW	\$140,000.00

CONTINGENCY SAVINGS

Cost Item	Proposed Change	Potential Savings
Contingency	Reduction in overall project contingency as reflected by potential reduced project cost	\$71,799.10

Total potential project cost savings: ~~\$789,790.10~~

It is acknowledged by PFH, and it should be noted here, that some of the above potential cost savings require additional City approvals, and/or the agreement and cooperation of third parties in order to be achieved—including but not limited to City entities other than the DFG, the owners of adjacent parcels, utility companies, etc. These agreements and approvals are not assumed by PFH, or guaranteed in any way by the City or the DFG, but could be obtained through PFH's continued cooperation with the City, and ongoing efforts of PFH with third parties.

We would like to thank the DFG for its efforts in helping to identify the potential synergies and cost saving opportunities listed above, and note that we look forward to working with all parties to see as many of these opportunities implemented as possible.

Please contact me if you should have any questions, or require additional input on this very important subject.

Very truly yours,

PAYNE FAMILY HOMES, L.L.C.

By: 
Thomas E. Cummings, VP of Land Acquisition

Cc via email with attachments:

Hon. Tim Woerther
Rob Golterman
Ryan Thomas
Rick Brown
David Neiers
Bill Allen
Mike Falkner

ENGINEERS AND SURVEYORS

MAIN STREET CROSSING

14-04-126

PRELIMINARY COST ESTIMATE

Revised April 19, 2016

"MAIN STREET" IMPROVEMENTS:**GRADING / SILTATION CONTROL - Main Street:**

DESCRIPTION:	QTY.		UNIT COST	TOTAL
CLEARING & CHIPPING	1.3	AC.	\$6,500	\$8,450
WASHDOWN STATION	0	EA.	\$5,750	\$0
TEMPORARY SEDIMENT BASIN	1	EA.	\$3,500	\$3,500
ROUGH GRADING	21,600	C.Y.	\$2.50	\$54,000
SOD WITHIN RIGHT-OF-WAY	7,263	S.Y.	\$3.50	\$25,421
HYDROSEEDING SLOPES	8,070	S.Y.	\$1.15	\$9,281
NATURAL RESOURCE PROTECTION FENCE	773	L.F.	\$3.00	\$2,319
SILT FENCE	1,590	L.F.	\$2.00	\$3,180
SILT FENCE MAINTENANCE	1,590	L.F.	\$1.00	\$1,590
SOIL TESTING	21,600	C.Y.	\$0.35	\$7,560
			TOTAL:	\$115,300

STREETS- Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
ASPHALTIC CONCRETE PAVEMENT (2" c, 10" x)	4,033	S.Y.	\$47.00	\$189,551
4" TYPE 1 AGGREGATE BASE (PAVEMENT)	4,840	S.Y.	\$4.40	\$21,296
22' ACCESS DRIVE ENTRANCE APRON (2" c, 10" x)	0	S.Y.	\$47.00	\$0
6" VERTICAL CONC. CURB & GUTTER	7,264	L.F.	\$20.70	\$150,365
5' WIDE CONCRETE SIDEWALK	3,632	L.F.	\$19.00	\$69,008 (1)
4" TYPE 1 AGGREGATE BASE (SIDEWALK)	2,020	S.Y.	\$4.40	\$8,888 (1)
STREET SIGNS	5	S.F.	\$200	\$1,000
GUARDRAIL	635	L.F.	\$21.00	\$13,335
HANDICAP RAMP	10	EA.	\$1,035	\$10,350 (1)
			TOTAL:	\$463,793

WATER MAIN- Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
8" D.I. / VALVES AND FITTINGS	1,892	L.F.	\$70	\$132,440
HYDRANT AND VALVE	6	EA.	\$1,900	\$11,400
CONNECTION TO EXISTING MAIN	1	EA.	\$500	\$500
			TOTAL:	\$144,340 (1)

STORM SEWERS- Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
STORM MANHOLE	1	EA.	\$1,640.00	\$1,640
DOUBLE CURB INLET	9	EA.	\$2,650.00	\$23,850
18" R.C.P.	460	L.F.	\$38.00	\$17,480
PIPE BEDDING (18" R.C.P.)	460	L.F.	\$4.80	\$2,208
24" R.C.P.	170	L.F.	\$48.50	\$8,245
PIPE BEDDING (24" R.C.P.)	170	L.F.	\$4.90	\$833
30" R.C.P.	140	L.F.	\$68.00	\$9,520
PIPE BEDDING (30" R.C.P.)	140	L.F.	\$5.00	\$700
24" FLARED END SECTION	1	EA.	\$1,295.00	\$1,295
30" FLARED END SECTION	2	EA.	\$1,400.00	\$2,800
JETTING	790	L.F.	\$1.50	\$1,185
GRANULAR FILL UNDER PAVEMENT	385	TN.	\$11.00	\$4,235
RIP-RAP / HEAVY STONE REVETMENT	100	S.Y.	\$47.00	\$4,700
MSD INSPECTION FEE	790	L.F.	\$3.39	\$2,678
			TOTAL:	\$81,369

ENGINEERING AND CONSTRUCTION SURVEY	0	EA.	\$45,000.00	\$0
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LANDSCAPING - Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
STREET TREES (Every 30 ft)	126	L.S.	\$275	\$34,650 (1)
LANDSCAPING (Waldbart Bid)	1	L.S.	\$7,240	\$7,240
			TOTAL:	\$41,890

MISC. UTILITY - Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
AMEREN FACILITY RELOCATIONS	1	L.S.	\$110,000	\$110,000 (1) (2)
CABLE & ATT RELOCATIONS	1	L.S.	\$20,000	\$20,000 (1)
ELECTRIC -STREET LIGHTS	60	EA.	\$4,500	\$270,000 (1)
ELECTRIC -2" CONDUIT	3,945	L.F.	\$6.30	\$24,854
ELECTRIC TRENCHING	3,945	L.F.	\$3.50	\$13,808
ELECTRIC PULL BOX	8	EA.	\$875.00	\$7,000
			TOTAL:	\$445,661

IRRIGATION SYSTEM- MAIN STREET	QTY		UNIT COST	TOTAL
R/W (27'X1940') = 52,380 SQ FT	52,380	S.F.	\$0.75	\$39,285
ISLAND (11'X740') = 8,140 SQ FT	8,140	S.F.	\$0.75	\$6,105
			TOTAL:	\$45,390

"MAIN STREET" IMPROVEMENTS SUBTOTAL **\$1,337,743**

CONTINGENCY	10 %	\$133,774
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"MAIN STREET" IMPROVEMENTS TOTAL **\$1,471,517**

(1) Potential cost savings exist, as identified by PFH and the DFG. These cost savings require additional agreements, approvals, and/or cooperation from third parties, and are not assumed to be a part of this revised cost estimate.

(2) Price received from Ameren in email dated August 13, 2014 from Bob Bailey

GENERAL NOTES:

- 1) This cost estimate was prepared from the preliminary plan and is not based on actual final engineering and approved plans.
- 2) This estimate is not based on actual bids from contractors and is merely an opinion of the probable cost.
- 3) No construction management fees, permits, finance fees, offsite easements, utility services, etc. are included in this analysis.
- 4) No cost for hauling additional grading material on or off site has been included. Balance onsite is anticipated.
- 5) Grading cost will vary depending on the time of year grading takes place.
- 6) Excluded items:
 - Land Cost
 - Real Estate Taxes
 - Submittal Fees

ENGINEERS AND SURVEYORS

MAIN STREET CROSSING

14-04-126

PRELIMINARY COST ESTIMATE

April 12, 2016

"MODOT / 109" IMPROVEMENTS:**GRADING / SILTATION CONTROL - MoDOT / 109 Improvements:**

DESCRIPTION:	QTY.		UNIT COST	TOTAL
CLEARING & CHIPPING	1.4	AC.	\$6,500	\$9,100
ROUGH GRADING	31,090	C.Y.	\$3.50	\$108,815
EARTH HAUL / IMPORT	31,090	C.Y.	\$10.00	\$310,900
SOD	7,744	S.Y.	\$3.50	\$27,104
SILT FENCE	1,275	L.F.	\$4.00	\$5,100
SILT FENCE MAINTENANCE	1,275	L.F.	\$1.00	\$1,275
SOIL TESTING	31,900	C.Y.	\$0.35	\$11,165
			TOTAL:	\$473,459

(3)

IMPROVEMENTS - MoDOT / 109 Improvements:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
1 3/4" SP125CLP RESURFACE OF EX. PAVEMENT	1,360	S.Y.	\$10.00	\$13,600
1 3/4" SP125CLP / 9 1/4" SP250C OVER 4" TYPE 5	3,319	S.Y.	\$49.70	\$164,954
7" STAMPED CONCRETE TRUCK APRON	370	S.Y.	\$70.00	\$25,900
ASPHALTIC CONCRETE PAVEMENT (Temporary)	900	S.Y.	\$47.00	\$42,300
4" TYPE 1 AGGREGATE BASE	1,068	S.Y.	\$4.40	\$4,699
FULL DEPTH SAWCUT	1,200	L.F.	\$6.00	\$7,200
8" MEDIAN ISLAND	630	S.Y.	\$62.50	\$39,375
TYPE A CURB & GUTTER	890	L.F.	\$20.70	\$18,423
6" VERTICAL CURB	550	L.F.	\$10.62	\$5,841
6" MOUNTABLE CURB	290	L.F.	\$27.77	\$8,053
8' WIDE CONCRETE SIDEWALK	995	L.F.	\$30.00	\$29,850
HANDICAP RAMP	3	EA.	\$1,035.00	\$3,105
GUARD RAIL (STANDARD, NOT WOOD FACED)	660	L.F.	\$21.00	\$13,860
CRASHWORTHY END TERMINAL	2	EA.	\$1,984.00	\$3,968
REMOVAL OF EXISTING ASPHALT ROADWAY	438	S.Y.	\$42.00	\$18,396
TEMPORARY TRAFFIC CONTROL	1	L.S.	\$10,000	\$10,000
CONSTRUCTION STAGING	1	L.S.	\$50,000	\$50,000
			TOTAL:	\$459,525

STORM SEWERS- MoDOT / 109 Improvements:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
30" R.C.P.	20	L.F.	\$68.00	\$1,360
PIPE BEDDING (30" R.C.P.)	20	L.F.	\$5.00	\$100
30" FLARED END SECTION	1	EA.	\$1,400.00	\$1,400
JETTING	20	L.F.	\$1.50	\$30
GRANULAR FILL UNDER PAVEMENT	36	TN.	\$11.00	\$396
RIP-RAP / HEAVY STONE REVETMENT	33	S.Y.	\$47.00	\$1,551
5' x 3' CONCRETE BOX CULVERT	10	L.F.	\$210.00	\$2,100
10'x10' CONCRETE BOX CULVERT	315	L.F.	\$975.00	\$307,125
MSD INSPECTION FEE	345	L.F.	\$3.39	\$1,170
			TOTAL:	\$315,232

LANDSCAPING:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
STREET TREES (Every 30 ft.)	33	EA.	\$275.00	\$9,075 (1)
LANDSCAPING ROUNDABOUT	1	L.S.	\$5,000	\$5,000 (1)
			TOTAL:	\$14,075

DETENTION AND WATER QUALITY:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
BIORETENTION AND UNDERDRAINS	595	S.F.	\$18.00	\$10,710
CONTROL STRUCTURE	1	EA.	\$6,000	\$6,000
			TOTAL:	\$16,710

ENGINEERING AND CONSTRUCTION SURVEYING	1	L.S.	LUMP SUM	\$50,000
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MISC. UTILITY - MoDOT / 109 Improvements:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
ELECTRIC - STREET LIGHTS (LUMP SUM)	4	EA.	\$11,926	\$47,704
ELECTRIC - TRENCHING	1,000	L.F.	\$3.50	\$3,500
NOTE: Street light unit cost includes conduit, wire, post, light and footing			TOTAL:	\$51,204

MODOT / 109 IMPROVEMENTS SUBTOTAL **\$1,380,204**

CONTINGENCY	10 %	\$138,020
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MODOT / 109 IMPROVEMENTS TOTAL **\$1,518,225**

(1) Potential cost savings exist, as identified by PFH and DFG. These cost savings require additional agreements, approvals, and/or cooperation from third parties, and are not assumed to be a part of this revised cost estimate.

(3) Grading unit cost is reflective of extra costs that will be incurred due to restricted construction zone along Hwy 109 ROW.

NOTE: No cost has been added to acquire the additional R/W to construct Roundabout

GENERAL NOTES:

- 1) This cost estimate was prepared from the preliminary plan and is not based on actual final engineering and approved plans.
- 2) This estimate is not based on actual bids from contractors and is merely an opinion of the probable cost.
- 3) No construction management fees, permits, finance fees, offsite easements, utility services, etc. are included in this analysis.
- 4) Grading cost will vary depending on the time of year grading takes place.
- 5) Excluded items:
 - Land Cost
 - Real Estate Taxes
 - Submittal Fees
- 6) No cores have been taken of the existing highway 109 pavement to ensure the pavement base is suitable as a base to use in place.

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ENGINEERS AND SURVEYORS

MAIN STREET CROSSING
14-04-126PRELIMINARY COST ESTIMATE
April 12, 2016**EATHERTON ROADWAY IMPROVEMENTS PER CITY REQUEST:****GRADING / SILTATION CONTROL - Eatherton Road:**

DESCRIPTION:	QTY.		UNIT COST	TOTAL
ROUGH GRADING	1,300	C.Y.	\$2.50	\$3,250
SOD	570	S.Y.	\$3.50	\$1,995
SOIL TESTING	1,300	C.Y.	\$0.35	\$455
			TOTAL:	\$5,700

IMPROVEMENTS - Eatherton Road:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
ASPHALTIC CONCRETE PAVEMENT (2" c, 10"x)	1,270	S.Y.	\$47.00	\$59,690
4" TYPE 1 AGGREGATE SUBBASE	1,533	S.Y.	\$4.40	\$6,745
FULL DEPTH SAWCUT	908	L.F.	\$6.00	\$5,448
6" VERTICAL CONCRETE CURB & GUTTER	947	L.F.	\$20.70	\$19,603
TEMPORARY TRAFFIC CONTROL	1	L.S.	\$10,000	\$10,000
CONSTRUCTION STAGING	1	L.S.	\$10,000	\$10,000
			TOTAL:	\$111,486

MISC. UTILITY - Eatherton Road:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
AMEREN FACILITY RELOCATIONS	6	EA.	\$20,000	\$120,000 (1)
CABLE & ATT RELOCATIONS	1	L.S.	\$20,000	\$20,000 (1)
STREET LIGHTING	15	EA.	\$4,500	\$67,500 (1)
ELECTRIC - CONDUIT TRENCHING	930	L.F.	\$3.50	\$3,255
			TOTAL:	\$210,755

LANDSCAPING - Eatherton Road:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
STREET TREES	33	EA.	\$275	\$9,075
BUFFER (Waldbart Bid)	1	L.S.	\$16,466	\$16,466
			TOTAL:	\$25,541

EATHERTON ROAD IMPROVEMENTS SUBTOTAL **\$353,482**

CONTINGENCY

10 %

\$35,348

EATHERTON ROAD IMPROVEMENTS TOTAL \$388,830

(1) Potential cost savings exist, as identified by PFH and the DFG. These cost savings require additional agreements, approvals, and/or cooperation from third parties, and are not assumed to be a part of this revised cost estimate.



WILDWOOD

PUBLIC FINANCING PROPOSAL

Proposal 2015-01

Payne Family Homes (Main Street Crossing Project)

City of Wildwood, Missouri

Development Finance Group's 2nd Addendum to Report and Recommendation

Issue Date – April 25, 2016

“Planning Tomorrow Today”

The Development Finance Group (DFG) has been meeting on a regular basis to address the requests of City Council on a proposal by Payne Family Homes (“PFH”) to the City of Wildwood for the Main Street Crossing Project. These requests from the City Council were set forth during its meeting on this matter that was held on March 14, 2016. Specifically, the City Council was seeking more information on the costs of the roadway improvements prompting the developer's request and how these costs could be allocated to the parties in a more clear and concise fashion.

To this end, the DFG has held meetings with PFH over the course of the past few weeks, first on April 5, 2016 and then again on April 19, 2016, to discuss project costs, proposed allocation of funding and other considerations to improve the financial viability of the development. As a result, the DFG has reached a final recommendation to the City Council for its consideration at the April 25, 2016 City Council Work Session. This recommendation is organized in two separate parts for costs associated with MO Route 109 Improvements and Main Street Improvements.

PART ONE: MO ROUTE 109 IMPROVEMENTS

Principally, the MO Route 109 Improvements include the construction of a roundabout to accommodate the intersection of Main Street with MO Route 109, including associated right-of-way improvements within the State right-of-way. An application for federal transportation funding has been submitted to the East-West Gateway Council of Governments, which, if awarded, would fund 80% of the cost of these improvements, in addition to an upgrade from a single-lane to multi-lane roundabout and additional improvements to the north and south along MO Route 109.

Current Cost Estimate:	\$1,518,225
Federal Share of Cost (80%):	\$1,214,580
Local Share of Cost (20%):	\$ 303,645

DFG Recommendations for Local Share of Cost for MO Route 109 Improvements:

1. \$303,645 funded 100% by the City of Wildwood
2. Sources of City funding:
 - a. Current East Area and West Area TGA Fund Balances: \$165,000
 - b. Future Collected East Area and West Area TGA Funds: \$138,645
3. Recommendation subject to the approval of the City's application for federal funding

Reasons for Recommendation:

1. Although required as a condition of the rezoning of the Main Street Crossing site, the improvements to MO Route 109 serve a regional benefit, and would be desired with or without the Main Street Crossing development.
2. With the construction phase of the federally-funded project not scheduled until the Year 2019, adequate time remains to increase the balance of the East Area and West Area TGA Funds from funds collected from other planned developments, thereby making it possible to fund the improvements without necessitating the use of general revenue and/or capital project funds.

PART TWO: MAIN STREET IMPROVEMENTS

Principally, the Main Street Improvements include the construction of Main Street, including associated streetscape improvements, between Eatherton Road and MO Route 109.

Current Cost Estimate:	\$1,471,517
Committed Developer Funding:	\$ 400,000
Unfunded Cost:	\$1,071,517

DFG Recommendations for Unfunded Cost of Main Street Improvements:

1. Waiver of the TGA Funds to be collected from the Main Street Crossing development (approximately \$250,000)
2. Refund to PFH of TGA Funds collected by the City at the time the commercial outlots are developed (approximately \$200,000)
3. Remaining unfunded cost (\$621,517) to be funded by Payne Family Homes, except as it may be reduced through identified design modifications, if approved by the appropriate divisions of City Government, including the Planning & Zoning Commission and/or Department of Public Works [not a function of the DFG and outside the scope of this review]

Reasons for Recommendations:

1. The waiver of the TGA Funds to be collected from the Main Street Crossing development is justified, in light of the off-site improvements provided across the commercial outlots and as acknowledged in the conditions of the rezoning.
2. Completing the improvements to both Route 109 and Main Street, as provided herein, should spur development of the commercial outlots, justifying the refund of the to-be collected TGA Funds.
3. A number of potential design modifications have been identified, which involve lighting, utilities and contributions by other parties, which could reduce the remaining identified unfunded cost [not a function of the DFG and outside the scope of this review].

4. Notwithstanding any further cost reductions due to approved design modifications, the total unfunded cost of \$621,517 would result in a minimal additional cost of less than \$6,000 per residential lot.

SUMMARY OF RECOMMENDED CITY CONTRIBUTION:

Route 109 Improvements:	\$303,645
Main Street Improvements:	\$450,000
Total Recommended Contribution:	\$753,645
Percentage funded by current/future TGA funds:	100%

If any of the City Council members should have questions or comments in this regard, please feel free to contact any of the members of the DFG. A presentation is planned on this matter at tonight's City Council meeting. Thank you for your consideration of this information and action on the same.

Attachments:

- Letter from Payne Family Homes, identifying cost saving opportunities (April 21, 2016)
- Updated Cost Estimate – Main Street (April 19, 2016)
- Updated Cost Estimate – MO Route 109 Improvements (April 12, 2016)
- Updated Cost Estimate – Eatherton Road (April 12, 2016)
- DFG's 1st Addendum to Report and Recommendation (March 14, 2016)
- DFG's Original Report and Recommendation (February 22, 2016)



WILDWOOD

PUBLIC FINANCING PROPOSAL

Proposal 2015-01 Payne Family Homes (Main Street Crossing Project)

City of Wildwood, Missouri

Development Finance Group's Addendum to Previous Report and Recommendation

Issue Date – March 14, 2016

"Planning Tomorrow Today"

The Development Finance Group (DFG) has continued its review of the application that was submitted by Payne Family Homes ("Payne") for the Main Street Crossing Project. The group met with the applicant to address some of the referenced misunderstandings that were described by Payne at the City Council meeting on this matter, as well as to have an understanding of the applicant's intent in terms of any payments or planned participation in regards to the cost of these collective required roadway improvements. The latter of these two (2) matters was of prime importance to the DFG, since the original application in this regard noted no participation/funding from Payne.

At this meeting, the following items were noted by the applicant relating to these improvements.

1. The applicant is funding the entirety of the Eatherton Road improvements set forth in the site-specific ordinance for the project. This amount is just less than three hundred seventy thousand dollars (<\$370,000.00).
2. The applicant had set aside in its budget for this project approximately four hundred thousand dollars (\$400,000.00) for Main Street construction, thinking of it as a collector street, not an arterial type of roadway.
3. The applicant had not budgeted any funding for State Route 109 improvements, despite being advised in its first meeting with the City on this potential project of this requirement to provide a connection to it from this site.
4. The on-going desire of the applicant for the City to offer the solution to this funding shortfall, given the housing project is a positive for Town Center.
5. The detailed discussion of cost breakdowns for these two (2) roadways, particularly the inclusion of the contingency amounts in the applicant's request for City funding, did not result in an agreement for their removal from the submitted application (contingency amounts assigned for both roadways totals over \$286,000.00).

6. The future allocation of fees from the Traffic Generation Assessment that will be placed on the development of the three (3) commercial outlots be allocated to Payne, given that these outlots benefit from these required roadway improvements. The DFG believes that payment to Payne upon collection of TGA's for development of these outlots is a reasonable approach to offset the cost of the Main Street Improvements.
7. The fees available from the current East and West Funds of the Traffic Generation Assessment Trust Fund total under one hundred sixty-five thousand dollars (\$165,00.00), which the applicant requested be paid toward these roadway costs. The DFG believes providing the current funds that are available from the West Traffic Generation Assessment Fee (TGA) for the State Route 109 improvements is a reasonable accommodation to the applicant's request and would reduce the amount of its twenty (20) percent match to the Transportation Improvement Program (TIP) referenced below by approximately eighty-two thousand dollars (\$82,000.00). The contribution from the West TGA was found to be reasonable by DFG due to the roundabout design exceeding what would be minimally necessary for the proposed Main Street Crossing Project, i.e. western leg to roundabout, additional widening.
8. The applicant would agree to participate in the Transportation Improvement Program (TIP) for the State Route 109 improvements, thereby incurring almost three hundred thousand dollars (\$300,000.00) of its costs.

The outcome of the meeting can be summarized in the following requested terms:

Improvements (Estimated Cost)	Applicant's Contribution (\$)	City's Requested Contribution from City or Other Sources (\$)
State Route 109 (\$1,832,563.00)	284,351.33 (20% match to City's TIP Application minus TGA Contribution)	1,466,050.00 (Federal funding if awarded to City) \$82,161.67 (West TGA Fund)
Main Street (\$1,306,802.00)	400,000.00 (Amount budgeted in the project's original Pro Forma)	906,802.00
Total	684,351.33	2,455,013.67

The DFG still has reservations regarding this request and cannot support the City's sharing in the cost of these improvements beyond the \$82,161.67 West TGA Fund contribution and future TGA's from development of the commercial outlots. In addition, the City will be providing its efforts and expertise in proceeding with the TIP application. Finally, as noted in the DFG's initial report dated February 22, 2016, it is also recommended that the TGA's assessed for the Main Street Project itself (approximately \$250,000.00) be waived in light of the off-site improvements.

If any of the City Council members should have questions or comments in this regard, please feel free to contact any of the members of the DFG. A presentation is planned on this matter at tonight's City Council meeting. Thank you for your consideration of this information and action on the same.



WILDWOOD

PUBLIC FINANCING PROPOSAL

Proposal 2015-01

Payne Family Homes
(Main Street Crossing Project)

City of Wildwood, Missouri
Development Finance Group's Report and Recommendation
Issue Date - February 22, 2016
"Planning Tomorrow Today"

I. History of Zoning Process

In accordance with the procedures established by the City Council in 2006, the Development Finance Group has been reviewing the information provided by the developer of this twenty-eight (28) acre site that is interested in constructing one hundred four (104) single family dwellings on individual lots. This developer, Payne Family Homes, began the City's rezoning process in 2014 and received approval for a change in the property's zoning district designation in late 2015, along with an accompanying Planned Residential Development Overlay District (PRD). During this period of time, approximately one year, the developer and City staff worked to address a number of issues relating to this use of the property, including the extent of infrastructure needed to provide efficient, safe, and appropriate levels of improvements for traffic utilizing the surrounding system of State and City roadways, along with addressing other important considerations relating to the City's Town Center Plan, since this site is located within this special area of Wildwood. These additional issues included the level of roadway and site improvements within the property itself for the purposes of service to the intended users, the pedestrian connections and related system of improvements to meet the walkability standards of the Town Center Plan, the architecture of the built environment, the treatment of stormwater runoff from the development, public space provisions, and the design of landscaping and lighting. Additionally, the land use designation of the portion of the property abutting Eatherton Road was also studied thoroughly, given its classifications were requested for changes (Downtown District/Neighborhood General District to Neighborhood Edge District).

A portion of this one year timeframe was spent with the developer, City staff, and representatives of the Missouri Department of Transportation (MoDOT) working on what changes to State Route 109 would be needed to handle the extent of anticipated traffic generated by this development. Numerous meetings were held, the traffic study reviewed, and modifications made to the proposed design to incorporate traffic calming features and facilities for both pedestrians and bicyclists. Funding of these improvements to the State right-of-way, as well as for the City's required

improvements to Main Street and Eatherton Road were also discussed during this time. The outcome of these discussions was a plan that was presented to City officials and the community in 2015, prior to the zoning change request before the Planning and Zoning Commission was acted upon. This plan called for constructing a roundabout on State Route 109, widening its current configuration, and adding multi-modal transit options. As mentioned above, this level of improvement within the State's right-of-way did not take into account the on-site roadways needed and required by the City, which were substantial, given the proximity of this site to two of the four major streets in the Wildwood Town Center Area (State Route 109 and Old Manchester Road).

Internal roadway improvements included the construction of Main Street, one of the most significant roadways in the Town Center Area, in terms of width, amenities, and design considerations and the planning, engineering, and dedication of land area for a roundabout at the intersection of Eatherton Road and Main Street. The Main Street improvements internal to the site included two stub street connections from Cambury Subdivision, while connecting another from Old Grover Estates. These required roadway improvements were identified in the Town Center Plan, given this site has always been designated for a number of mixed districts and development allowances since its adoption. All of these roadway considerations were reviewed, along with the Traffic Study for this project, and needed to meet the City's and State's goals of providing a system of streets and pedestrian facilities that were safe, efficient, and appropriate for this purpose.

Along with the designs of the roadways themselves, these roadways had to also meet the streetscape requirements of the City's Town Center Area. These requirements include the standard set of street trees, lights, and grates, stormwater improvements, and pedestrian amenities, like trash receptacles, signage, and benches. These features make this public environment very special and add to the character of the project and enhance the overall architecture of the buildings. These features are integral to the success of a Town Center project and must be provided as part of any design.

Once all of the roadway issues had been studied, presented to the interested parties, and agreed upon, the developer began assessing costs for these identified items. After study, the developer determined an overall cost of over three million dollars (\$3,000,000) for all of these roadway items. This figure includes both State and City-mandated items. City officials, from the start of the zoning process on this property, anticipated a significant cost.

As mentioned, the zoning of the property was completed in late 2015 and, since that time, the developer has been working on several considerations relating to this project. One of the primary considerations includes the preparation of the Site Development Plan for submittal to the Planning and Zoning Commission. This Site Development Plan process has also worked toward a better understanding of costs associated with the project's infrastructure and utilities. Specifically, during this process, the issue of the remaining outlots that directly front onto State Route 109 and their associated access were further refined for future considerations, along with the water line component needed to serve this site.

II. Other Public Finance Incentive Project (s)

This understanding of the project's cost has led the developer to consider all means to address them and allow it to move forward at this time. Acknowledging these costs and the desire to provide all improvements, as part of its construction, the developer is requesting the City consider providing a Public Finance Incentive Package for the purposes of this Town Center Area Project. This application is the third submitted to the City in the last fifteen (15) years of development within the Town Center Area. The first of those was Koman Properties' Wildwood Town Center, which is located at the intersection of State Route 100 and Taylor Road and which was submitted prior to adoption by the Council of the formal procedures. This proposal was for a Community Improvement District (CID) at an amount of approximately ten million dollars (\$10,000,000) to assist in offsetting costs for constructing Main Street, a public parking garage, street identification piers, a fountain, a public plaza, and other related infrastructure costs. This project included over 350,000 square feet of commercial and residential type activities, but only on a fifteen (15) acre site. This public finance incentive was approved by the City Council in December 2005 and is currently in place and operational. Key components of this Public Finance Incentive Package can be summarized as follows:

1. A one percent sales tax on all retail sales;
2. A property tax assessment on all real property; and
3. A special assessment on real property.

Each of these assessments are intended to ensure the bonds that were issued for monies relating to improvements on the site would provide the required return and meet the agreements set forth at the time of their offering. In many ways, the use of these three revenue sources provides a substantial safety net for the investors in this project, the City and the CID.

The Community Improvement District formed for the Wildwood Town Center Project has been in place for almost ten (10) years. The bonds for improvements were issued and the improvements constructed, inspected, and accepted by the Board of Directors, with another ten (10) year period of time left to complete the payments to the bond holders. Principally, certain streets, street identification piers, the fountain, and the parking garage have been the subject of recent requests. All of the features were considered appropriate for inclusion in the district due to the public benefit derived from them to Wildwood residents by providing a higher standard of quality in terms of the public environment. Upgrading projects in the Town Center Area, like Koman Properties' Wildwood Town Center, was ultimately the necessary justification for its support by the City Council.

The second proposal focused on the Slavik Tract that is located in the southwest quadrant of the State Route 100 and State Route 109 intersection and was submitted by the developer – The Desco Group. This proposal requested over ten million dollars (\$10,000,00.00) for the improvements to this large fifty (50) plus acre site that was to be used for a major commercial development, which included a Target Store. The funding was intended for State Route 100, State Route 109, Manchester Road, and utility improvements that were planned for this site, given its intensity of development. This project was approved by the City Council, via an Amended C-8 Planned

Commercial District Ordinance, and, thereafter, the public financing application was submitted to the City.

The Development Finance Group reviewed the application and noted the scale of this project justified the level of improvements and considerations for public financing, but had reservations, given the experience with the only other similar proposal that had been acted upon by the City for the Wildwood Town Center Project underway by Koman Properties. Concerns were identified relating to the mix of financial tools sought by the developer, which included a Community Improvement District (CID) and Industrial Revenue Bonds. Additionally, the lack of a safety net for less than anticipated sales tax revenues, the only source of payment for all of the bonds issued by this combination, also led the Development Finance Group to seek more information, before making a final recommendation. However, the group did note, in its report, that such improvements did exceed what would normally be anticipated and justified on-going and positive consideration of this application. However, after the issuance of the Group's report to City Council, the developer withdrew the request and decided not to proceed with the overall project. This decision was made in 2007, just as an economic recession was starting to make headlines across the world.

III. Current Request

The current application filed by Payne Family Homes seeks the City's support through a combination of direct sources from the City for the purposes of funding roadway and limited utility improvements. The developer provided a detailed summary of these roadway and limited utility improvements to the Development Finance Group, along with costs, as part of the official submittal package for this proposal. These improvements and costs are summarized on the next four pages and are broken down into two components, Main Street improvements and MoDOT/State Route 109 improvements:

THE **STERLING**
ENGINEERS AND SURVEYORS

CO.

MAIN STREET CROSSING
14-04-126

PRELIMINARY COST ESTIMATE
July 27, 2015

"MAIN STREET" IMPROVEMENTS:

GRADING / SILTATION CONTROL - Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
CLEARING & CHIPPING	1.3	AC.	\$6,500	\$8,450
WASHDOWN STATION	1	EA.	\$5,750	\$5,750
TEMPORARY SEDIMENT BASIN	2	EA.	\$3,500	\$7,000
ROUGH GRADING	21,600	C.Y.	\$2.25	\$48,600
SOD WITHIN RIGHT-OF-WAY	13,068	S.Y.	\$3.50	\$45,738
HYDROSEEDING SLOPES	5,171	S.Y.	\$1.15	\$5,947
NATURAL RESOURCE PROTECTION FENCE	1,643	L.F.	\$6.00	\$9,858
SILT FENCE	2,460	L.F.	\$4.00	\$9,840
SILT FENCE MAINTENANCE	2,460	L.F.	\$1.00	\$2,460
SOIL TESTING	21,600	C.Y.	\$0.30	\$6,480
			TOTAL:	\$150,123

STREETS- Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
ASPHALTIC CONCRETE PAVEMENT (2"c, 10"x)	3,875	S.Y.	\$59.00	\$228,625
4" TYPE 1 AGGREGATE BASE	5,861	S.Y.	\$4.40	\$25,788
22' ACCESS DRIVE ENTRANCE APRON (2"c,10"x)	82	S.Y.	\$59.00	\$4,838
6" VERTICAL CONC. CURB & GUTTER	7,152	L.F.	\$20.70	\$148,046
5' WIDE CONCRETE SIDEWALK	3,658	L.F.	\$19.00	\$69,502
STREET SIGNS	5	S.F.	\$200	\$1,000
GUARDRAIL	532	L.F.	\$16.25	\$8,645
HANDICAP RAMP	10	EA.	\$1,035	\$10,350
			TOTAL:	\$496,795

WATER MAIN- Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
8" P.V.C.	1,892	L.F.	\$70.00	\$132,440
HYDRANT AND VALVE	6	EA.	\$1,900	\$11,400
CONNECTION TO EXISTING MAIN	1	EA.	\$500	\$500
			TOTAL:	\$144,340

STORM SEWERS- Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
STORM MANHOLE	1	EA.	\$1,350.00	\$1,350
DOUBLE CURB INLET	9	EA.	\$2,575.00	\$23,175
18" R.C.P.	460	L.F.	\$27.60	\$12,696
PIPE BEDDING (18" R.C.P.)	460	L.F.	\$4.80	\$2,208
24" R.C.P.	170	L.F.	\$35.50	\$6,035
PIPE BEDDING (24" R.C.P.)	170	L.F.	\$4.90	\$833
30" R.C.P.	140	L.F.	\$48.00	\$6,720
PIPE BEDDING (30" R.C.P.)	140	L.F.	\$5.00	\$700
24" FLARED END SECTION	1	EA.	\$1,295.00	\$1,295
30" FLARED END SECTION	2	EA.	\$1,400.00	\$2,800
JETTING	790	L.F.	\$1.50	\$1,185
GRANULAR FILL UNDER PAVEMENT	385	TN.	\$10.00	\$3,850
RIP-RAP / HEAVY STONE REVETMENT	100	S.Y.	\$47.00	\$4,700
MSD INSPECTION FEE	790	L.F.	\$3.39	\$2,678
			TOTAL:	\$70,225
ENGINEERING AND CONSTRUCTION SURVEY	LUMP SUM		TOTAL	\$45,000

LANDSCAPING - Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
STREET TREES (Every 30 ft)	126	L.S.	\$275	\$34,650
LANDSCAPING (Waldbart Bid)	1	L.S.	\$7,240	\$7,240
			TOTAL:	\$41,890

MISC. UTILITY - Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
AMEREN FACILITY RELOCATIONS *	1	L.S.	\$110,000	\$110,000
CABLE & ATT RELOCATIONS	1	L.S.	\$20,000	\$20,000
ELECTRIC - STREET LIGHTS (Every 65' both sides)	60	EA.	\$1,500	\$50,400
ELECTRIC - CONDUIT	3,945	L.F.	\$3.50	\$13,839
			TOTAL:	\$194,239

IRIGATION SYSTEM- MAIN STREET	QTY		UNIT COST	TOTAL
R/W (27'X1940') = 52,380 SQ FT	52,380	S.F.	\$0.75	\$39,285
ISLAND (11'X740') = 8,140 SQ FT	8,140	S.F.	\$0.75	\$6,105
			TOTAL:	\$45,390

"MAIN STREET" IMPROVEMENTS SUBTOTAL **\$1,188,002**

MISC. **10 %** **\$118,800**

"MAIN STREET" IMPROVEMENTS TOTAL **\$1,306,802**

* PRICE RECEIVED FROM AMEREN IN EMAIL DATED AUGUST 13, 2014 FROM BOB BAILEY

THE **STERLING** **CO.**
ENGINEERS AND SURVEYORS

MAIN STREET CROSSING
14-04-126

PRELIMINARY COST ESTIMATE
July 27, 2015

"MODOT / 109" IMPROVEMENTS:

GRADING / SILTATION CONTROL - MoDOT / 109 Improvements:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
CLEARING & CHIPPING	1.4	AC.	\$6,500	\$9,100
WASHDOWN STATION	1	EA.	\$5,750	\$5,750
ROUGH GRADING	31,090	C.Y.	\$2.25	\$69,953
EARTH HAUL / IMPORT	31,090	C.Y.	\$10.00	\$310,900
SOD	7,744	S.Y.	\$3.50	\$27,104
SILT FENCE	1,275	L.F.	\$4.00	\$5,100
SILT FENCE MAINTENANCE	1,275	L.F.	\$1.00	\$1,275
SOIL TESTING	31,900	C.Y.	\$0.30	\$9,570
			TOTAL:	\$438,752

IMPROVEMENTS - MoDOT / 109 Improvements:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
12" P.C. CONCRETE PAVEMENT	3,030	S.Y.	\$87.50	\$265,125
ASPHALTIC CONCRETE PAVEMENT (2" c, 10"x)	1,900	S.Y.	\$59.00	\$112,100
ASPHALTIC CONCRETE PAVEMENT (Temporary)	900	S.Y.	\$59.00	\$53,100
4" TYPE 1 AGGREGATE BASE	5,330	S.Y.	\$4.40	\$23,452
FULL DEPTH SAWCUT	100	L.F.	\$5.00	\$500
8" MEDIAN ISLAND	630	S.Y.	\$62.50	\$39,375
TYPE A CURB & GUTTER	890	L.F.	\$38.00	\$33,820
6" VERTICAL CURB	550	L.F.	\$38.00	\$20,900
6" MOUNTABLE CURB	290	L.F.	\$38.00	\$11,020
8' WIDE CONCRETE SIDEWALK	995	L.F.	\$30.00	\$29,850
HANDICAP RAMP	3	EA.	\$1,035.00	\$3,105
GUARD RAIL	660	L.F.	\$16.25	\$10,725
CRASHWORTHY END TERMINAL	2	EA.	\$1,984.00	\$3,968
REMOVAL OF EXISTING ASPHALT ROADWAY	3,200	S.Y.	\$42.00	\$134,400
TEMPORARY TRAFFIC CONTROL	1	L.S.	\$10,000	\$10,000
CONSTRUCTION STAGING	1	L.S.	\$50,000	\$50,000
			SUB-TOTAL:	\$801,440
			10% Maint.	\$80,144
			TOTAL:	\$881,584

STORM SEWERS- MoDOT / 109 Improvements:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
30" R.C.P.	20	L.F.	\$48.00	\$960
PIPE BEDDING (30" R.C.P.)	20	L.F.	\$5.00	\$100
30" FLARED END SECTION	1	EA.	\$1,400.00	\$1,400
JETTING	20	L.F.	\$1.50	\$30
GRANULAR FILL UNDER PAVEMENT	36	TN.	\$10.00	\$360
RIP-RAP / HEAVY STONE REVETMENT	33	S.Y.	\$47.00	\$1,551
5' x 3' CONCRETE BOX CULVERT	10	L.F.	\$210.00	\$2,100
8'x6' CONCRETE BOX CULVERT	315	L.F.	\$680.00	\$214,200
MSD INSPECTION FEE	345	L.F.	\$3.39	\$1,170
SUB-TOTAL:				\$221,871
10% Maint.				\$22,187
TOTAL:				\$244,058

LANDSCAPING:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
STREET TREES (Every 30 ft.)	33	EA.	\$275.00	\$9,075
LANDSCAPING ROUNDABOUT	1	L.S.	\$5,000	\$5,000
SUB-TOTAL:				\$14,075
10% Maint.				\$1,408
TOTAL:				\$15,483

DETENTION AND WATER QUALITY:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
BIORETENTION AND UNDERDRAINS	595	S.F.	\$18.00	\$10,710
CONTROL STRUCTURE	1	EA.	\$6,000	\$6,000
SUB-TOTAL:				\$16,710
10% Maint.				\$1,671
TOTAL:				\$18,381

ENGINEERING AND CONSTRUCTION SURVEYING	1	L.S.	LUMP SUM	\$50,000
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MISC. UTILITY - MoDOT / 109 Improvements:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
ELECTRIC - STREET LIGHTS	15	EA.	\$840	\$12,600
ELECTRIC - CONDUIT	1,000	L.F.	\$3.50	\$3,500
SUB-TOTAL:				\$16,100
10% Maint.				\$1,610
TOTAL:				\$17,710

MODOT / 109 IMPROVEMENTS SUBTOTAL **\$1,665,967**

MISC.	10 %	\$166,597
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MODOT / 109 IMPROVEMENTS TOTAL **\$1,832,563**

NOTE: No cost has been added to acquire the additional R/W to construct Roundabout

In defining this list of roadway and utility items, the developer has limited it to those improvements that are required by the site-specific ordinance or necessary for the project to receive needed services to function. Equally important to note is the structure of the proposal does ultimately set forth that almost all public infrastructure improvements associated with this project will be paid by either this proposed Public Finance Incentive Package or credited Traffic Generation Assessment Fees from the City of Wildwood. This analysis of funding for these public improvements is reflected in the table provided below:

1. Direct Funding from the City (Operating Revenues -?)
2. Capital Improvement Funds
3. East Trust Fund Contribution
4. West Trust Fund Contribution

Principally, the developer is requesting the allocation of over three million dollars (\$3,000,000.00) from these sources for the improvements necessary for access and water service to the site. Two important points of the developer's proposal include the desire to not participate in any of the costs for the two major street improvements or the water line extension from State Route 100 to the south. Additionally, the developer also does not distinguish from which of these four sources the funding should be directed or the requested amounts from each.

IV. Analysis

In considering this application, the Development Finance Group has determined that said application does not meet a reasonability test for its support and the members have identified the following reasons for a position of non-support in this regard:

1. The development of the property, under the current zoning district designation, required Regulating Plan changes and an accommodation to allow for the majority of the units to have front-entry garages, instead of rear-entry types, as set forth in the Town Center Plan. If the City were to provide a substantial infusion of funds to this project, it would surely seek a more compliant design to the Town Center Plan's intent for the Neighborhood Edge District, which the developer has noted on many occasions cannot be provided at this site, given its lack of experience on New Urbanism housing designs.
2. The Town Center Plan's Regulating Plan identifies this site as suitable for residential uses at a very high-density, which was intended to offset greater development costs associated with any future project due to the Town Center Area's Street Specifications and Streetscape Requirements.
3. The site is a greenfield and does not have a zoning legacy, nor other unusual development circumstances associated with it. In fact, the site has more favorable physical characteristics than most others located in Town Center and the surrounding parts of the community, which reduce certain costs.
4. The overall site's use, which includes the three Workplace District outlots, was intended to compensate for development costs. Therefore, the developer needs to address some of the costs it is seeking from the City through an agreement or reciprocity with the owner of these

outlots.

5. The planned improvements to State Route 109 are beneficial to the City and its residents by improving both the driver and pedestrian/bicycle environments along its associated length, but not immediately necessary, to the extent identified, if this site were not to develop with these new homesites. Therefore, the need for these improvements is premised on this project, not from organic traffic growth that is occurring on State Route 109.
6. The development of this property furthers the goals of the City in extending Main Street through the subject site and promoting the Street Network Map of the Town Center Plan, which is the major reason the City Council supported granting a credit to the required Traffic Generation Assessment Fee assigned to this project - \$250,000.00.
7. The limited number of community-based enhancements included in the proposal at this time offers no incentive for support of the application. In the case of Koman's Wildwood Town Center Project, a fountain, numerous street identification piers, a public plaza, and a public parking garage were included in the design of the project, which enhanced its character and created a very nice environment for employees, customers, and visitors to the site. None of these types of extras are contemplated in the current application.
8. The extent of improvements to the site and surrounding roadway system are at such a level that consideration of a public finance incentive package is not reasonable, when compared to other projects that sought no such assistance in this regard.
9. The level of the funding requested provides for almost the entire amount of these public improvements to be absorbed by outside sources, rather than the developer's own. This arrangement reflects more of a philosophical concern and the level of commitment on the part of the developer to truly make this project special.

Given these considerations, the Development Finance Group does not support this application and, unless otherwise directed by City Council, will not pursue any additional information from the developer on this matter.

V. Recommendation

The Development Finance Group appreciates the opportunity to provide this review to the City Council on such an important matter of this nature. This Group has determined, based upon the submitted application and its review process, that such an application does not have potential merit and the City Council should not proceed with further discussions, as set forth in the adopted "Procedures for the Review and Processing of Requests for Development Finance Incentives." However, given that this is only a recommendation, if the City Council believes it is worth further discussions and negotiations with the developer on the key points identified herein, the Group can certainly undertake them, under an expedited timeframe. Conversely, if the City is successful with its Transportation Improvement Program (TIP) application for State Route 109 work, the developer may not be obligated for many of those roadway improvements, but rather, could participate in such by providing the required twenty (20) percent match of funding under the program's guidelines and requirements, which the Development Finance Group believes to be very reasonable.

VI. Development Finance Group Members

Ryan S. Thomas, P.E., City Administrator

Rob Golterman, City Attorney

Rick Brown, P.E. and P.T.O.E., Director of Public Works

Joe Vujnich, Department of Planning

VII. Attachments

- Developer's Proposal
- Policy Documents for the City's Review of Public Financing Proposals
- Other Information and Background



WILDWOOD

January 11, 2016

The Honorable City Council
City of Wildwood, Missouri
16860 Main Street
Wildwood, Missouri 63040

Re: Development Finance Incentives Application Packet for Main Street Crossing Project
Permitted Use: One Hundred Four (104) Single Family Detached Dwellings on Individual Lots
Location: Town Center Area; east side of State Route 109, south of State Route 100
Applicant: Payne Family Homes, L.L.C.

Council Members:

Recently, the City was in receipt of a filing relating to the City's Development Finance Incentives Policy, which was first adopted by the City Council in 2006. The development of this policy, and corresponding ordinance, was in response to the outcomes and considerations of the City's first public finance project, which was Koman Properties' Wildwood Town Center Project and the anticipated submittal of future applications of a similar or like nature. Thereafter, the City Council, in developing and adopting this policy and ordinance, wanted a more formal approach followed for these types of requests, along with having more information available about it, sooner than later in this overall review process. This policy and related ordinance are attached to this letter for the City Council's review.

The applicant for this public financing request is Payne Family Homes, L.L.C. and specific to the Main Street Crossing Project that is located on State Route 109, south of State Route 100, and extends to the east to Eatherton Road. This project, as the City Council may recall, includes the extension of Main Street and work within the State Route 109 right-of-way area, which requires the installation of a roundabout. The applicant has noted in previous conversations during the rezoning process at the City Council the costs of these two (2) improvements is substantial and cannot necessarily be carried by a residential development of one hundred four (104) homesites. The most recent cost estimate has the total amount of these two (2) roadways, i.e. State Route 109 and Main Street, around three million dollars (\$3,000,000.00), which according to Payne Family Homes, L.L.C. is the reason for this application to the City.

As noted in the attached materials, the Development Finance Group will review the application. This group includes the City Administrator, City Attorney, Director of Public Works, and the Director of Planning. This group will review all of the application materials, request any additional information

that is determined to be needed for full consideration of the request, and provide a recommendation to the City Council in this regard. This process is funded by the applicant, under the requirements of the adopted policy and will take at least through February of this year for the Development Finance Group to complete its task and be prepared to present its recommendation to the City Council for its review and associated action.

If any of the City Council members should have questions or comments in regards to this process, please feel free to contact the Departments of Planning or Public Works or the City Administrator at (636) 458-0440. A presentation is planned on this matter at tonight's Work Session. Thank you for your review of this information and any input you might provide in this regard.

Respectfully submitted,
CITY OF WILDWOOD


Joe Vujnich, Director
Department of Planning

Cc: The Honorable Timothy Woerther, Mayor
Rob Golterman, City Attorney
Rick Brown, P.E. and P.T.O.E., Director of Public Works
Tom Cummings, Applicant for Payne Family Homes



December 29, 2015



VIA HAND DELIVERY

City of Wildwood
Attn.: Joe Vujnich
Director of Planning
16860 Main Street
Wildwood, Missouri 63040

Re: Main Street Crossing Development Financing/Funding Assistance Request

Dear Mr. Vujnich:

Payne Family Homes, LLC ("Applicant") is in receipt of your letter dated October 28, 2015 from the City of Wildwood ("City") with reference to Applicant's recent application for Development Finance Incentives and/or Development Funding Assistance for the above referenced property.

The following are Applicant's responses to the questions asked in the above referenced letter:

1. The Five Thousand and 00/100 Dollar (\$5,000.00) fee requested by City is enclosed herewith.
2. The types of assistance that Applicant is seeking include any, all, or a combination of the following:
 - a. Direct funding from the City
 - b. Capital Improvement Funds
 - c. Trust Fund East
 - d. Trust Fund West

3. Applicant hereby requests assistance in the full amount of the Two (2) projects described in Applicant's letter dated 9/30/15 (the "Infrastructure Improvements"). The total amount is \$3,139,365.00.
4. Applicant has met with the owner of the commercial property to the West of the proposed Main Street Crossing development, and the owner of that property has acknowledged the requirement to contribute the TGA's associated with that tract as/when the property is developed in accordance with City's requirements.

Applicant has not met with the owner of the Slavik tract (West of Hwy 109) regarding the Infrastructure Improvements, as this property is not yet zoned or permitted, and it is not certain as of the date of this letter whether/when any future action on that property will be taken by Applicant.

5. Applicant arranged for a meeting that was held on December 14, 2015 between Applicant, the City, and MODOT. In this meeting, waivers were discussed with respect to (a) the requirement to construct a roundabout in relation to the Hwy 109 Project, and (b) any right-of-way fees associated with said construction. MODOT declined any such waivers. Applicant has not approached any other public source.
6. The status of items A through C is as follows:
 - a. The enclosed are the most current updated cost estimates at this time, but the final costs associated with the Infrastructure Improvements may vary from the amount in the current estimates, as final improvement plans have not yet been approved by the City, MODOT, or any other applicable authority, and material/services costs are subject to changes in market conditions beyond the control of Applicant.

Furthermore, it should be noted that the enclosed cost estimates reflect cost savings, and economies of scale that would be achieved assuming that the Infrastructure Improvements are developed concurrently with the Main Street Crossings development. The final project cost may vary, if the projects are not coordinated this way.
 - b. Applicant would propose that the development be structured as a public/private project in accordance with all applicable laws, rules, and regulations.
 - c. The final contributions of costs for the Infrastructure Improvements will be the product of future discussions.

7. The most recent version of the plan has been enclosed herewith.
8. The following Master Plan goals, objectives, and policies are furthered by the proposed projects in the ways indicated below:
 - a. Transportation Element. This development finance/funding proposal complies with Goals #1, #2 and #3 in that it provides safe streets, sidewalks and trails, the

roadway project is appropriate to the character of Wildwood and it provides multi-modal options for transportation for residents, visitors, and guests and businesses.

Objectives #1 and #4 are met in that the parkway design of Main Street and the proposed roundabouts are safe, efficient and consistent with the City's character. The development of trails and extensive sidewalks encourage bicycle and pedestrian traffic and the roads and trails are being designed to connect with other aspects of the Town Center.

Policy #1 is complied with in that the roundabout designs improve the configuration of intersections and traffic flow and Policies #4 and #5 are complied with because the design connects the trails and sidewalks with the Town Center and street maintenance is appropriately planned.

- b. Economic Development Element. This development finance/funding proposal complies with Goal #4 in that the requested funding is for an expansion and development of Main Street, the upgrade to Hwy 109 and Etherton Road with roundabouts and appropriate trails, sidewalk and open space improvements.

Objective #6 is met in that the proposed capital improvements encourage the residential and commercial development within the Town Center.

- c. Open Space and Recreation Element. This development finance/funding proposal complies with Goal #1 and #3, and Policy #2 in that several small open and recreational areas throughout the development will enhance property values, promote a sense of community, and welcome and engage residents, visitors and guests. All maintenance costs for such facilities will be provided by the homeowners association.
- d. Community Services Element. This development finance/funding proposal complies with Goal #2 and Objectives #1, #4 and #7 in that the current service responsibilities for the development do not exceed available municipal service capabilities, the established character of the community will be maintained and new utilities service lines will be underground.
- e. Environmental Element. This development finance/funding proposal complies with Goal #4, Objectives #1, #3, #4 and #5 and Policies #1, #4, #8, #9, #10 and #18 in that the development is designed, approved and will be constructed in accordance with all necessary City, sewer district and Corps of Engineers guidelines, rules and regulations and approvals.
- f. Planning Element. This development finance/funding proposal complies with Goal #3 and Objective #7 in that the development planning decisions are related closely to environmental quality, community services, transportation services and open space considerations and will meet or exceed the Neighborhood Design

Standards from the Town Center Plan.

9. The following City Council Strategic Goals and Objectives are furthered by the proposed projects in the ways indicted below:
- a. Promote and Facilitate Development of the Town Center. Goal #1 and Strategic Objectives #1, #2, #3 and #4 are met in that the planned connectivity of the roads, including the Main Street extension and construction of connectors to other neighborhoods, trails and sidewalks, along with the residential development. Additionally, the development contains functional public common areas, and the common areas, including the storm water detention and rain garden areas, will be maintained by the homeowners association. Public funding for the roundabouts connection to Main Street is appropriate.
 - b. Develop a Long-term Financial Plan. Goal #2 and Objective #2 are satisfied in that the residential development will increase sales and utility tax revenues to the City.
 - c. Implement the Park and Recreation Action Plan. Goal #3 and Objective #2 are satisfied in that the development has public use areas and the trail extensions connect with the sidewalk on Hwy 109 and will connect with the Town Center.

Applicant hereby requests that City review the above information and enclosed documents, and prepare a recommendation to the City that might be heard at the next available hearing.

Please contact me at your earliest convenience, to let me know when the matter can be set for public hearing.

Sincerely yours,



Thomas E. Cummings
Vice President of Land Acquisition

Enclosures

CC via email w/o enclosures: David N. Neiers
Robert J. Golterman
Mayor Timothy Woerther
Ryan Thomas
Rick Brown

CITY OF WILDWOOD

ACKNOWLEDGEMENT OF RECEIPT

**Information Package for Consideration of
Development Finance Incentives**

I, Tom Cummings, representing PAYNE FAMILY HOMES, LLC (name of company, if applicable), by signing this statement, hereby acknowledges that I/we have been furnished a copy of the official policy relating to Development Finance Incentives by the City Administrator and/or the Director of Planning, along with the Procedures and Processes for Development Finance Incentives, as adopted by City of Wildwood Ordinance # 1345, and have also been offered an opportunity to ask any questions regarding them by the aforementioned personnel of the City of Wildwood, along with contact information for the same for future use.

<u>Thomas P. Cummins</u> Signature	<u>9/17/15</u> Date
_____ Signature (if needed)	_____ Date
_____ Signature (if needed)	_____ Date

Draft Date: October 19, 2006

"Planting Tomorrow Today"

SAMPLE

NOT PART OF ORDINANCE

THE

STERLING

CO.

ENGINEERS AND SURVEYORS

MAIN STREET CROSSING

14-04-126

PRELIMINARY COST ESTIMATE

July 27, 2015

"MAIN STREET" IMPROVEMENTS:**GRADING / SILTATION CONTROL - Main Street:**

DESCRIPTION:	QTY.		UNIT COST	TOTAL
CLEARING & CHIPPING	1.3	AC.	\$6,500	\$8,450
WASHDOWN STATION	1	EA.	\$5,750	\$5,750
TEMPORARY SEDIMENT BASIN	2	EA.	\$3,500	\$7,000
ROUGH GRADING	21,600	C.Y.	\$2.25	\$48,600
SOD WITHIN RIGHT-OF-WAY	13,068	S.Y.	\$3.50	\$45,738
HYDROSEEDING SLOPES	5,171	S.Y.	\$1.15	\$5,947
NATURAL RESOURCE PROTECTION FENCE	1,643	L.F.	\$6.00	\$9,858
SILT FENCE	2,460	L.F.	\$4.00	\$9,840
SILT FENCE MAINTENANCE	2,460	L.F.	\$1.00	\$2,460
SOIL TESTING	21,600	C.Y.	\$0.30	\$6,480
			TOTAL:	\$150,123

STREETS- Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
ASPHALTIC CONCRETE PAVEMENT (2" c, 10" x)	3,875	S.Y.	\$59.00	\$228,625
4" TYPE 1 AGGREGATE BASE	5,861	S.Y.	\$4.40	\$25,788
22' ACCESS DRIVE ENTRANCE APRON (2" c, 10" x)	82	S.Y.	\$59.00	\$4,838
6" VERTICAL CONC. CURB & GUTTER	7,152	L.F.	\$20.70	\$148,046
5' WIDE CONCRETE SIDEWALK	3,658	L.F.	\$19.00	\$69,502
STREET SIGNS	5	S.F.	\$200	\$1,000
GUARDRAIL	532	L.F.	\$16.25	\$8,645
HANDICAP RAMP	10	EA.	\$1,035	\$10,350
			TOTAL:	\$496,795

WATER MAIN- Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
8" P.V.C.	1,892	L.F.	\$70.00	\$132,440
HYDRANT AND VALVE	6	EA.	\$1,900	\$11,400
CONNECTION TO EXISTING MAIN	1	EA.	\$500	\$500
			TOTAL:	\$144,340

STORM SEWERS- Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
STORM MANHOLE	1	EA.	\$1,350.00	\$1,350
DOUBLE CURB INLET	9	EA.	\$2,575.00	\$23,175
18" R.C.P.	460	L.F.	\$27.60	\$12,696
PIPE BEDDING (18" R.C.P.)	460	L.F.	\$4.80	\$2,208
24" R.C.P.	170	L.F.	\$35.50	\$6,035
PIPE BEDDING (24" R.C.P.)	170	L.F.	\$4.90	\$833
30" R.C.P.	140	L.F.	\$48.00	\$6,720
PIPE BEDDING (30" R.C.P.)	140	L.F.	\$5.00	\$700
24" FLARED END SECTION	1	EA.	\$1,295.00	\$1,295
30" FLARED END SECTION	2	EA.	\$1,400.00	\$2,800
JETTING	790	L.F.	\$1.50	\$1,185
GRANULAR FILL UNDER PAVEMENT	385	TN.	\$10.00	\$3,850
RIP-RAP / HEAVY STONE REVETMENT	100	S.Y.	\$47.00	\$4,700
MSD INSPECTION FEE	790	L.F.	\$3.39	\$2,678
			TOTAL:	\$70,225
ENGINEERING AND CONSTRUCTION SURVEY	LUMP SUM		TOTAL	\$45,000

LANDSCAPING - Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
STREET TREES (Every 30 ft)	126	L.S.	\$275	\$34,650
LANDSCAPING (Waldbart Bid)	1	L.S.	\$7,240	\$7,240
			TOTAL:	\$41,890

MISC. UTILITY - Main Street:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
AMEREN FACILITY RELOCATIONS *	1	L.S.	\$110,000	\$110,000
CABLE & ATT RELOCATIONS	1	L.S.	\$20,000	\$20,000
ELECTRIC - STREET LIGHTS (Every 65' both sides)	60	EA.	\$1,500	\$50,400
ELECTRIC - CONDUIT	3,945	L.F.	\$3.50	\$13,839
			TOTAL:	\$194,239

IRIGATION SYSTEM- MAIN STREET	QTY		UNIT COST	TOTAL
R/W (27'X1940') = 52,380 SQ FT	52,380	S.F.	\$0.75	\$39,285
ISLAND (11'X740') = 8,140 SQ FT	8,140	S.F.	\$0.75	\$6,105
			TOTAL:	\$45,390

"MAIN STREET" IMPROVEMENTS SUBTOTAL **\$1,188,002**

MISC. **10%** **\$118,800**

"MAIN STREET" IMPROVEMENTS TOTAL **\$1,306,802**

* PRICE RECEIVED FROM AMEREN IN EMAIL DATED AUGUST 13, 2014 FROM BOB BAILEY

THE

STERLING

CO.

ENGINEERS AND SURVEYORS

MAIN STREET CROSSING
14-04-126

PRELIMINARY COST ESTIMATE
July 27, 2015

"MODOT / 109" IMPROVEMENTS:**GRADING / SILTATION CONTROL - MoDOT / 109 Improvements:**

DESCRIPTION:	QTY.		UNIT COST	TOTAL
CLEARING & CHIPPING	1.4	AC.	\$6,500	\$9,100
WASHDOWN STATION	1	EA.	\$5,750	\$5,750
ROUGH GRADING	31,090	C.Y.	\$2.25	\$69,953
EARTH HAUL / IMPORT	31,090	C.Y.	\$10.00	\$310,900
SOD	7,744	S.Y.	\$3.50	\$27,104
SILT FENCE	1,275	L.F.	\$4.00	\$5,100
SILT FENCE MAINTENANCE	1,275	L.F.	\$1.00	\$1,275
SOIL TESTING	31,900	C.Y.	\$0.30	\$9,570
			TOTAL:	\$438,752

IMPROVEMENTS - MoDOT / 109 Improvements:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
12" P.C. CONCRETE PAVEMENT	3,030	S.Y.	\$87.50	\$265,125
ASPHALTIC CONCRETE PAVEMENT (2" c, 10" x)	1,900	S.Y.	\$59.00	\$112,100
ASPHALTIC CONCRETE PAVEMENT (Temporary)	900	S.Y.	\$59.00	\$53,100
4" TYPE 1 AGGREGATE BASE	5,330	S.Y.	\$4.40	\$23,452
FULL DEPTH SAWCUT	100	L.F.	\$5.00	\$500
8" MEDIAN ISLAND	630	S.Y.	\$62.50	\$39,375
TYPE A CURB & GUTTER	890	L.F.	\$38.00	\$33,820
6" VERTICAL CURB	550	L.F.	\$38.00	\$20,900
6" MOUNTABLE CURB	290	L.F.	\$38.00	\$11,020
8' WIDE CONCRETE SIDEWALK	995	L.F.	\$30.00	\$29,850
HANDICAP RAMP	3	EA.	\$1,035.00	\$3,105
GUARD RAIL	660	L.F.	\$16.25	\$10,725
CRASHWORTHY END TERMINAL	2	EA.	\$1,984.00	\$3,968
REMOVAL OF EXISTING ASPHALT ROADWAY	3,200	S.Y.	\$42.00	\$134,400
TEMPORARY TRAFFIC CONTROL	1	L.S.	\$10,000	\$10,000
CONSTRUCTION STAGING	1	L.S.	\$50,000	\$50,000
			SUB-TOTAL:	\$801,440
			10% Maint.	\$80,144
			TOTAL:	\$881,584

STORM SEWERS- MoDOT / 109 Improvements:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
30" R.C.P.	20	L.F.	\$48.00	\$960
PIPE BEDDING (30" R.C.P.)	20	L.F.	\$5.00	\$100
30" FLARED END SECTION	1	EA.	\$1,400.00	\$1,400
JETTING	20	L.F.	\$1.50	\$30
GRANULAR FILL UNDER PAVEMENT	36	TN.	\$10.00	\$360
RIP-RAP / HEAVY STONE REVETMENT	33	S.Y.	\$47.00	\$1,551
5' x 3' CONCRETE BOX CULVERT	10	L.F.	\$210.00	\$2,100
8'x6' CONCRETE BOX CULVERT	315	L.F.	\$680.00	\$214,200
MSD INSPECTION FEE	345	L.F.	\$3.39	\$1,170
SUB-TOTAL:				\$221,871
10% Maint.				\$22,187
TOTAL:				\$244,058

LANDSCAPING:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
STREET TREES (Every 30 ft.)	33	EA.	\$275.00	\$9,075
LANDSCAPING ROUNDABOUT	1	L.S.	\$5,000	\$5,000
SUB-TOTAL:				\$14,075
10% Maint.				\$1,408
TOTAL:				\$15,483

DETENTION AND WATER QUALITY:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
BIORETENTION AND UNDERDRAINS	595	S.F.	\$18.00	\$10,710
CONTROL STRUCTURE	1	EA.	\$6,000	\$6,000
SUB-TOTAL:				\$16,710
10% Maint.				\$1,671
TOTAL:				\$18,381

ENGINEERING AND CONSTRUCTION SURVEYING	1	L.S.	LUMP SUM	\$50,000
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MISC. UTILITY - MoDOT / 109 Improvements:

DESCRIPTION:	QTY.		UNIT COST	TOTAL
ELECTRIC - STREET LIGHTS	15	EA.	\$840	\$12,600
ELECTRIC - CONDUIT	1,000	L.F.	\$3.50	\$3,500
SUB-TOTAL:				\$16,100
10% Maint.				\$1,610
TOTAL:				\$17,710

MODOT / 109 IMPROVEMENTS SUBTOTAL **\$1,665,967**

MISC. **10 %** **\$166,597**

MODOT / 109 IMPROVEMENTS TOTAL **\$1,832,563**

NOTE: No cost has been added to acquire the additional R/W to construct Roundabout



September 30, 2015

City of Wildwood
Attn.: Mr. Ryan S. Thomas
City Administrator
16860 Main Street
Wildwood, Missouri 63040

Re: Main Street Crossing Development Financing/Funding Assistance Request

Dear Mr. Thomas:

Payne Family Homes, LLC ("Applicant") hereby requests that the City of Wildwood ("City") consider Development Finance Incentives and/or Development Funding Assistance for the above referenced property.

The tract in question is generally located East of Highway 109, West of Eatherton Rd., South of the Cambury development, and North of Old Grover Crossing. Any/all funds allocated subject to this request would be used to construct two (2) infrastructure components crucial to the development of Wildwood Town Center (Cost estimates for the two (2) projects are attached for your reference):

- (a) Main Street (from Eatherton Westward to an intersection with Hwy 109), and
- (b) A new roundabout and associated improvements on Hwy 109

The proposed community that would be developed in conjunction with the above infrastructure improvements would consist of One Hundred Four (104) single family residences on approximately Twenty Eight (28) acres of land. In addition to the construction of Main Street through the property, Applicant has agreed to provide additional connectivity by connecting stub streets at Larksong Dr. and Kilare Ln. to the North, and at Grover Ridge Dr. to the South.

The site design preliminarily approved by City accomplishes many of the development goals important to the City. The Preliminary Development Plan calls for diverse housing offerings of

both traditional and neo-traditional architecture in the new community. This will add the desired density and design attributes to the residential properties planned for this portion of Town Center. Importantly, Main Street will be extended from Eatherton Rd. to Hwy 109.

The extension of Main Street has been identified by the Planning Department as an integral part of this development, and further achieves the goal of extending the current street network to provide for increased connectivity among the residential neighborhoods in Town Center (by means of pedestrian paths, trails, etc.), as well as connectivity of the residential areas to the commercial and municipal elements of the Town Center.

The proposed incentives and/or assistance in constructing the two (2) projects listed above and detailed in this application are in accordance with the City's Master Plan, as amended by Resolution 2015-23 which was passed on September 14, 2015 with relation to the development of the subject tract (and the current zoning as approved by Ordinance No. 2116 on the same date). Furthermore, the requests made in this application are consistent with the Policy on Development Finance Incentives in that they would fund a project that is of significant size and nature, and provide the valued public benefits described herein.

In accordance with the procedure as outlined by City, Applicant hereby commits to pay City its entire review costs including an advanced payment in accordance with an established rate schedule.

Please contact me at your earliest convenience, so that we might schedule a meeting to further discuss the details of this application.

Sincerely yours,



Thomas E. Cummings
Vice President of Land Acquisition

CITY OF WILDWOOD

APPLICATION FOR CONSIDERATION

Development Finance Incentives

Applicant Information:

Name: PAYNE FAMILY HOMES, LLC ATTN: TOM CUMMINGS
Address: 10407 BAUK, SUITE B ST LOUIS, MO 63132
City: ST LOUIS State: MO Zip Code: 63132
Work Telephone: (314) 996-0355
Mobile Telephone: (314) 287-3110
E-Mail Address: tec@paynefamilyhomes.com

Property Information:

Address of Subject Property: 2461 EATHERTON RD
Locator Number of Subject Property: 23V 12 00 94
Size of Subject Property: +/- 35.8 ac
Current Zoning of Subject Property: R-4
Town Center Regulating Plan Designation of the Subject Property: NEIGHBORHOOD EDGE

Incentive Information:

Type of Requested Incentive (i.e. TDD, NID, CID, or other): OTHER FINANCIAL ASSISTANCE
Amount of Incentive: TBD

Total Allocation of Funds Derived from Requested Incentive (Please complete under applicable headings):

Remediation of site (brownfield): SEE ATTACHED COST ESTIMATES

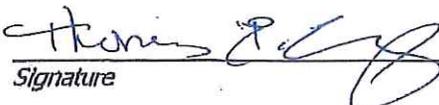
Roads/Streets:		
Bridges:		
Pedestrian Facilities:		
Stormwater Management Facilities:		
Parking Garage:		
Public Space, including art: Streetscape (including lights, benches, grates, bicycle racks, etc.):		
Other Public Improvements:		

Important Considerations/
Justifications Relating Request
to the City's Master Plan and
Strategic Goals (as Identified
by the Applicant):

SEE ATTACHED DESCRIPTION OF
IMPORTANT CONSIDERATIONS &
JUSTIFICATIONS

Please feel free to attach expanded explanation/justification.

By signing this form, the applicant acknowledges that he/she has received a copy of the PROCEDURES FOR THE REVIEW AND PROCESSING OF REQUESTS FOR DEVELOPMENT FINANCE INCENTIVES, has been advised by City staff of its requirements, and understands and agrees to comply with its provisions.

 Signature	9/30/15 Date
_____ Signature (if needed)	_____ Date
_____ Signature (if needed)	_____ Date

Draft Date: October 19, 2006

Electronic Transmission System

Important Considerations/Justifications:

As outlined in the attached application, Applicant has provided City with cost estimates for the improvements proposed in the two (2) projects that are the subject of this application. These estimates were current as of the date they were originally delivered to City.

Applicant and City have discussed the possibility of public assistance with the proposed infrastructure improvements, but further discussions will be needed to determine the following:

- (a) Updated cost estimates (based on any scope changes, unit cost changes, etc.)
- (b) Project development type (public bid vs. direct award, public project administration vs. private project management, etc.)
- (c) Final allocation of costs to the parties.
- (d) Other matters as the parties may identify

It is important to note that Applicant acknowledges a benefit bestowed on the Main Street Crossings project by the proposed infrastructure improvements, and Applicant has accordingly expressed a willingness to work with City to fund a fair and equitable portion of the construction of these improvements.

P.Z. Number(s): _____
(as assigned by department)

PETITION

before the
CITY OF WILDWOOD'S
PLANNING AND ZONING COMMISSION

FOR THE PURPOSE OF HEARING REQUESTS
FOR ONE OR A COMBINATION OF THE FOLLOWING:
(PLEASE CHECK THOSE ITEMS WHICH ARE APPLICABLE)

- Change in Zoning
 Conditional Use Permit
 Approval of a Planned District or other special procedure (C-8/M-3/PRD)

APPLICANT/OWNER INFORMATION

Applicant's Name: Payne Family Homes
Mailing Address: 10407 Baur Blvd suite B
St. Louis, Mo. 63132
Telephone Number, with Area Code: 314-996-0341
Fax Number, with Area Code: _____
E-Mail Address: jgd@paynefamilyhomes.com
Interest in Property (Owner or Owner Under Contract):
Owner under Contract

If owner under contract, please attach a copy of the contract.

Copy attached

Owner's Name (if different than applicant):
Mildred E. Schneider, Trustee
Address: 15 Wilderness Lane
Defiance, Mo. 63341
Telephone Number, with Area Code: 636-798-2145
Care of David Schneider

SITE INFORMATION

Postal Address of the Petitioned Property(ies):

2461 Eatherton Road
Wildwood, Mo. 63140

Locator Number(s) of the petitioned Property(ies):

23V120094

Total Acreage of the Site to the Nearest Tenth of an Acre:

.34, 8

Current Zoning District Designation: MU (Town Center)

Proposed Zoning District Designation: Commercial and R-4 with PRD

Proposed Planned District or Special Procedure: PRD Planned Residential District

USE INFORMATION

Current Use of Petitioned Site: two single family homes

Proposed Use of Site: Detached single family residential

lots and Commercial with common ground/
Public space

Proposed Title of Project: Main Street Crossing

Proposed Development Schedule (include approximate date of start and completion of the project):

We anticipate developing spring 2015 and start home
Construction late summer 2015

CONSULTANT INFORMATION

Engineer's/Architect's Name: Sterling Engineering and Surveying Co.

Address: 5055 New Baumgartner Rd, St. Louis, Mo.
63129

Telephone Number, with area code: 314-487-0440

Fax Number, with area code: 314-487-8944

E-Mail Address: mfallner@sterling-eng-sur.com

Soil Scientist/Forester's Name: SCI

Address: 130 Point West Blvd
St. Charles, Mo. 63301

Telephone Number, with area code: 636-949-8200

Fax Number, with area code: 636-949-8269

E-Mail Address: sharding@sciengineering.com

ACKNOWLEDGEMENT INFORMATION

The petitioner(s) state(s) they (he) (she) will comply with all the requirements of the city of wildwood with regard to the procedures relating to its administration of land use and development controls within its boundaries, including the payment of all applicable fees.

The petitioner(s) further represent(s) and agree(s) that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly, to any official, employee, or appointee of the City of Wildwood with respect to this application.

The petitioner(s) hereby certify(ies) that (Indicate one):

- I (we) have a legal interest in the hereinabove described property,
- I am (we are) the duly appointed agent of the petitioner(s) and that all information given and represented on this application is an accurate and true statement of fact. Any misrepresentation of information on this application or accompanying information shall constitute grounds for the City of Wildwood, Missouri to terminate review of this petition and return all materials, minus any fees, associated with its review up to and through that point.

SIGNATURE: [Signature]
 NAME (PRINTED): Jerry Dwyer
 ADDRESS: 10407 Beau Blvd suite B
St Louis, Mo. 63132
jad@payne-familyhomes.com
 TELEPHONE NUMBER: 314-996-0341

[PLEASE NOTE: THE ABOVE NAMED PERSON SHALL RECEIVE ALL OFFICIAL NOTICES REGARDING THIS REQUEST, INCLUDING THE PUBLIC HEARING NOTICE.]

SUBSCRIBED AND SWORN BEFORE ME THIS
6th DAY OF October, 2014

SEAL: NANCY COPLING
 Notary Public, Notary Seal
 State of Missouri
 St. Louis County
 Commission # 11250033
 My Commission Expires October 04, 2015

SIGNED: Nancy Copling
 (NOTARY PUBLIC)
 NOTARY PUBLIC NANCY Copling
 STATE OF MISSOURI.

MY COMMISSION EXPIRES 10/4/15

FOR OFFICE USE ONLY

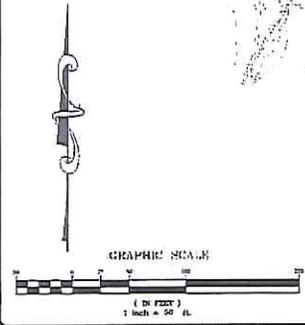
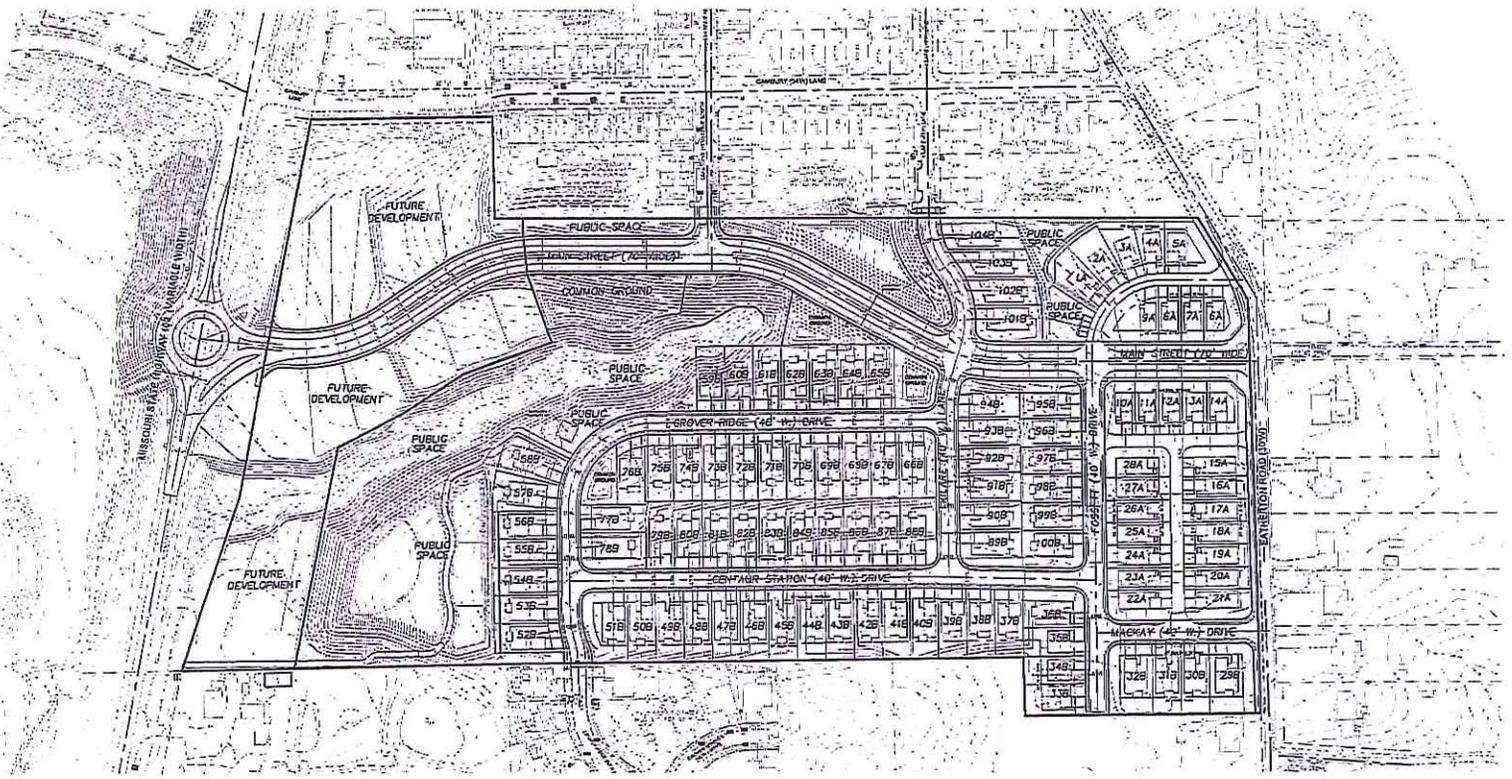
1ST SUBMITTAL DATE: _____
 FEE: _____; RECEIVED BY: _____
 PRELIMINARY DEVELOPMENT PLAN: YES NO
 PACKET COMPLETE: YES NO

2ND SUBMITTAL DATE: _____
 PACKET COMPLETE: YES NO

3RD SUBMITTAL DATE: _____
 PACKET COMPLETE: YES NO

4TH SUBMITTAL DATE: _____
 PACKET COMPLETE: YES NO

THE LANDSCAPE AND UTILITIES SHOWN HEREON WERE PLACED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE THEREOF. THE CLIENT AND THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES AND STRUCTURES ON THE SITE AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF PROPERTY OR PERSONAL INJURY CAUSED BY THE UTILITIES OR STRUCTURES SHOWN HEREON OR BY THE NEGLIGENCE OF ANY PARTY. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF PROPERTY OR PERSONAL INJURY CAUSED BY THE NEGLIGENCE OF ANY PARTY.



DATE REVISIONS	
1	10-23-2014 INITIAL SUBMITTAL
2	11-18-2014 CLIENT REVISIONS

PAYNE FAMILY HOMES
 1007 BAKER BLDG, SUITE B
 ST. LOUIS, MO 63132
 PH. 314-985-0341
 www.paynefamilyhomes.com

THE STERLING CO.
 ENGINEERS & SURVEYORS
 525 IRELAND SQUARE ROAD
 ST. LOUIS, MISSOURI 63109
 PH. 314-435-1111
 www.sterlingeng.com
 Corporate Office at Century Station

Main Street Crossing
 218 EAST HURON, WOODMOOR, IL
 SITE DEVELOPMENT PLAN

Date: 12-29-2015
 MICHAEL W. BURNING
 License No. E-28043
 Civil Engineer

Drawn: 14-04-126
 Date: Dec. 29, 2015
 Designer: SL
 Drawn: SL
 Checked: SDP

City of Wildwood

September 11, 2006

DEVELOPMENT FINANCE INCENTIVE POLICY STATEMENT

1. The use of public finance alternatives, in conjunction with development proposals, must exhibit a clear, compelling public purpose that advances identified strategic objectives of the City, as may be established by the City Council from time to time, and consistent with the Master Plan Goals, Objectives and Policies.
2. Public finance alternatives¹ that the City may consider in conjunction with a development proposal include the following:
 - a. Neighborhood Improvement Districts (NID)
 - b. Transportation Development Districts (TDD)
 - c. Community Improvement Districts (CID)
 - d. Other public financing options allowed under Missouri State Statute, such as Special Assessment Districts and Special Business Districts
3. In the instance of public finance alternatives, which require the establishment of a separate political subdivision (i.e. TDD's and CID's), the City will only accept an agreement that allows it to exercise appropriate control over the establishment of the district and on-going jurisdiction and oversight of its operation and administration.
4. Public finance proposals, which envision the use of public bond financing, must be of a size and nature that is financially practical and feasible in the determination of the City.
5. Public finance proposals must be of a significant nature and offer valued public benefits to justify their establishment and administration.
6. The City will not consider use of public finance options to fund construction, improvement, or renovation of privately-owned, subdivision physical assets owned in common, including private roadways.

City Council Adoption Date: SEPTEMBER 25, 2006

¹ Tax Increment Financing (TIF), in conjunction with land development proposals, will not be considered under any circumstances.

**AN ORDINANCE ADOPTING PROCEDURES FOR THE
REVIEW AND PROCESSING OF REQUESTS FOR
DEVELOPMENT FINANCE INCENTIVES**

WHEREAS, Missouri State Statutes provide authority to municipalities to utilize various public financing mechanisms that may be used as economic development incentives to fund, plan, design, construct, maintain and operate public improvements which include but are not limited to Neighborhood Improvement Districts (NID), Transportation Development Districts (TDD), Community Improvement Districts, and

WHEREAS, as the City of Wildwood (the "City") continues to grow, it has experienced and can expect to experience inquiries and requests from development interests seeking public participation and development financing incentives to fund various public improvements associated with development proposals, and

WHEREAS, the City of Wildwood has adopted a Development Finance Incentives Policy governing the forms of development finance incentives it will consider, and

WHEREAS, because "ad hoc" consideration of such requests invites uncertainty and inconsistency in the manner with which such inquiries and requests are addressed, the City desires to adopt a formal written procedure for the comprehensive, coordinated and thorough review and consideration of all such requests in order to protect the interests of the City, facilitate clear, open and consistent communications between City officials and developer representatives, ensure full knowledge of critical issues by the City Council necessary for public decision making, and provide developer/applicants with the certainty of a defined procedure for the processing and consideration of such requests.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILDWOOD, MISSOURI as follows:

Section One. The "Procedures for the Review and Processing of Requests for Development Finance Incentives", attached to this Ordinance as Exhibit 'A', governing the conduct of all elected and appointed officials of the City having involvement in the reviews and decisions within the scope of these Procedures are hereby approved and adopted.

Section Two. This Ordinance shall not be subject to the general penalties for violation as established by City Code. Instead, violations of the Procedures herein shall constitute a basis for denial by the City Council of the development incentive request.

Section Three. This Ordinance shall be in full force and effect on and after its passage and approval.

This Bill was passed and approved this 23rd day of October, 2006 by the City Council of the City of Wildwood, Missouri after having been read by title or in full two times prior to passage.

Edward L Marshall
Presiding Officer

Edward L Marshall
Edward L. Marshall, Mayor

ATTEST:

ATTEST:

Lynne Greene Beldner
City Clerk

Lynne Greene Beldner
City Clerk

‘EXHIBIT A’

PROCEDURES FOR THE REVIEW AND
PROCESSING OF REQUESTS FOR DEVELOPMENT FINANCE
INCENTIVES

The following process and procedures are to apply to all development project proposals that include or appear to contemplate any request for economic development finance incentives, funding assistance or other incentives requiring City Council approval not already set forth by ordinance. This procedure shall not apply to incentives or variances already within the authority of City staff and not requiring City Council approval.

1. Upon inquiry or expression of intent on the part of a property owner, developer or their representative(s) that the City consider some form of development finance incentive or funding assistance, a copy of this Procedure, together with the City’s “Development Finance Incentive Policy Statement [see attached] shall be provided to the inquiring party by the City Administrator or Director of Planning and Parks. Acknowledgement of receipt of this information by the inquiring party shall be provided in writing on a form furnished by the City.
2. Development finance incentive requests will be considered only in those instances where a development proposal and application including preliminary plans and other details necessary to understand the nature of the project and community benefit to be derived from it have been submitted and are under active review by the Department of Planning.
3. Each development proposal for which any form of development finance incentives or funding assistance is requested shall be made in writing on application forms provided by the City containing at a minimum the following information:
 - a. A copy of the filed development application and preliminary plan.
 - b. A summary of the type(s) and amount(s) of development finance incentives or assistance requested.
 - c. A conceptual allocation of funds for the development depicting the specific uses of the finance incentive(s).
 - d. A comprehensive explanation and rationale for the contemplated uses(s) to be made of the requested finance incentive(s) and how they conform to the City’s Master Plan and Policy on Development Finance Incentives.

- e. A commitment to pay to the City its entire review costs including an advanced payment in accordance with an established rate schedule.
 - f. A written acknowledgement from the developer/applicant that they have received a copy of the Procedure, and that they understand and agree to abide by its provisions.
4. Upon receipt of an application for a development finance incentive or funding assistance, the City Development Finance Group, composed of the City Administrator, City Attorney, Director of Planning and Director of Public Works, shall be convened to initially review and evaluate the proposal. The Director of Planning shall serve as Proposal Coordinator responsible for informing the Mayor and City Council of all application, on-going dissemination of information to and obtaining input from other members of the Development Finance Group, and coordinating contacts with the developer/applicant. The Development Finance Group shall meet with representatives of the developer/applicant to review the proposal and clarify matters, and shall consult with such additional City officials, legal advisors and finance advisors as may be appropriate.
 5. The Proposal Coordinator shall then oversee preparation of a Report and Recommendation on behalf of the Development Finance Group to the Mayor and City Council on whether the application is consistent with and serves to advance the City's development goals as set forth in the Master Plan, the "Development Finance Incentives Policy", strategic goals and objectives of the City, and other policies established by the City Council. The report and recommendation to the City Council shall also contain any alternate or differing views expressed by members of the Development Finance Group and its legal or finance advisors.
 6. The City Council shall then meet with the developer/applicant and Development Finance Group members to confer on the proposal and the Report and Recommendation. If the City Council determines that the proposal has potential merit, it shall authorize proceeding to the next steps in the review procedure process. City Council may at this time also initially consider such preliminary business terms (term sheet) as deemed appropriate to guide future negotiations. Nothing in any initial decision, authorization or direction of the City Council shall be considered or relied upon as an approval for any development finance incentives. Approval of any development finance incentive occurs only upon final ordinance approval after all steps in this Procedure have been completed.. No further action on the part of the Development Finance Group or other City officials shall be taken on an application if City Council does not authorize proceeding with subsequent procedural steps. In that event, any funds advanced for the costs of the City's review that remain unexpended shall be refunded to the developer/applicant.
 7. If so authorized by City Council, the Development Finance Group shall then proceed to negotiate the terms and conditions of a draft development agreement

with the developer/applicant setting forth, among other things, the details, scope and limitations on proposed development incentives. The City Attorney shall serve as the Lead Negotiator on behalf of the Development Finance Group and City unless otherwise directed by the City Council. Additional City officials, legal and finance advisors may be included during the negotiations as appropriate.

IMPORTANTLY, from this point in the process until negotiations are finalized and City Council legislative actions take place, all direct contacts and communications concerning development finance incentives or funding assistance between City officials and the developer/applicant representative(s) shall be directed through the Lead Negotiator who shall be responsible for coordinating communications among Development Finance Group members, other City advisors, and the designated developer/applicant representative(s).

8. It is anticipated that development agreement negotiations will occur contemporaneous and in coordination with the overall planning development review process including typical procedural requirements by the Planning and Zoning Commission and City Council.
9. All contemplated variances or exceptions from established development procedures, standards and requirements that may arise through the course of the project planning review or development agreement negotiations must be expressly identified in writing and acted upon by the City Council prior to related development incentive legislative actions.
10. Upon conclusion of development agreement negotiations and in coordination with other development review procedural requirements, the City Council shall conduct required Public Hearings on the proposal and engage in such review and deliberations as necessary to thoroughly comprehend the proposal prior to taking final legislative action(s).

CITY OF WILDWOOD

ACKNOWLEDGEMENT OF RECEIPT

**Information Package for Consideration of
Development Finance Incentives**

I, _____, representing _____ (name of company, if applicable), by signing this statement, hereby acknowledges that I/we have been furnished a copy of the official policy relating to Development Finance Incentives by the City Administrator and/or the Director of Planning, along with the Procedures and Processes for Development Finance Incentives, as adopted by City of Wildwood Ordinance #_____, and have also been offered an opportunity to ask any questions regarding them by the aforementioned personnel of the City of Wildwood, along with contact information for the same for future use.

_____ <i>Signature</i>	_____ <i>Date</i>
_____ <i>Signature (if needed)</i>	_____ <i>Date</i>
_____ <i>Signature (if needed)</i>	_____ <i>Date</i>

Draft Date: October 19, 2006

"Planning Tomorrow Today"

SAMPLE

NOT PART OF ORDINANCE

CITY OF WILDWOOD

APPLICATION FOR CONSIDERATION

Development Finance Incentives

Applicant Information:

Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Work Telephone: _____

Mobile Telephone: _____

E-Mail Address: _____

Property Information:

Address of Subject Property: _____

Locator Number of Subject Property: _____

Size of Subject Property: _____

Current Zoning of Subject Property: _____

Town Center Regulating Plan
Designation of the Subject Property: _____

Incentive Information:

Type of Requested Incentive
(i.e. TDD, NID, CID, or other): _____

Amount of Incentive: _____

Total Allocation of Funds Derived from Requested Incentive (Please complete under applicable headings):

Remediation of site (brownfield): _____

Roads/Streets: _____

Bridges: _____

Pedestrian Facilities: _____

Stormwater Management Facilities: _____

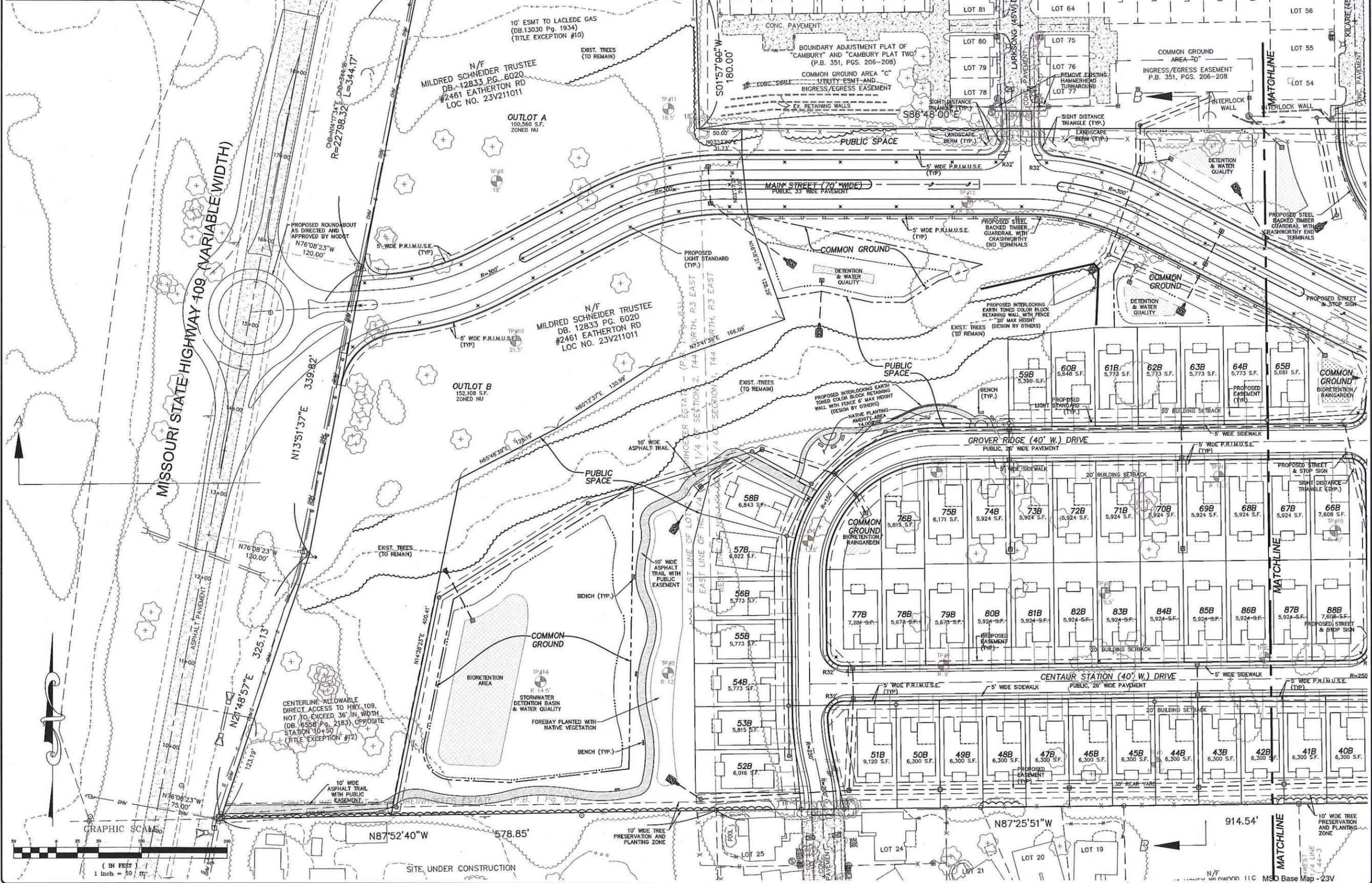
Parking Garage: _____

Public Space, including art:
Streetscape (including lights,
benches, grates, bicycle racks, etc.): _____

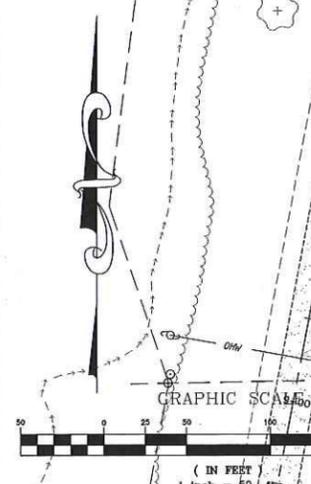
Other Public Improvements: _____

PLAN SHEETS

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.



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ISSUE	REMARKS/DATE
1	10-30-2015, INITIAL SUBMITTAL
2	11-16-2015, CLIENT REVISIONS
3	2-23-2016, CITY COMMENT REVISIONS

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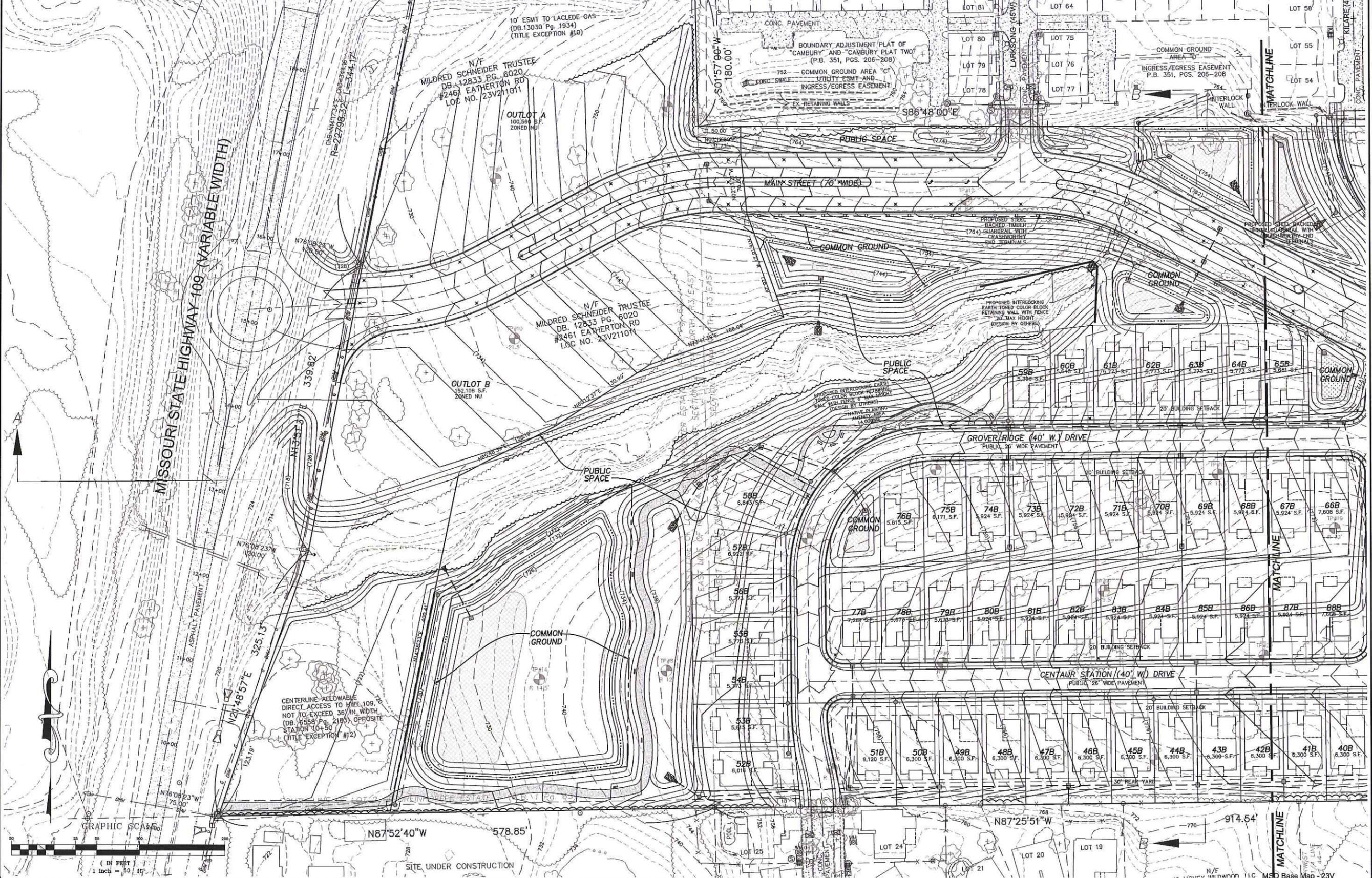
Main Street Crossing
 2461 EATHERTON RD., WILDWOOD, MO
 SDP - SITE PLAN



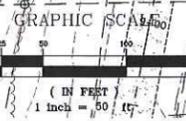
Date: 2-23-2016
 Rodney Arnold
 License No. PE-2002016612
 Civil Engineer

Job Number: 14-04-126
 Date: Feb. 23, 2016
 Designed: SL Sheet
 Drawn: SL 2.1
 Checked: SDP

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ISSUE	REMARKS/DATE
1	10-30-2015, INITIAL SUBMITTAL
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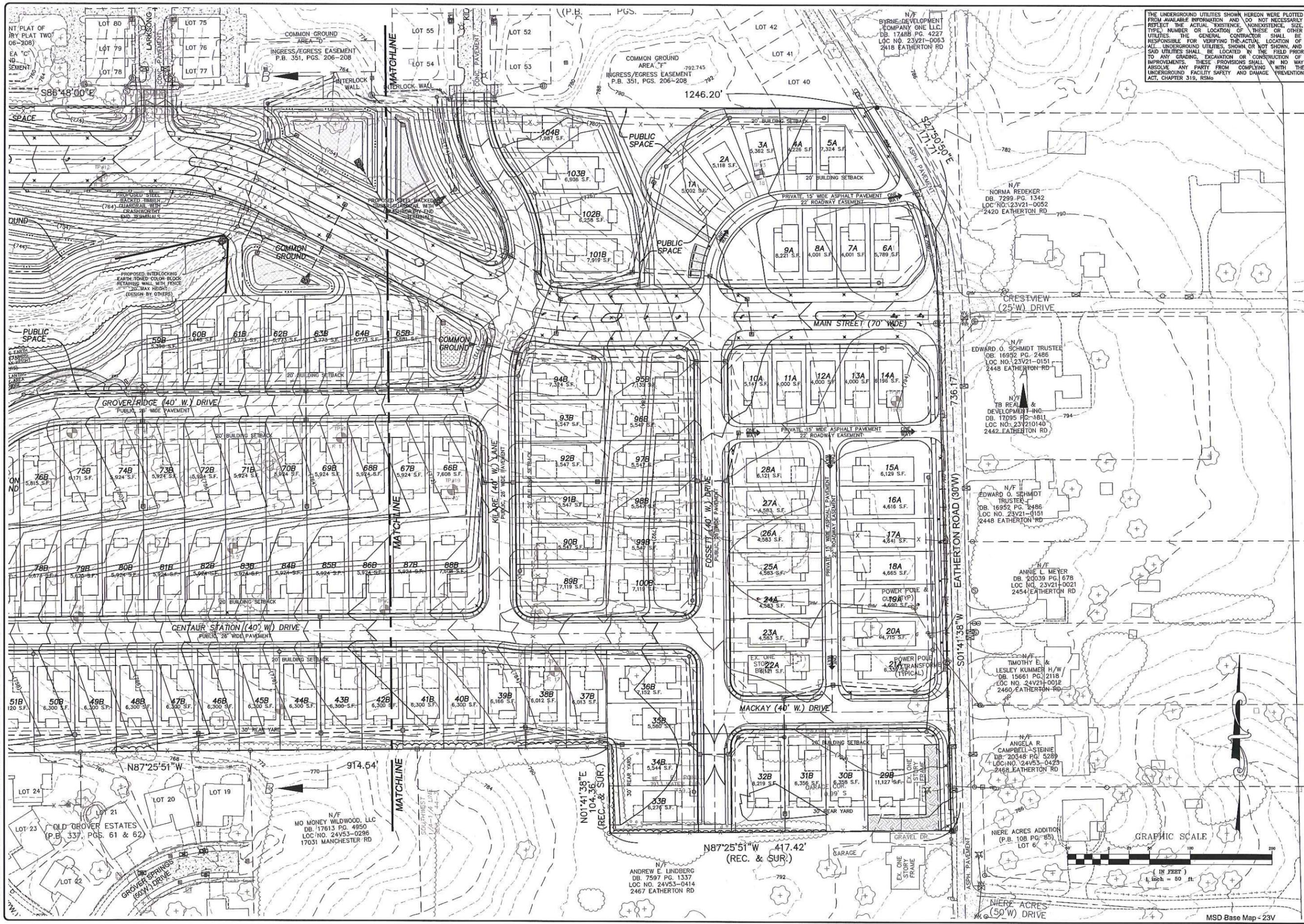
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SDP - GRADING PLAN



Date: 2-23-2016
RODNEY ARNOLD
License No. PE-2002016612
Civil Engineer

Job Number	14-04-126
Date	Feb. 23, 2016
Designed: SL	Sheet
Drawn: SL	3.1
Checked:	SDP



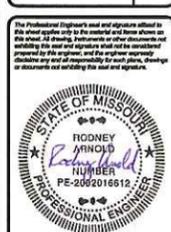
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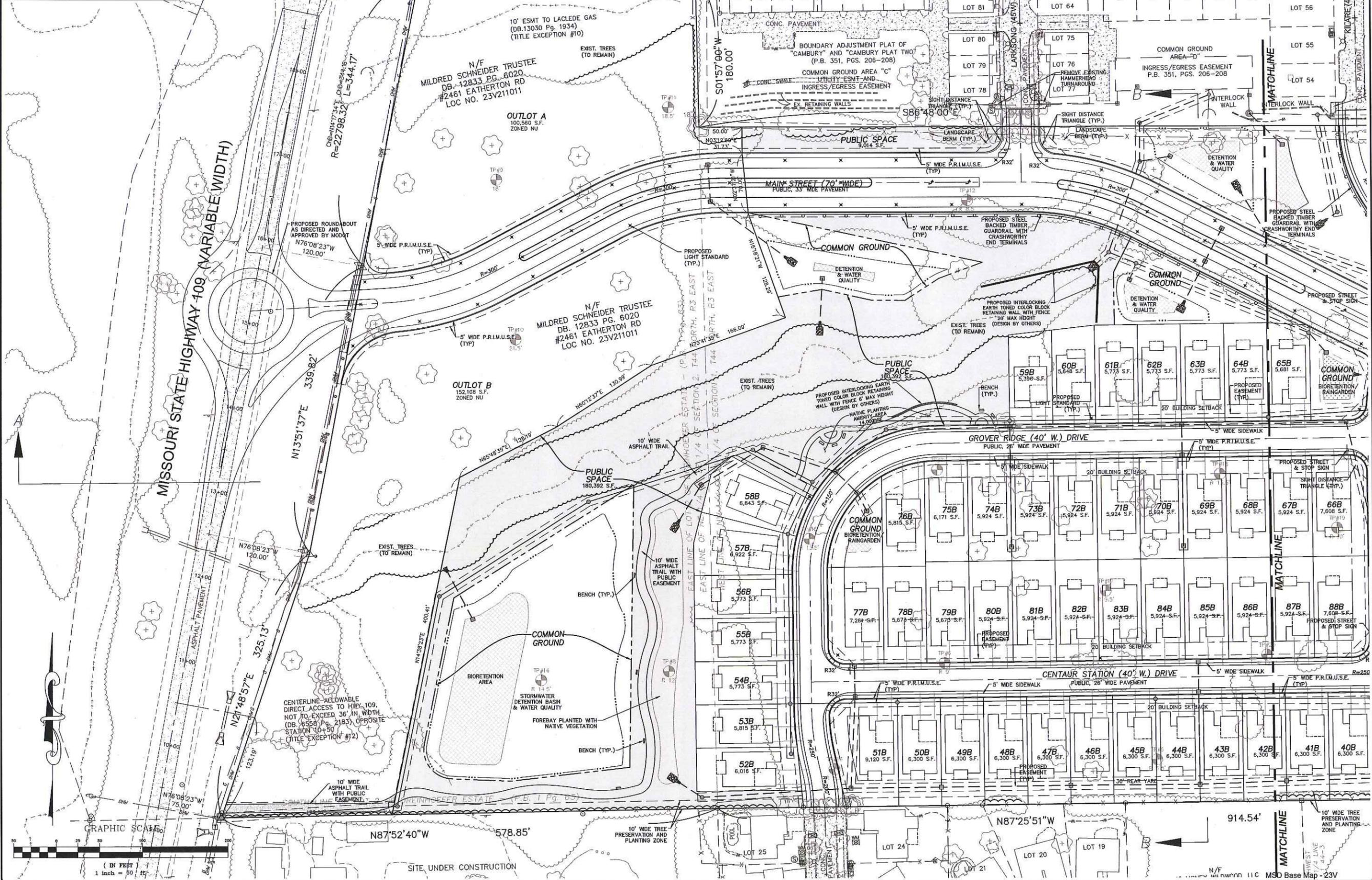
Date: 2-23-2016
 Rodney Arnold
 License No. PE-2002016612
 Civil Engineer

Job Number: 14-04-126
 Date: Feb. 23, 2016
 Drawn: SL Sheet 3.2
 Checked: SDP

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MSD Base Map - 23V

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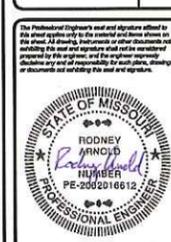
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ISSUE	REMARKS/DATE
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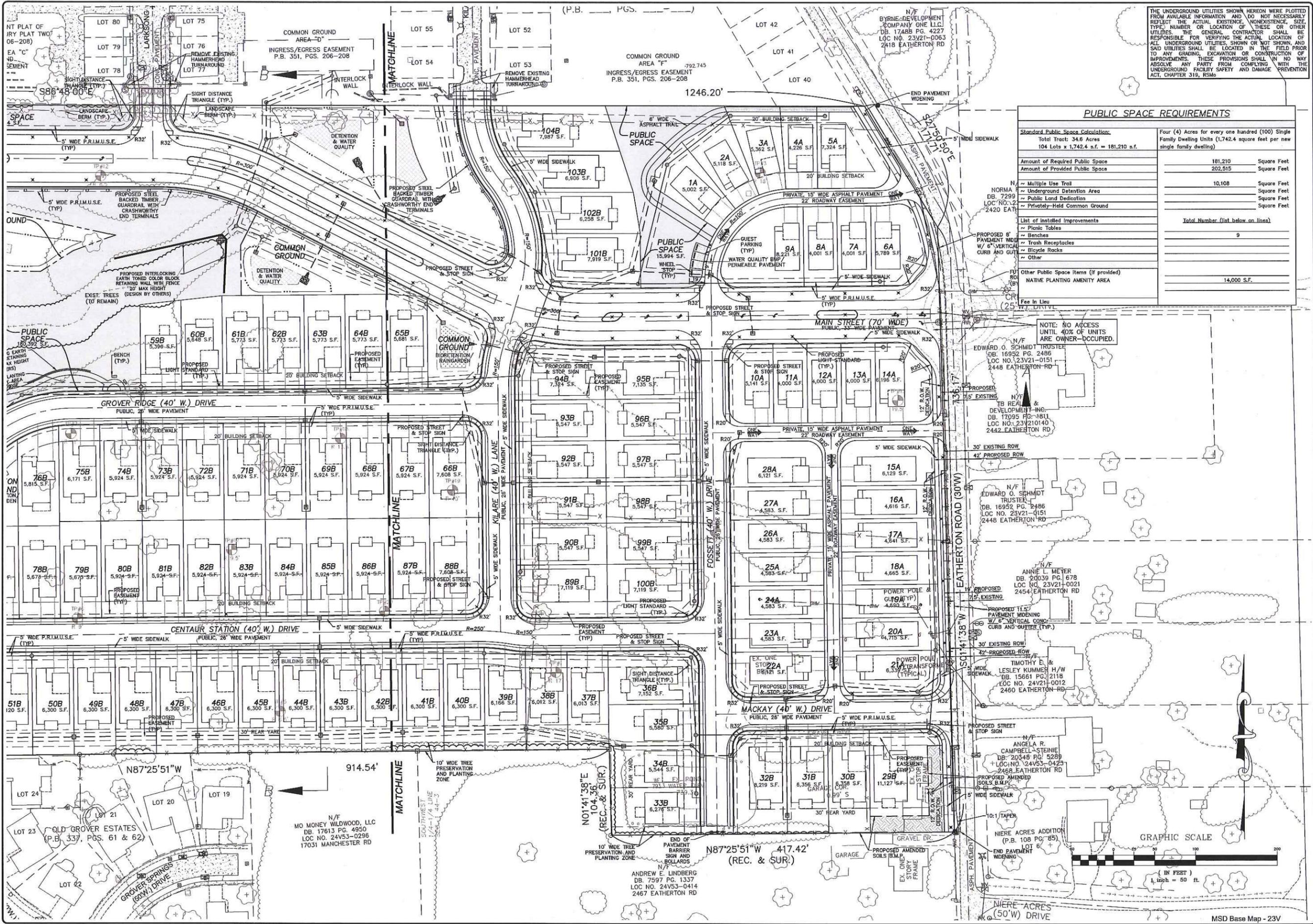
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Main Street Crossing
 2461 EATHERTON RD., WILDWOOD, MO
 SDP - PUBLIC SPACE PLAN



Date: 2-23-2016
 RODNEY ARNOLD
 License No. PE-2002016612
 Civil Engineer

Job Number: 14-04-126
 Date: Feb. 23, 2016
 Designed: SL Sheet: 4.1
 Drawn: SL
 Checked: SDP



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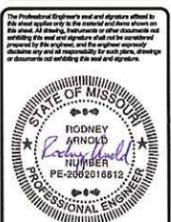
PUBLIC SPACE REQUIREMENTS	
Standard Public Space Calculation: Total Tract: 34.6 Acres 104 Lots x 1,742.4 s.f. = 181,210 s.f.	
Amount of Required Public Space	181,210 Square Feet
Amount of Provided Public Space	202,515 Square Feet
Four (4) Acres for every one hundred (100) Single Family Dwelling Units (1,742.4 square feet per new single family dwelling)	
~ Multiple Use Trail	10,108 Square Feet
~ Underground Detention Area	Square Feet
~ Public Land Dedication	Square Feet
~ Privately-Held Common Ground	Square Feet
List of installed improvements	Total Number (list below on lines)
~ Picnic Tables	
~ Benches	9
~ Trash Receptacles	
~ Bicycle Racks	
~ Other	
Other Public Space Items (if provided)	
~ Native Planting Amenity Area	14,000 S.F.

ISSUE	REMARKS/DATE
1	10-20-2015, INITIAL SUBMITTAL
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3	2-23-2016, CITY COMMENT REVISIONS

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 SDP - PUBLIC SPACE PLAN



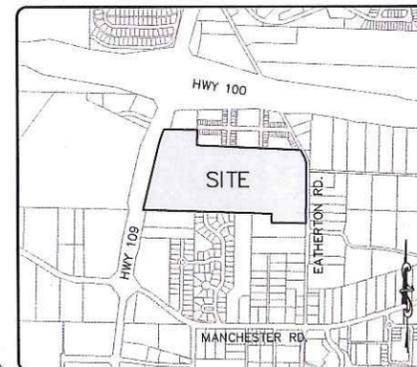
Date: 2-23-2016
 Rodney Arnold
 License No. PE-2002016612
 Civil Engineer

Job Number: 14-04-126
 Date: Feb. 23, 2016
 Designed: SL Sheet
 Drawn: SL 4.2
 Checked: SDP

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AERIAL PHOTO
N.T.S.



LOCATION MAP
N.T.S.

ISSUE	REMARKS/DATE
1	10-30-2015, INITIAL SUBMITTAL
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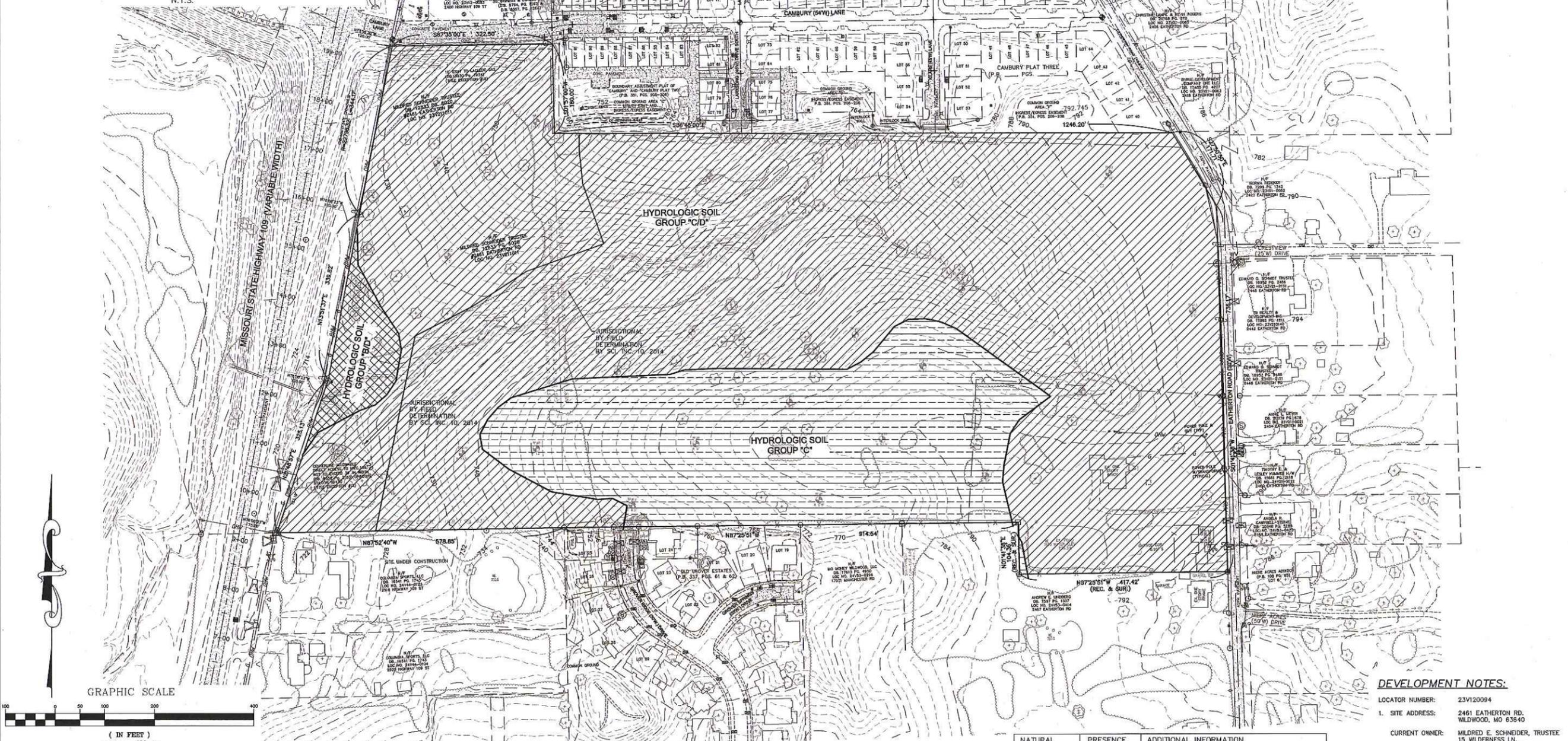
Main Street Crossing
2461 EATHERTON RD., WILDWOOD, MO
NATURAL RESOURCES MAP

The Professional Engineer's seal and signature shall be in the upper right corner of the report and shall be in the upper right corner of the report. All drawings, specifications and other documents and exhibits shall be prepared by the engineer and shall be in accordance with the provisions of the Missouri Professional Engineering Act, Chapter 329, RSMo. The engineer shall be responsible for the accuracy of the information and data provided and for the accuracy of the calculations and drawings. The engineer shall be responsible for the accuracy of the information and data provided and for the accuracy of the calculations and drawings.

STATE OF MISSOURI
PROFESSIONAL ENGINEER
RODNEY ARNOLD
LICENSE NUMBER
PE-2002016612

Date: 2-23-2016
RODNEY ARNOLD
License No. PE-2002016612
Civil Engineer

Job Number
14-04-126
Date
Feb. 23, 2016
Designed: SL Sheet
Drawn: SL **5.1**
Checked: SDP



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SOIL SCIENTIST CERTIFICATION:
THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF NOVEMBER 2015, REVIEWED A REPORT REGARDING THE SOILS AND NATURAL RESOURCE EVALUATION OF THE SUBJECT PROPERTY. THE REPORT AND INFORMATION CONTAINED ON THIS PLAN RELATING TO SAME IS IN COMPLIANCE WITH SECTION 1005.200, "NATURAL RESOURCE PROTECTION STANDARDS AND PROCEDURES" OF THE CITY OF WILDWOOD, MISSOURI.

SOIL SCIENTIST _____ DATE _____

Symbol	Description
--- --- ---	Existing Tree Mass
-----	Hydrologic Group "C" Soils
////	Hydrologic Group "B/D" Soils
\\	Hydrologic Group "C/D" Soils
--->--->--->	Regulated Waters

NATURAL RESOURCE	PRESENCE	ADDITIONAL INFORMATION
Wetlands	No	None identified during site walk.
Streams and Floodplains	Yes	Two streams cross the site, both of which were determined to be jurisdictional.
Karst	No	None identified during site walk.
Ponds/Lakes	Yes	One stock/farm pond identified during site walk.

DEVELOPMENT NOTES:
LOCATOR NUMBER: 23V120084
1. SITE ADDRESS: 2461 EATHERTON RD., WILDWOOD, MO 63640
CURRENT OWNER: MILDRED E. SCHNEIDER, TRUSTEE, 15 WILDERNESS LN., DEFIANCE, MO 63341
2. EXISTING USE: VACANT / UNDEVELOPED
3. GROSS AREA OF SITE: 34.60 ACRES

FLOOD NOTE:
ACCORDING TO THE FLOOD INSURANCE RATE MAP OF SAINT LOUIS COUNTY, MISSOURI, AND UNINCORPORATED AREAS (COMMUNITY PANEL NUMBER 29189C0260K DATED FEBRUARY 4, 2015), THIS PROPERTY LIES ENTIRELY OUTSIDE THE 500-YEAR FLOODPLAIN.
MSD Base Map - 23V

Drawing name: C:\Users\rodneym\appdata\local\temp\ACPublish_3854147286d0.dwg Plotted on: Feb. 24, 2016 - 7:38am Plotted by: smolzar

ISSUE	REMARKS/DATE
1	10-30-2015 INITIAL SUBMITTAL
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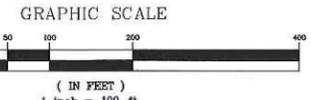
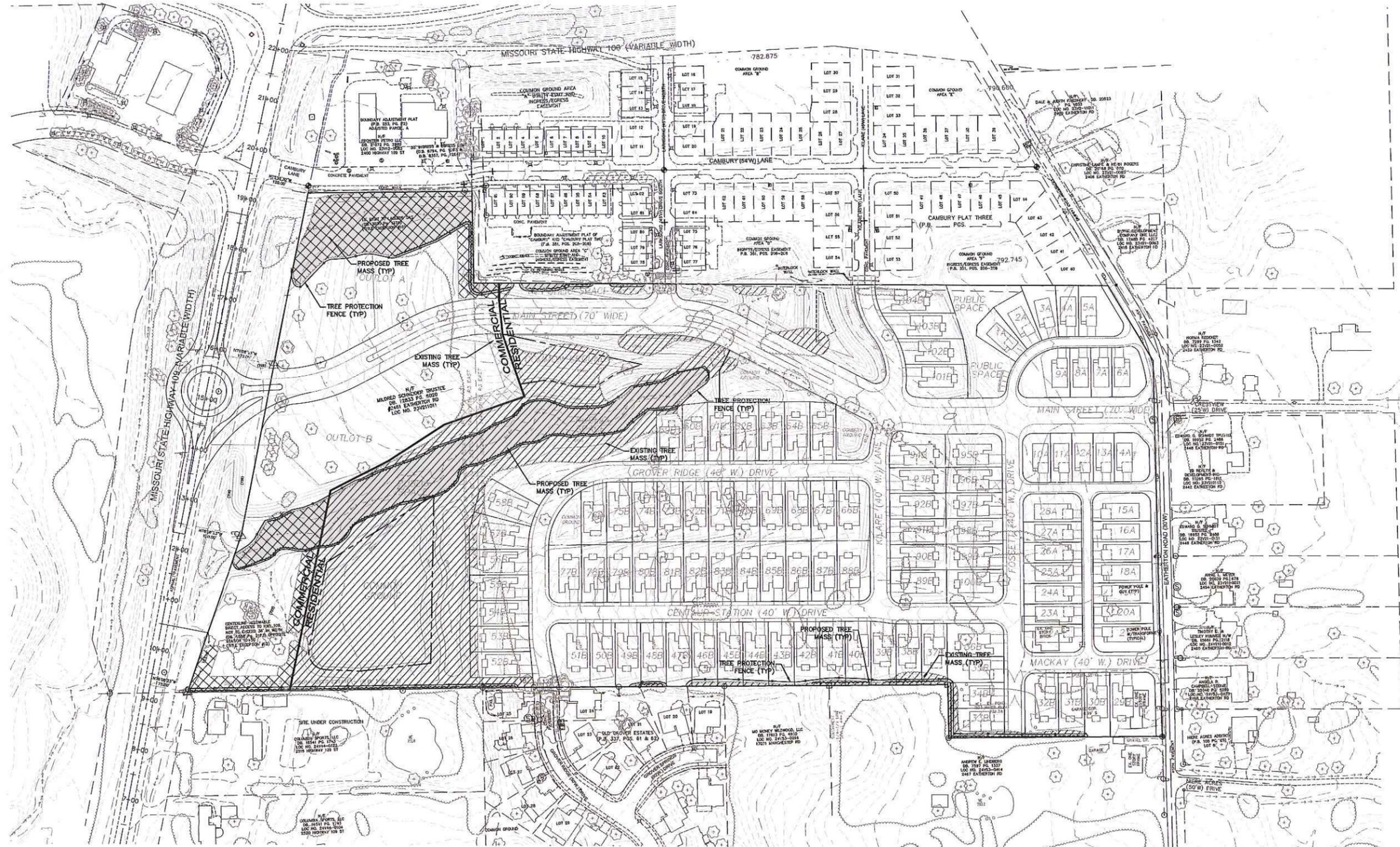
Main Street Crossing
 2461 EATHERTON RD., WILDWOOD, MO
 TREE PRESERVATION PLAN

The Professional Engineer and his/her assistants shall be responsible for the accuracy of the information and data shown on this drawing. All drawings, specifications or other documents prepared by the engineer, and the engineer's approval, shall be the responsibility of the engineer. The engineer's approval shall not be construed as a warranty of the accuracy of the information or data shown on this drawing.

STATE OF MISSOURI
RODNEY ARNOLD
REGISTERED PROFESSIONAL ENGINEER
 PE-200216612

Date: 2-23-2016
 Rodney Arnold
 License No. PE-200216612
 Civil Engineer

Job Number: 14-04-126
 Date: Feb. 23, 2016
 Designed: SL Sheet # 5.2
 Drawn: SL
 Checked: SDP



LEGEND	
	Existing Tree Mass
	Existing Tree Mass (Residential) (Located outside of right-of-way and building area)
	Existing Tree Mass (Commercial) (Located outside of right-of-way and building area)
	Proposed Tree Mass (Residential)
	Proposed Tree Mass (Commercial)

TREE AREA CALCULATIONS	
Residential:	
Existing Tree Mass:	5.59 ac.
Proposed Tree Mass:	1.33 ac.
Commercial:	
Existing Tree Mass:	1.73 ac.
Proposed Tree Mass:	1.15 ac.
Site Total:	
Existing Tree Mass:	7.32 ac.
Proposed Tree Mass:	2.48 ac.
Percentage Retained (Provided):	34%
Percentage Retained (Required):	30%

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.

Signs - Residential

- x. Signs for this P.R.D. Overlay District shall be erected in accordance with the Town Center Plan Architectural Guidelines and Section 415.410 Sign Regulations of the City of Wildwood Zoning Ordinance for the R-4,750 square foot Residence District.
y. The location of all signage shall be as approved on the Site Development Plan by the Planning and Zoning Commission. Signage not located on common ground must be erected within an easement.

Lighting Requirements

- z. The location of all lighting standards shall be as approved on the Site Development Plan. No on-site illumination source shall exceed sixteen (16) feet in height or be so situated that light is cast directly on adjoining properties. Illumination levels for all lighting shall comply with the provisions of the City of Wildwood's Zoning Code, Section 415.450 "Outdoor Lighting Requirements." A Lighting Study shall be submitted in conjunction with the Site Development Plan indicating compliance to these requirements. The Planning and Zoning Commission shall approve the location, design, and appearance of all light standards and fixtures as part of the Site Development Plan review process.

Miscellaneous Conditions

- aa. The design, color, material, and location of all garden and screen walls or fences, if planned or required, shall be consistent with the requirements of the Town Center Plan's Architectural Guidelines and be shown on the Site Development Plan for review and action by the Planning and Zoning Commission and the Architectural Review Board.
bb. Improvements associated with public infrastructure, such as roadways, sidewalks, and access points, shall comply with general design principles that will provide for safe and efficient movement of traffic in and around these sites and improve overall circulation in the area. These improvements shall be reviewed and approved by the Department of Public Works.
cc. Hours of construction and grading activity shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday, and 8:00 a.m. to 6:00 p.m. on Saturday. No development (grading and construction) activity shall be authorized on Sundays.
dd. All retaining walls exceeding three (3) feet in height per section or crossing individual property lines shall be constructed of an appropriate inter-locking concrete block system. Walls crossing property lines shall be located in a maintenance easement. The design, color, material, and location of all walls shall be consistent with the requirements of the Town Center Plan's Architectural Guidelines and be shown on the Site Development Plan for review and action by the Planning and Zoning Commission.
ee. The location of all utility easements for proposed service to this development shall be as approved by the Planning and Zoning Commission on the Site Development Plan. All utilities installed to serve this site shall be placed underground, including any existing overhead lines located on the subject property.
ff. Access to Eatherton Road from this Planned Residential Development Overlay District, e.g. any street or alley, including Main Street, shall not be authorized, until such time forty (40) percent of

(b)

- 1. The developer is required to provide adequate stormwater systems in accordance with the City of Wildwood and the Metropolitan St. Louis Sewer District standards.
2. All stormwater shall be discharged at an adequate natural discharge point.
3. Retention/detention of differential runoff of stormwater shall be required. Stormwater management shall be provided in permanent retention/detention facilities, such as ponds or other acceptable alternatives. These retention/detention facilities shall be completed and in operation prior to the issuance of building permits for an approved dwelling unit, except display lots.
4. All proposed retention/detention facilities and related stormwater improvements shall be located in a common ground area and insure perpetual maintenance to the Homeowners Association to be created at the time of platting of this development.
5. The developer of this site shall be solely responsible to provide the necessary mechanisms, as part of the Site Development Plan/Improvement Plan process, to implement "best management practices" for stormwater management and the construction of related facilities. Minimally, these practices/facilities should include rain gardens, vegetative swales, and other options to substantially reduce the amount of stormwater leaving the subject site.
6. The developer shall provide adequate detention and/or hydrologic calculations for review and approval of all stormwater that will encroach on City of Wildwood/Missouri Department of Transportation (MoDOT) rights-of-way.
7. A bond or letter of credit will be required by the City of Wildwood to cover any downstream damage to abutting or adjacent properties, common ground areas, or drainage ways caused by the developers' use of this subject site (land/disturbance/grading/construction activities, etc.), which shall be used for the restoration of damaged areas to their pre-development condition, if the developers fail to meet their responsibilities in this regard. The amount of this bond and the establishment of the process for creating an accurate baseline condition for the existing downstream facilities shall be at the discretion of the City of Wildwood Department of Public Works, in conjunction with input from the petitioner's engineer.

Geotechnical Report

- b. Provide a Geotechnical Report covering development and grading required by Improvements involved with this site, as directed by the Department of Public Works. Said report shall verify the adaptability of grading and improvements with soil and geologic conditions which are susceptible to rapid erosion, landslides, and/or creep. A statement of compliance with this study, signed by the Geotechnical Engineer preparing the report, shall be included on all Site Development Plans. The development and construction plans shall be designed to conform to the requirements and conditions of the Geotechnical Report. The Geotechnical Engineer shall be required to sign and seal all plans with a certification the proposed construction will be completed in accordance with the grading and soils requirements and conditions contained in the report.

Stormwater Pollution Prevention Plan

- c. Submit a Stormwater Pollution Prevention Plan, as part of the Site Development Plan review process, indicating compliance to all Federal, State, and local requirements regarding the management of stormwater runoff to prevent siltation and erosion, while preserving water quality, both upon the site and on downstream properties.

(c)

Roadway Improvements

- c. Improvements to State Route 109 and Eatherton Road must be completed prior to the issuance of building permits in excess of twenty (20) percent of the units. These required improvements may be credited against the overall Traffic Generation Assessment Fee (TGA) charge associated with these allowable residential units, if authorized by the City Council. Any delays in utility company relocation and adjustments will not constitute a cause to allow occupancy prior to completion of roadway improvements.

Land Subdivision

- d. Record a proper subdivision of the property and comply with all other applicable Subdivision and Development Regulations sections affecting the development of land, except as otherwise specified by this ordinance.

Indentures

- e. With the filing of the record plat establishing separate lots, the developer shall record an approved Indenture, which defines the necessary assessments and specific trustee obligations in accord with provisions of Section 415.470 and 415.510 of the City of Wildwood Zoning Code.

Escrow Requirements

- f. All Improvement and landscaping costs shall be submitted to the City of Wildwood through the standard subdivision escrow procedures.

Improvement Plans

- g. The developer of this residential subdivision shall provide to the City Improvement Plans indicating construction details relative to public and private infrastructure associated with its development. Said plans will be used to calculate escrow requirements for these identified improvements.

Sanitary Sewage System

- h. The developer shall provide verification from the Metropolitan St. Louis Sewer District that public sewer service has been provided to this site. Verification shall be in a form acceptable to the City of Wildwood.

Potable Water Service

- i. The developer shall provide verification from the Missouri American Water Company that service to this subdivision can be provided at acceptable levels relative to the density of the project and not cause service issues to other households served by the same.

GENERAL DEVELOPMENT CONDITIONS

- a. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from

(d)

Editor's Note: Modifications recommended by the Planning and Zoning Commission at its meeting on September 8, 2015 are indicated by bolded blue type.

Section Three. This ordinance shall be in full force and effect on and after its passage and approval.

This Bill was passed and approved this ___ day of _____, 2015 by the Council of the City of Wildwood, Missouri after having been read by title, or in full, two (2) times prior to its passage.

Presiding Officer Timothy Woerther, Mayor

ATTEST:

City Clerk City Clerk

Table with 3 columns: ISSUE DATE, SUBMIT DATE, INITIAL SUBMITTAL, CLIENT REVISIONS, CITY COMMENT REVISIONS. Rows for 10-30-2015, 11-19-2015, 2-23-2016.

PAYNE FAMILY HOMES
10407 BAUR BLVD., SUITE B
ST. LOUIS, MO 63132
Ph: 314-996-0341
www.paynefamilyhomes.com

THE STERLING CO.
ENGINEERS & SURVEYORS
5065 New Baumgartner Road
St. Louis, Missouri 63123
Ph: 314-996-8944
www.sterling-eng-survey.com
Corporate Certificate of Authority #001348

Main Street Crossing
2461 EATHERTON RD., WILDWOOD, MO
ORDINANCE #2116

Professional Engineer's seal and signature of Rodney Arnold, License No. PE-2002016612, dated 2-23-2016.

Job Number 14-04-126
Date Feb. 23, 2016
Designed: SL Sheet
Drawn: SL 7.2
Checked: SDP

the authorized units within its boundaries are owner-occupied. Until this threshold is reached, access shall be restricted/blocked to Eatherton Road, as shown on the Site Development Plan and reviewed and acted upon by the Department of Public Works and the Planning and Zoning Commission. Specifications for the manner in which access shall be controlled to Eatherton Road shall be at the discretion of the City of Wildwood, but all costs associated with such are the responsibility of the developer.

5. TRAFFIC GENERATION ASSESSMENT FEE

The developer shall contribute to the East Area Traffic Generation Assessment Trust Fund established by Section 140.210 of the City of Wildwood's Revised Codes. This assessment must be paid in full at the time of the first Zoning Authorization for any building or structure or when the individual issuance of building permits for the authorized lots are approved. This contribution shall not exceed the amount established by multiplying the number of parking spaces provided by the following rate:

Table with 2 columns: Type of Development, Required Contribution. Row: Single Family Dwelling (detached), \$1,055.10/Parking Space.

(Parking space is defined by Section 415.280 of the City of Wildwood Zoning Code.)

If type of development proposed differ than those listed, rates shall be provided by the Department of Public Works.

As this development is located within a Trust Fund area established by the City of Wildwood, any portion of the traffic generation assessment contribution, which remains, following completion of roadway improvements required by the development shall be retained in the appropriate trust fund.

The amount of this required contribution, if not submitted by January 1, 2016, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accord with the construction cost index as determined by the City of Wildwood Department of Public Works.

The Planning and Zoning Commission is recommending these fees be credited to the developer for use for the purposes of assisting with completion of required improvements within the right-of-way of State Route 109 and the off-site portion of the Main Street right-of-way. The granting of these credits is at the sole discretion of the City Council.

6. VERIFICATIONS PRIOR TO APPROVAL OF THE SITE DEVELOPMENT PLAN

Prior to approval of the Site Development Plan, the developer shall provide the following:

Stormwater Improvements

- a. Submit to the Planning and Zoning Commission an engineering plan approved by the City of Wildwood Department of Public Works and the Metropolitan St. Louis Sewer District showing that adequate handling of the stormwater drainage of the site is provided.

(e)

Natural Resource Protection Plan

- d. Provide a revised and final copy of the Natural Resource Protection Plan indicating all areas of the site, which are to be designated as protected and not developable. This revised and final copy of this map shall be reviewed and signed by a qualified soil scientist, who completed the analysis, and a statement indicating compliance with all the requirements of Section 1005.200 of the City of Wildwood's Subdivision and Development Regulations.

Environmental Assessment - Phase One

- e. The developer shall provide to the Planning and Zoning Commission, as part of the Site Development Plan submittal package, a Phase I Environmental Assessment Report of the property, which indicates its current condition relative to its past utilization by other owners. Determination regarding any required remediation shall be identified and completed, prior to the approval of the Record Plat and before the occupancy of any residential unit, all being in accordance with State and federal standards and guidelines, as set forth by the United States Environmental Protection Agency (EPA) and the Missouri Department of Natural Resources (MDNR), for any determined contaminant exceeding a residential cleanup standard/guideline, with the cost borne for such by the developer and not the City of Wildwood.

Floodplain Study and Plans

- f. The developer shall provide a floodplain/wetlands study to the Department of Public Works indicating compliance to the requirements of the City of Wildwood, the U.S. Army Corp of Engineers, and the Federal Emergency Management Agency (FEMA) regarding disturbance or development in the protected waterways and floodplain areas. This study shall minimally provide information relating to disturbance of any protected area and be reviewed and acted upon by the Department of Public Works, as part of the Site Development Plan submittal process.

7. RECORDING

Within ninety (90) days of approval of the Site Development Plan by the Planning and Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

8. VERIFICATION PRIOR TO PERMITS

Notification to Department of Planning

- a. Subsequent to approval of the Site Development Plan and prior to issuance of any grading, foundation, or building permit, all approvals from the Department of Public Works (Wildwood), the Missouri Department of Transportation, the Metro West Fire Protection District, the Missouri Department of Natural Resources, and the Metropolitan St. Louis Sewer District must be received by the Department of Planning.
b. Prior to the issuance of a foundation or building permit for any lot, which adjoins the common ground area and/or detention basin, written certification from a Professional Engineer which verifies these areas are graded in accordance with the approved plans, must be received by the Department of Planning.

(e)

construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.

- b. A grading permit is required prior to any grading on the site. Interim stormwater drainage control in the form of salutation control measures is required.

- c. A copy of the most recently approved Site Development Plan for this P.R.D. Overlay District development shall be prominently displayed at all times in all sales offices for this development.

- d. The petitioner shall be responsible for obtaining all necessary permits from the Department of Natural Resources Clean Water Commission as they relate to the development of this tract of land.

- e. If cut and fill operations occur during a season not favorable for immediate establishment of a permanent ground cover, a fast germinating annual, such as Rye or Sudan Grasses, shall be utilized to retard erosion.

- f. Failure to comply with any or all of the conditions of this ordinance shall be adequate cause for revocation of permits by issuing City of Wildwood Departments or Commissions.

- g. The Zoning Enforcement Officer of the City of Wildwood, Missouri, shall enforce the conditions of this ordinance in accord with Site Development Plans approved by the Planning and Zoning Commission and the Department of Planning.

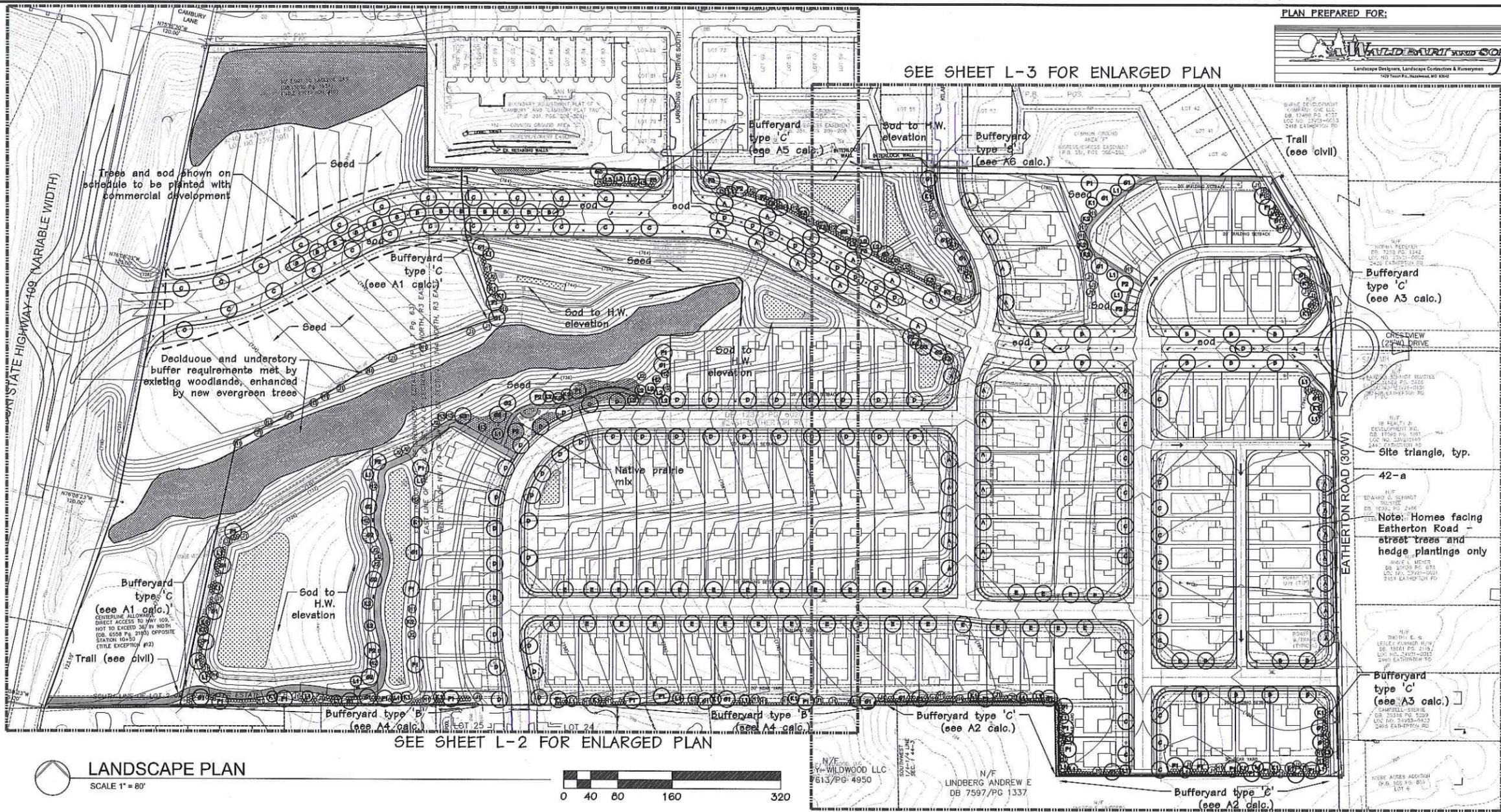
- h. Any other applicable zoning, subdivision, or other regulations or requirements of the City, whether in effect at the adoption of this ordinance or as may be hereinafter adopted, shall further apply to the development of this property as authorized by this Planned Residential Development Overlay District Ordinance, except as may be provided by law. Nothing herein shall be deemed a waiver of any subdivision, zoning or other development regulation of the City whether by implication or reference.

- i. This zoning approval is conditioned on compliance with the Zoning Code, Subdivision Code, and all applicable laws of the City. Such additional regulations are supplemental to the requirements herein and no modification of any applicable regulations shall result from this Planned Residential Development Overlay District ordinance, except where this ordinance has expressly modified such regulations by reference to the applicable provision authorizing such modification.

10. PUBLIC SPACE REQUIREMENTS

- a. Developer shall construct improved public space in conformance with or otherwise satisfying the requirements of the City's Public Space Ordinance, Chapter 415.260 and 415.270 of the City of Wildwood's Zoning Ordinance. The City Council accepts the findings of the Public Space Study adopted therein and determines the compliance with the Public Space Ordinance provisions will address the impact of this specific development on public space needs in a manner and amount that is equal to less than an amount that is roughly proportional to the actual or anticipated impact. The installation of required public space improvements shall be as required by the applicable ordinances, but shall be completed prior to issuance of any occupancy (temporary or final) permit for the authorized by this ordinance. Unless otherwise approved pursuant to the procedures set forth in the Public Space Ordinance, the public space attributable to this development, based upon the number of authorized dwelling units at a rate of 1,742.4 square feet per new single family dwelling.

(e)



PLAN PREPARED FOR:

WILDWOOD LLC
 Landscape Designers, Landscape Contractors & Nurserymen
 1021 Teem Rd., Wildwood, MO 65754
 Phone: 417-335-5555
 Fax: 417-335-5556
 Email: info@wildwoodllc.com



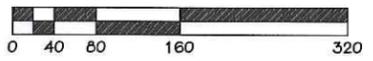
Jerald Saunders, Landscape Architect
 MO License # LA-007

Consultants:

Main Street Crossing

Wildwood, MO

LANDSCAPE PLAN
 SCALE 1" = 80'



- KEY**
- Existing woodland to remain
 - Native prairie mix
 - M&D bio plantings

LANDSCAPE CALCULATIONS:

- A) Bufferyards**
- Type "C" required along west property line as labeled on the plan
 (3 canopy trees, 3 evergreen trees, 3 understory trees, and 10 shrubs required per 150 LF)
 432 LF + 150 LF bufferyard unit measurement = 2.88
 2.88 x 3 tree units = 8.64 = 9 canopy trees, 9 evergreen trees, and 9 understory trees
 2.88 x 30 shrub units = 86.4 = 86 shrubs
 - Type "C" required along southeastern property line as labeled on the plan
 (3 canopy trees, 3 evergreen trees, 3 understory trees, and 30 shrubs required per 150 LF)
 748 LF + 150 LF bufferyard unit measurement = 4.98
 4.98 x 3 tree units = 14.94 = 15 canopy trees, 15 evergreen trees, and 15 understory trees
 4.98 x 30 shrub units = 149.4 = 149 shrubs
 - Type "C" required along east property line as labeled on the plan
 (3 canopy trees, 3 evergreen trees, 3 understory trees, and 10 shrubs required per 150 LF)
 480 LF + 150 LF bufferyard unit measurement = 3.2
 3.2 x 3 tree units = 9.6 = 10 canopy trees, 10 evergreen trees, and 10 understory trees
 3.2 x 30 shrub units = 96 shrubs
 - Type "B" required along southern property line as labeled on the plan
 (2 canopy trees, 2 evergreen trees, 2 understory trees, and 20 shrubs required per 150 LF)
 1,042 LF + 150 LF bufferyard unit measurement = 6.94
 6.94 x 2 tree units = 13.88 = 14 canopy trees, 14 evergreen trees, and 14 understory trees
 6.94 x 20 shrub units = 138.8 = 139 shrubs
 - Type "C" required along collector roadway as labeled on the plan
 (3 canopy trees, 3 evergreen trees, 3 understory trees, and 30 shrubs required per 150 LF)
 1,413 LF + 150 LF bufferyard unit measurement = 9.42
 9.42 x 3 tree units = 28.26 = 28 canopy trees, 28 evergreen trees, and 28 understory trees
 9.42 x 30 shrub units = 282.6 = 283 shrubs
 - Type "S" required along access roadway as labeled on the plan
 (2 canopy trees, 2 evergreen trees, 2 understory trees, and 20 shrubs required per 150 LF)
 150 LF + 150 LF bufferyard unit measurement = 1.26
 1.26 x 2 tree units = 2.52 = 3 canopy trees, 3 evergreen trees, and 3 understory trees
 1.26 x 20 shrub units = 25.2 = 25 shrubs
- 7. Required plant materials for bufferyards shall be planted in the following sizes and percentages**
- | Canopy Trees | Evergreen Trees | Understory Trees | Shrubs |
|----------------|-----------------|------------------|--------------|
| 10% 4" Caliper | 10% 10' High | 10% 2.5" Caliper | 100% 2' High |
| 20% 3" Caliper | 20% 6' High | 20% 2" Caliper | |
| 70% 2" Caliper | 70% 6' High | 70% 1.5" Caliper | |
- B) Street Trees**
- Street trees shall be installed a minimum of every 40 LF of proposed lot frontage.
 7,800 LF + 40 = 195 minimum street trees required
 - A maximum of forty percent (40%) of one (1) species may be utilized to meet planting requirements.
 - Street trees shall not be planted closer than three (3) feet to any curb.

PLANTING SCHEDULE						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	PERCENTAGE
STREET TREES						
A	34	<i>Quercus rubra</i>	Red Oak	2.5"	Deciduous	17.7%
B	31	<i>Gleditsia triacanthos f. inermis 'Skycole'</i>	Skyline Honeylocust	2.5"	Deciduous	9.4%
C	44	<i>Ginkgo biloba 'Autumn Gold'</i>	Autumn Gold Ginkgo	2.5"	Deciduous	22.9%
D	50	<i>Acer rubrum 'Frankford'</i>	Red Sunset Maple	2.5"	Deciduous	20.8%
E	33	<i>Quercus bicolor</i>	Swamp White Oak	2.5"	Deciduous	17.2%
	192	TOTAL STREET TREES (additional tree added to buffer plantings to meet street tree requirement)				=100%

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	PERCENTAGE
BUFFERYARD TREES & SHRUBS						
F1	30	<i>Quercus bicolor</i>	Swamp White Oak	2"	Deciduous, Canopy	
F2	8	<i>Quercus bicolor</i>	Swamp White Oak	3"	Deciduous, Canopy	
F3	4	<i>Quercus bicolor</i>	Swamp White Oak	4"	Deciduous, Canopy	
G1	29	<i>Tilia cordata</i>	Littleleaf Linden	2"	Deciduous, Canopy	
G2	8	<i>Tilia cordata</i>	Littleleaf Linden	3"	Deciduous, Canopy	
G3	4	<i>Tilia cordata</i>	Littleleaf Linden	4"	Deciduous, Canopy	
H1	33	<i>Pinus strobus</i>	Eastern White Pine	6" Ht.	Evergreen	
H2	10	<i>Pinus strobus</i>	Eastern White Pine	6" Ht.	Evergreen	
H3	4	<i>Pinus strobus</i>	Eastern White Pine	10' Ht.	Evergreen	
J1	32	<i>Picea abies</i>	Norway Spruce	6" Ht.	Evergreen	
J2	10	<i>Picea abies</i>	Norway Spruce	6" Ht.	Evergreen	
J3	5	<i>Picea abies</i>	Norway Spruce	10' Ht.	Evergreen	
K1	26	<i>Cornus florida 'Cherokee Princess'</i>	Cherokee Princess Flowering Dogwood	1.5"	Deciduous, Understory	
K2	8	<i>Cornus florida 'Cherokee Princess'</i>	Cherokee Princess Flowering Dogwood	2"	Deciduous, Understory	
K3	4	<i>Cornus florida 'Cherokee Princess'</i>	Cherokee Princess Flowering Dogwood	2.5"	Deciduous, Understory	
L1	31	<i>Cercle canadensis 'Forest Paney'</i>	Forest Paney Redbud	1.5"	Deciduous, Understory	
L2	8	<i>Cercle canadensis 'Forest Paney'</i>	Forest Paney Redbud	2"	Deciduous, Understory	
L3	4	<i>Cercle canadensis 'Forest Paney'</i>	Forest Paney Redbud	2.5"	Deciduous, Understory	
a	42	<i>Buxus 'Green Velvet'</i>	Green Velvet Boxwood	24"	Evergreen	
	150	<i>Physocarpus opulifolius 'Monlo'</i>	Diablo Ninebark	24"	Deciduous	
	160	<i>Viburnum x burkwoodii</i>	Burkwood Viburnum	24"	Deciduous	
	120	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	24"	Evergreen	
	150	<i>Ilex verticillata 'Jim Dandy/Red Sprite'</i>	Jim Dandy/Red Sprite Winterberry Holly	24"	Deciduous (1:9 ratio M/F)	
	30,805	Water quality plantings per M&D requirements		plugs	space 12" o.o.	
	0,054	Kentucky Bluegrass sod		sq. ft.		

- Wildwood General Notes:**
- Individual homeowners must be notified at least one week prior to the installation of plants on lots that have an occupied dwelling.
 - Unless otherwise stipulated by specific requirements of the City of Wildwood Tree Manual, the landscaping shown on this plan must be planted in accordance with the latest edition of the Tree and Shrub Transplanting Manual published by the International Society of Arboriculture (P.O. Box GG, Savoy, IL 61874-9902).
 - All trees are to be located a minimum distance of 5' from all utility boxes, 5' from a storm drain inlet or manhole, 10' from a fire hydrant, 15' from public street lights, 5' from driveway aprons, 20' from any traffic control sign and at least 30' from any intersection.
 - Locations of street trees may be subject to change in order to avoid conflict with street lighting.
 - Any planting within a tree preservation area, as designated on the Tree Preservation Plan and shown on this plan, must be done to avoid any adverse impact to the roots of existing trees.
 - Plant substitutions are permitted with verbal or written approval from the City of Wildwood Planning Department.
 - All plant material will be inspected for survival by the City of Wildwood Planning Department one year following installation and again two full growing seasons after planting.
 - All plants must meet standards of the latest edition of the American Standards for Nursery Stock sponsored by the Association of American Nurserymen.
 - No plant shall be located in areas of obvious poor drainage. If such conditions exist, contact the Landscape Architect immediately to relocate affected plant material.
 - Soil conditions must be tested, verified and adjusted by the landscape contractor to insure that appropriate soil composition and pH levels are suitable for plant material specified for that specific location.
 - All grading for landscaped areas will not exceed a slope greater than 3:1. All exposed slopes will be protected from erosion.
 - The landscape of all undeveloped and developed property will be properly maintained in a slightly and well-kept manner.
 - Replanting and replacement of existing plant materials will be executed on an annual basis as needed by the property owner.

Revisions:

Date	Description	No.
11/11/15	Base Revision	1
11/19/15	Base Revision	2
02/23/16	City Comments	3

Drawn: BB
 Checked: JAS

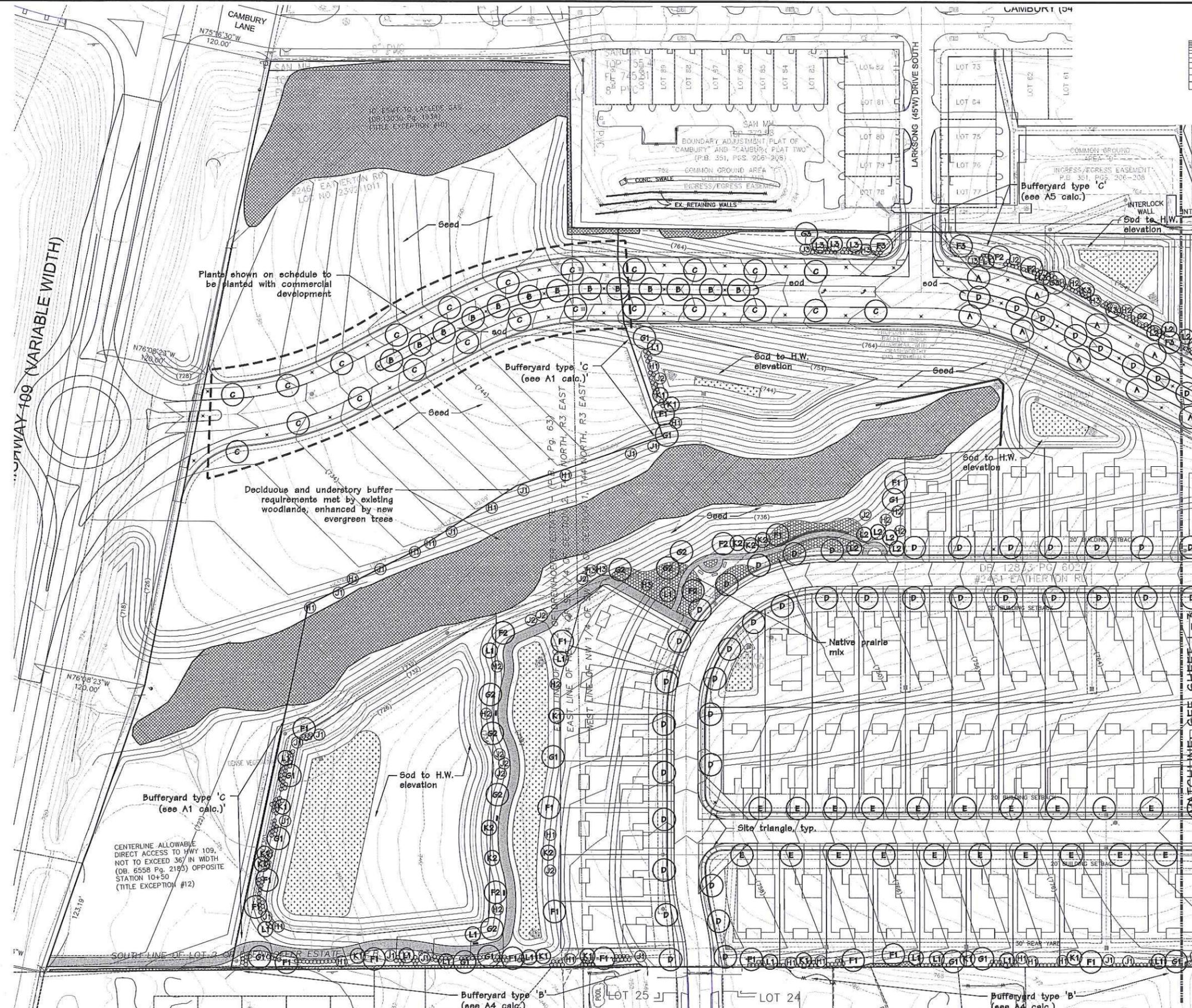
loomisAssociates

landscape architects/planners
 707 South 40 Park Drive, Suite 335
 Chesterfield, Missouri 63005-1194
 Phone: 636-510-3668 Fax: 636-510-0797
 Email: info@loomis-associates.com

Sheet Title: **Landscape Plan**

Sheet No: **L-1**

Date: 11/19/14
 Job #: 985.013



PLAN PREPARED FOR:
WILD BURT AND SONS, INC.
 Landscape Designer, Landscape Contractors & Surveyors
 1011 Fern Ave., Hannibal, MO 63048
 636-4589



Jerald Saunders, Landscape Architect
 MO License # LA-007

Consultants:

Main Street Crossing

Wildwood, MO

Revisions:

Date	Description	No.
11/11/15	Base Revision	1
11/19/15	Base Revision	2
02/23/16	City Comments	3

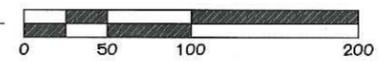
Drawn: LWH
 Checked: JAS

loomisAssociates
 landscape architects/planners
 707 Spirit of Park Drive, Suite 155
 Chesterfield, Missouri 63005-1199
 phone: 636-863-8888
 email: info@loomis-associates.com

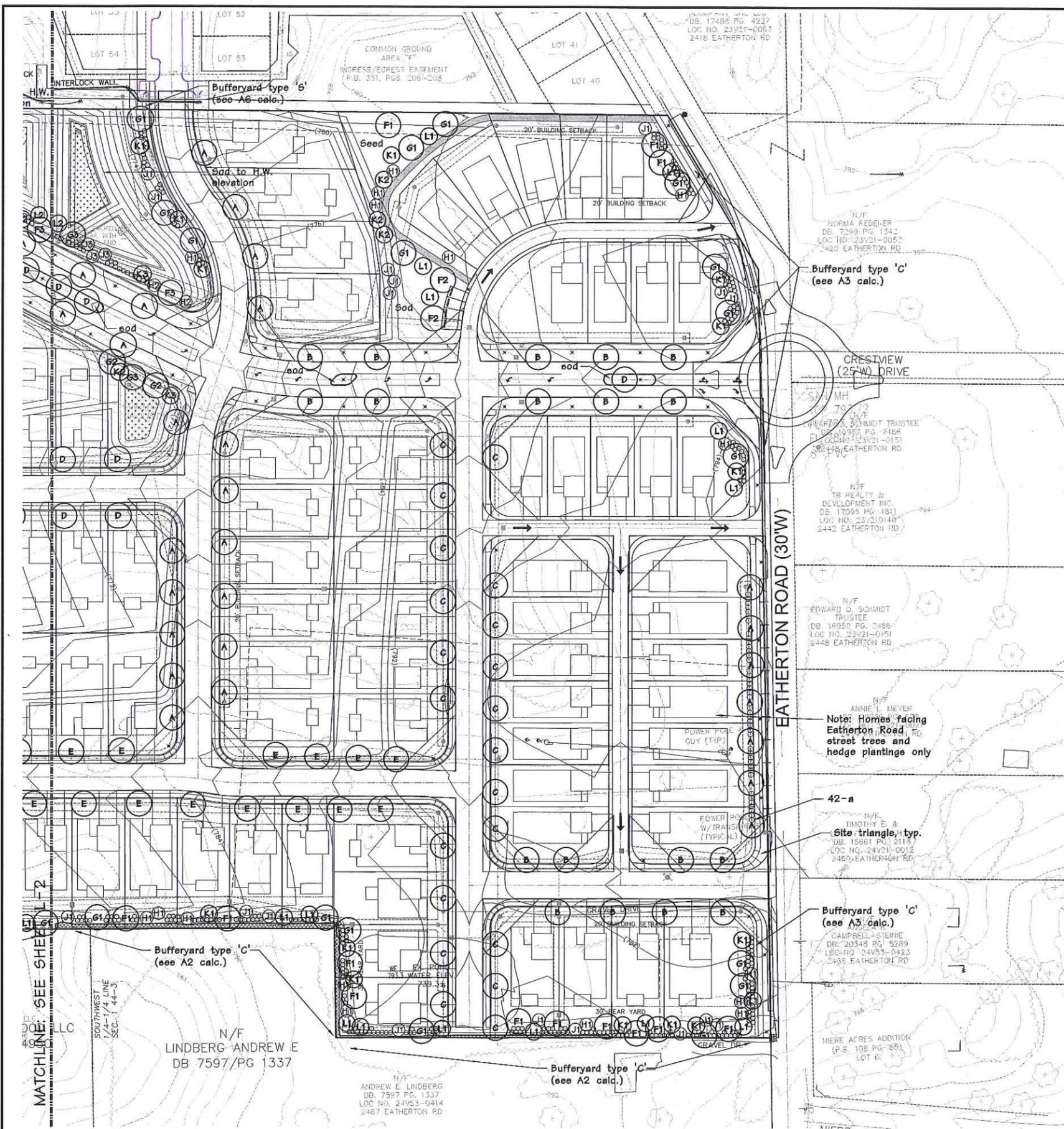
Loomis Associates Inc.
 Missouri State Certificate of Authority #: LAC #000019

Sheet Title:	Landscape Plan Enlarged: West
Sheet No.:	L-2
Date:	11/19/14
Job #:	985.013

LANDSCAPE PLAN - ENLARGED: WEST
 SCALE 1" = 50'



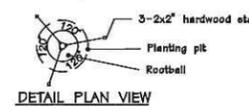
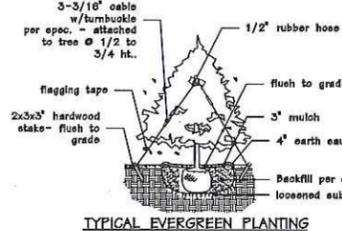
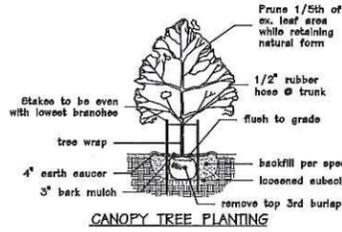
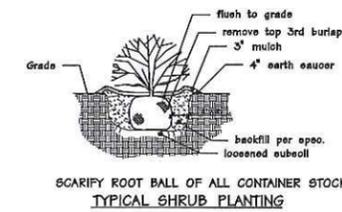
- KEY
- Existing woodland to remain
 - Native prairie mix
 - MSD blo plantings



PLAN PREPARED FOR:

STATE OF MISSOURI
 JERALD SAUNDERS
 LICENSE NUMBER
 L.A.-7
 Jerald Saunders
 Landscape Architect
 MO License # LA-007

Consultants:



Bufferyard type 'C' (see A3 calc.)

CRESTVIEW (25' W) DRIVE

EATHERTON ROAD (30' W)

Note: Homes facing Eatherton Road, Rd street trees and hedge plantings only

42-a
 N/F TIMOTHY E. & Site triangle, typ.
 DB: 15661 PG. 2113
 LOC NO. 24V2H-0012
 2460 EATHERTON RD.

Bufferyard type 'C' (see A3 calc.)
 CAMPBELL-STEINNE
 DB: 20348 PG. 5289
 LOC NO. 24V53-0423
 2466 EATHERTON RD.

Bufferyard type 'C' (see A2 calc.)
 N/F ANDREW E. LINDBERG
 DB: 7597 PG. 1337
 LOC NO. 24V53-0414
 2487 EATHERTON RD.

BOTANICAL NAME	COMMON NAME	PERCENTAGE	PLS SQ/ACRE
NATIVE PRAIRIE SEED MIX			
<i>Achillea tuberosa</i>	Butterfly Milkweed	2.7	2.0
<i>Aster oblongifolius</i>	Aromatic Aster	2.7	2.0
<i>Echinacea purpurea</i>	Purple Coneflower	10.6	8.0
<i>Liatris pycnostachya</i>	Prairie blazing Star	5.4	4.0
<i>Penstemon digitalis</i>	Foxglove Beardtongue	5.4	4.0
<i>Pycnanthemum tenuifolium</i>	Slender Mountain Mint	2.7	2.0
<i>Schyzachyrium scoparium</i>	Little Bluestem	37.6	28.0
<i>Solidago nemoralis</i>	Gray Goldenrod	5.4	4.0
<i>Sporobolus heterolopus</i>	Prairie Dropseed	16.3	12.0
<i>Ratidiba pinnata</i>	Grayhead Coneflower	10.6	8.0
TOTALS		100%	74.0

- KEY
- Existing woodland to remain
 - MSD bio plantings

Main Street Crossing
 Wildwood, MO

Revisions:

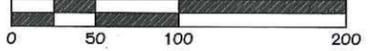
Date	Description	No.
11/11/15	Base Revision	1
11/19/15	Base Revision	2
02/23/16	City Comments	3

Drawn: LWH
 Checked: JAG

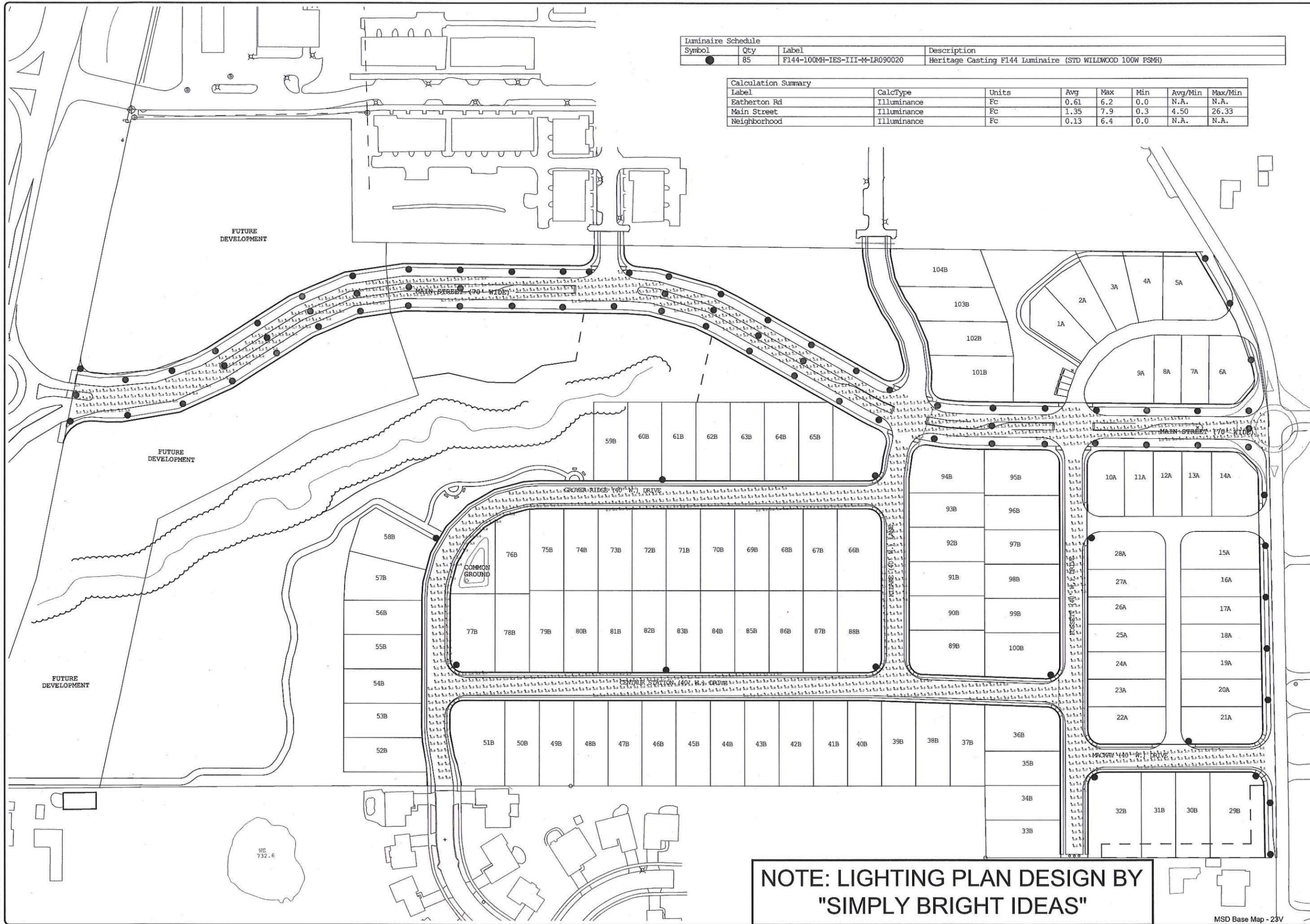
loomisAssociates
 landscaper-architects/planners
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 Email: info@loomisassociates.com
 Loomis Associates Inc.
 Missouri State Certificate of Authority #: LAC 1600019

Sheet Title: Landscape Plan Enlarged: East
 Sheet No: L-3
 Date: 11/19/14
 Job #: 985.013

LANDSCAPE PLAN - ENLARGED: EAST
 SCALE 1" = 50'



Drawing name: V:\1404126 Schneider Tract\Drawings\Engineering\Site Development\Plan\126_photosubmittal.dwg Plotted on: Feb 23, 2016 - 3:46pm Plotted by: tmiller



Luminaire Schedule			
Symbol	Qty	Label	Description
●	85	F144-100MH-IES-III-M-IR090020	Heritage Casting F144 Luminaire (STD WILLOWOOD 100W PSMH)

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Eatherton Rd	Illuminance	Fc	0.61	6.2	0.0	N.A.	N.A.
Main Street	Illuminance	Fc	1.35	7.9	0.3	4.50	26.33
Neighborhood	Illuminance	Fc	0.13	6.4	0.0	N.A.	N.A.

ISSUE	REMARKS/DATE
1	10-30-2015, INITIAL SUBMITTAL
2	11-19-2015, CLIENT REVISIONS
3	2-23-2016, CITY COMMENT REVISIONS

PAYNE FAMILY HOMES
 10407 BAUR BLVD., SUITE B
 ST. LOUIS, MO 63132
 Ph. 314-996-0341
 www.paynefamilyhomes.com

THE STERLING CO.
 ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph. 314-487-0440 Fax 314-487-8944
 www.sterling-eng-sur.com
 Corporate Certificate of Authority #001948

Main Street Crossing
 2481 EATHERTON RD., WILLOWOOD, MO
 LIGHTING PLAN

The Professional Engineer's seal and signature shall be placed on this sheet and shall apply only to the work shown on this sheet. All drawings, specifications and other documents are to be read in conjunction with the contract documents. The Engineer shall not be responsible for any errors or omissions on the part of the contractor or other parties. The Engineer shall not be responsible for any damage to property or persons resulting from the use of the drawings or specifications.

Date: _____
 License No. _____
 Civil Engineer

Job Number: 14-04-126
 Date: Feb. 23, 2016
 Designed: SL
 Drawn: SL
 Checked: SDP

**NOTE: LIGHTING PLAN DESIGN BY
 "SIMPLY BRIGHT IDEAS"**

MSD Base Map - 23V



WILDWOOD®

July 5, 2016

The Honorable City Council
City of Wildwood, Missouri
16860 Main Street
Wildwood, Missouri 63040

Re: A request from Greg Neichter, the petitioner/developer, which is dated May 2, 2016, regarding **P.Z. 14-06 City of Wildwood Department of Planning and Neichter/Throckmorton Development**, which seeks an extension of time to commence construction on the subject site.

Zoning: NU Non-Urban Residence District and FPNU Floodplain Non-Urban Residence District, with a Planned Residential Development Overlay District (PRD)

Location: East Side of Ossenfort Road, south of Wild Horse Creek Road

Ward: One

Council Members:

>> INTRODUCTION <<

The Planning and Zoning Commission is in receipt of a correspondence from Greg Neichter, petitioner/developer, dated May 2, 2016, regarding **P.Z. 14-06 City of Wildwood Department of Planning and Neichter/Throckmorton Development**, which seeks an extension of time to commence construction upon this residential subdivision. The site-specific ordinance governing this development requires that commencement of construction begin on, or before, May 27, 2016. The Planning and Zoning Commission has reviewed the files relative to this request and believes another extension is reasonable and appropriate. Therefore, the Planning and Zoning Commission, acting at its July 5, 2016, Executive Meeting, and by a vote of -- to --, hereby recommends an eighteen (18) month extension of time for commencement of construction to begin upon the site. The new deadline for commencement of construction to begin on this site will be **November 27, 2016**. This recommendation is hereby forwarded to the City Council for its review and consideration.

>> BACKGROUND <<

For the purposes of review, **P.Z. 14-06 City of Wildwood Department of Planning and Neichter/Throckmorton Development** was a request to reauthorize a previously approved Planned Residential Development Overlay District (PRD) within the NU Non-Urban Residence District and FPNU Floodplain Non-Urban Residence District for the purposes of allowing a future residential subdivision on the site. The subject site has a total size of 193.7 acres and is located on the east side of Ossenfort Road,

south of Wild Horse Creek Road. The property exists as a single lot of record, and has been designated 'Non-Urban Residential Category' by the City's Master Plan, since 1996. Prior to the 2006 application for the special procedure permit, this property had been granted a Planned Residential Development Overlay District (PRD) by the City Council in 2003, but was voided, since the required Site Development Plan (SDP) was never approved by the Planning and Zoning Commission and recorded with the St. Louis County Recorder of Deeds Office within the required timeframe.

The Planning and Zoning Commission did recommend approval reauthorizing the Planned Residential Development Overlay District (PRD) onto the property for the previously approved fifty (55) lots. This previously approved lot design guaranteed, through the application of the Natural Resource Protection Standards, a minimal impact on the surrounding physical environment, the protection of the perimeter vegetation, compliance to the standards of the City for installation of infrastructure improvements, and the provision of abundant public space. The City Council received the Planning and Zoning Commission's recommendation and acted favorably upon it and approved the Planned Residential Development Overlay District (PRD) on February 27, 2007.

With the reauthorization of the Planned Residential Development Overlay District (PRD), the petitioner was required to complete the Site Development Plan (SDP) review process and obtain approval from the Planning and Zoning Commission. The developer(s) of this site completed this step in April 2007. With the completion of the Site Development Plan (SDP) review process, the next step is to complete Improvement Plans (Construction Drawings) for submittal, review, and acceptance by the Departments of Public Works and Planning. Once the Improvement Plans are completed, the project, from a construction standpoint, can typically begin. The Improvement Plans for this site were approved by the Departments of Public Works and Planning on September 14, 2007. Within the site-specific governing ordinance for this project, construction was then to commence upon the project by February 27, 2008. This construction date left the developers of this project less than five (5) months to start and meet the requirements of this deadline.

In January 2008, the petitioner requested an extension to this deadline for commencement of construction, since the development was not at stage to proceed to the issuance of permits and related items. With the submittal of the request, the Planning and Zoning Commission noted concerns about the current condition of the residential housing market and whether requiring this project to begin construction would be premature and lead to greater issues, if it were to be stopped, after starting. Given the design of the project still met all requirements of the City, the Planning and Zoning Commission agreed that an eighteen (18) month extension of time was appropriate and should be granted under the provisions of the site-specific ordinance.

This action was forwarded to the City Council for its review and consideration as well. The City Council concurred with the Planning and Zoning Commission and clearly stated the project continued to represent one (1) of the City's best applications of its Planned Residential Development Overlay District (PRD) regulations and would be a loss, if not allowed to develop under the current conditions of the existing ordinance. The City Council also noted the residential housing market was difficult and certainly this project would suffer, if launched at this time. Additionally, the City Council, although not related to the commencement of construction, also amended the ordinance for this project to address a noise issue related to its use by off-road motorcycles and vehicles on certain days. This activity was creating a noise

nuisance for the surrounding property owners. The two (2) changes to the Ordinance #1381 were approved by the City Council on May 27, 2008, which included the eighteen (18) month extension of time for commencement of construction, now November 27, 2009, and restrictions on the use of property for off-road recreational activities.

With this action by the City Council, the development was to commence construction by late 2009. The Zoning Ordinance defines "commencement of construction" as follows: "shall mean final grading for and installation of roadways necessary for first (1st) approved plat or phase of construction and commencement of installation of sanitary and storm sewers." In November 2009, with the aforementioned extension date rapidly approaching, and the residential housing market suffering under the Great Recession, the petitioner sought another eighteen (18) month extension of time for this activity to begin on the site. Thus, the Planning and Zoning Commission recommended, and the City Council concurred, the requirement for the commencement of construction to begin on the site be extended for an additional eighteen (18) months, which amended the timeline for this activity to May 27, 2011.

Once again, with the deadline for the commencement of construction approaching in May 2011, the petitioner requested another extension to this deadline. The Planning and Zoning Commission was supportive of allowing an additional twenty-four (24) month extension for the commencement of construction to begin on the site due to the unforeseen circumstances and outside influences that continued to affect the viability of a project of this size and magnitude. In this case, the outside influences remained the condition of the stalled residential housing market recovery and the financing barriers for potential buyers. Thus, the Planning and Zoning Commission recommended, and the City Council concurred, the requirement for the commencement of constitution to begin on the site be extended for an additional twenty-four (24) months, which amended the timeline for this activity to May 27, 2013.

When the May 27, 2013 deadline arrived, the Planning and Zoning Commission was again supportive of allowing an extension of time to the deadline for the commencement of construction. The Commission recognized the lingering effects of the recession on the residential market and how it continued to affect any project's viabilities. Although the Commission noted it appeared the residential market was beginning to show some signs of recovery, in part due to the pent-up demand for new housing and low mortgage rates for buyers. However, it appeared the market was just beginning to create confidence for homebuilders and lenders in these high-end residential communities and more time was needed to ensure such trends were true and could sustain a development of this size and magnitude. Therefore, the Planning and Zoning Commission recommended, and the City Council concurred, the requirement for the commencement of construction to begin on the site be extended for an additional eighteen months, which amended this timeline to November 27, 2014.

In 2014, the petitioner requested another eighteen (18) to twenty-four (24) month extension of time, given construction had not begun by the November 27, 2014 deadline. The Planning and Zoning Commission acted favorably on the request to extend the deadline eighteen (18) months, with a new deadline of May 27, 2016. The Planning and Zoning Commission approved the extension, noting it would be the last one granted for this project. This position did not reflect on the character of the project, but rather the length of time the site-specific governing ordinance had been in place, without commencement of construction.

>> CURRENT REQUEST <<

As noted above in the background of this report, with the Planning and Zoning Commission's action, the commencement of construction was to begin by May 27, 2016 for this project. With that date surpassed and the platting process not yet underway at this time, the petitioner is now seeking another eighteen (18) month extension of time.

>> ANALYSIS AND RECOMMENDATION <<

With the May 27, 2016 deadline now surpassed for this special procedures permit to remain in 'good standing' and no planned development of the site imminent, an extension of time to the commencement of construction has again been requested by the petitioner. This particular request for additional time associated with this Planned Residential Development Overlay District (PRD) has been considered in six (6) other separate instances. Therefore, this requested extension by the owner would be the seventh such associated with this project, since its initial approval in 2003. This number of extensions is unusual and not typical. When the Planning and Zoning Commission granted an extension in 2014, it went on record to note this action would be the last extension granted for this development to commence construction.

Previous extensions have been granted due to several appropriate reasons, which have included the following:

1. The City had not passed any new land use regulations that might change the design or requirements associated with this subdivision and it still met and, in some instances, exceeds the minimum requirements for Natural Resource Protection Standards, tree preservation requirements, public space requirements, and design standards of the City.
2. The project provides over twenty-five (25) acres of usable public space for residents, much of which is visible from Ossenfort Road, thereby preserving the view of this valley along this rural roadway.
3. The density is less than allowed under the regulations of the NU Non-Urban Residence District and had the community's support, when first approved for the allowable fifty-five (55) lots.
4. The impact of the project, given its size, has been offset by a number of the conditions in the site-specific ordinance, which include appropriate utility connections to the public systems that are available in the area and stormwater and roadway improvements commensurate with the demand.

Although the Planning and Zoning Commission is wary of an-going extensions to the ordinance-required deadlines, it must acknowledge these reasons remain applicable at this time. Having a planned development that satisfies all of the requirements for a Planned Residential Development Overlay District (PRD) regulations favors another extension of time for the commencement of construction, which the Planning and Zoning Commission is inclined to support and recommend favorably to the City Council. This recommendation by the Planning and Zoning Commission would be for another eighteen (18) month period of time, as requested by the petitioner/developers.

However, it is important to identify that some of the reasons cited in previous extensions of time are no longer as applicable, as they may once have been. For example, previous recommendations recognized the lingering effects on the residential market from the Great Recession and how it continued to affect the project's viability. Yet, over the past several years, the City has experienced an increase in the number of applications for proposed residential developments and would contend the residential market continues to show apparent and strong signs of recovery.

Denying the extension of time for the commencement of construction and allowing the Planned Residential Development Overlay District (PRD) to become void, would not necessarily result in a better project design in the future. Additionally, this development continues to be the best example of the application of the Planned Residential Development Overlay District (PRD) and associated environmental standards and public space requirements to date. Given these circumstances, the Planning and Zoning Commission recommends the requirement relating to the commencement of construction be extended for an additional eighteen (18) months, which modifies the current deadline to **November 27, 2017**.

>> SUMMARY AND CONCLUSION <<

Given the above rationales for this support, the Planning and Zoning Commission is recommending an eighteen (18) month extension of time be granted to this project to proceed to the required level of commencement of construction. Accordingly, the Planning and Zoning Commission is recommending that Planned Residential Development Overlay District Ordinance **#1946** be amended to read as follows:

1. PERMITTED USES

This Planned Residential Development (P.R.D.) Overlay District shall authorize the maximum development of fifty-five (55), detached single family dwellings on individual lots, with common ground, and all permitted accessory structures. Common ground area shall include all property not within the Planned Residential Development Overlay District boundaries, but utilized for the purposes of density calculation within the same and access to the site (a minimum of sixty-six (66) acres shall be set aside for this purpose and not be used for future lots). The minimum area of this Planned Residential Development Overlay District shall be one hundred ninety-three (193) acres. A re-circulating sand filter type, centralized wastewater treatment facility shall be provided to serve this site.

2. LOT SIZES, DEPTHS, AND BUILDING REQUIREMENTS

- a. Each dwelling unit shall be located on an individual lot of record, which shall not be less than one (1) acre in overall size. The minimum width of any lot within this P.R.D. Overlay District shall be one hundred fifty (150) feet in distance at the front building line, except for parcels of ground located within any cul-de-sac. These lot frontages (within the cul-de-sacs) shall be as approved on the Site Development Plan by the Planning and Zoning Commission.
- b. The depth of all lots within this residential subdivision shall be a minimum two hundred (200) feet in size.
- c. No building and/or structure shall be more than two (2) stories above final grade, as measured from the front building line on any individual lot at street elevation.
- d. The maximum area of this 193.2 acre tract of land, which can be used for development and related land disturbance for the permitted and accessory uses, shall not exceed forty-six (46) acres, including the Director of Planning's five (5) percent variance.

- e. The minimum amount of this 193.2 acre tract of land, which must be preserved as part of this development, shall be one hundred forty-seven point two (147.2) acres in overall size, including the Director of Planning's five (5) percent variance.
- f. Lots sizes, configurations, and locations shall meet the design of the residential subdivision, as was approved by the Planning and Zoning Commission on the Side Development Plan that was acted upon on June 7, 2004 (made a part hereof and attached in Attachment C). Variations to this approved Site Development Plan referenced herein must be submitted and acted upon the Planning and Zoning Commission, as part of its standard review process. Any requested modifications to these lots shall be based upon locations that are most suitable for disturbance, consistent with the Natural Resource Protection Standards of the City's Subdivision and Development Regulations.

3. PLAN SUBMITTAL REQUIREMENTS

Within twelve (12) months of the P.R.D. Overlay District approval by the City Council, and prior to any site disturbance, the developer shall submit to the Planning and Zoning Commission for their review and approval a Site Development Plan. Where due cause is shown by the developer, this time interval may be extended once by the Planning and Zoning Commission in accord with requirements of Chapter 415.510 of the City of Wildwood Zoning Ordinance. Said Site Development Plan shall include, but not be limited to, the following information:

- a. Outboundary plat and legal description of the property.
- b. A general numbered lot plan, with setback lines from all streets and roadways on and adjacent to the property. A typical configuration for a lot indicating all site design information such as, but not limited to, right-of-way width, improvement dimensions and locations, setbacks, and building placement, along with a minimum and maximum sizes.
- c. A general plan indicating setback lines along the perimeter of the subject tract of land and surrounding property lines and related improvements within one hundred (100) feet of this site's boundaries, i.e. curb cut and access locations, stormwater facilities, and utility installations.
- d. Location of all roadways adjacent to the property, including required roadway right-of-way dedication and pavement widening, with existing and proposed improvements and sidewalks, and general location, size, right-of-way, and pavement width of all interior drives.
- e. The location and size of all freestanding signs, lighting, fences, and other above ground structures, except retaining walls less than two (2) feet in height per section.
- f. Existing and proposed contours at vertical intervals of not more than two (2) feet.
- g. General location of sanitary sewer and stormwater facilities.
- h. Parking and density calculations.
- i. Conceptual location and size of common ground areas, if provided.
- j. A Landscape Plan including, but not limited to, the location, size, and general type of plant materials to be used in accord with the City of Wildwood's Chapter 410 and accompanying Tree Manual.
- k. An inventory of the percent of tree canopy or individual trees to be retained on the site indicated on a Tree Preservation Plan completed in accordance with the City of Wildwood Chapter 410 Tree Preservation and Restoration Code and accompanying Tree Manual.
- l. Location of all existing and proposed easements.
- m. All other information not mentioned above, but required on a Preliminary Plat in accord with Section 1005.060 of the City of Wildwood Subdivision and Development Regulations.

4. SITE DEVELOPMENT PLAN DESIGN CRITERIA

The above Site Development Plan shall adhere to the following specific design criteria:

Building Setbacks – Residential

- a. Any building or structure, other than boundary and/or retaining walls, fences, detention facilities, and/or light standards, shall adhere to the following setbacks as specified in Chapter 415.110 R-1 One Acre Residence District of the City of Wildwood's Zoning Ordinance, except as noted below:
 - 1.) Twenty (20) feet from any roadway right-of-way, whether public or private, except a fifty (50) foot distance from Ossenfort Road, shall be required. All other front yard setback area distances shall comply with Chapter 415.110 R-1 One Acre Residence District.
 - 2.) Eight (8) feet from any side yard property line of any individual lot, but a minimum of thirty (30) feet shall be maintained between buildings on adjoining lots
 - 3.) Thirty (30) feet from any rear yard property line of any individual lot.

Parking Setbacks - Residential

- b. All parking stalls or loading spaces, excluding points of ingress or egress and streets and roads, shall comply with the requirements of Chapter 415.110 R-1 One Acre Residence District of the City of Wildwood's Zoning Ordinance.

Miscellaneous Setbacks - Right-of-Way and Other Locations

- c. No portion of any residential building foundation shall encroach within twenty-five (25) feet of the 'Final Resource Protection Line.'

Access and Roadway Improvements

- d. Access to Ossenfort Road shall be limited to one (1) residential street approach located to provide required sight distance and flood-free access to all lots and constructed to conform to the requirements of the Department of Public Works in this regard. All work within the right-of-way shall be as directed by the Department of Public Works.
- e. Dedicate the necessary land area along Ossenfort Road to provide a seventy (70) foot right-of-way and construct two (2) feet of additional pavement width along it as well, including the installation of storm drainage facilities and related shoulders, as directed by the City of Wildwood Department of Public Works. Improvement requirements to Ossenfort Road may be escrowed in lieu of their construction by the developer to the City of Wildwood, if deemed appropriate by the Department of Public Works and the Department of Planning.
- f. Construct an internal private roadway system, within a forty (40) foot right-of-way easement, for vehicles and pedestrians to serve the residential lots within this development that complies with the requirements of the City of Wildwood's 'Rural Roadway Standards' and as approved by the Department of Public Works. Street widths shall be as approved on the Site Development Plan by the Planning and Zoning Commission. Earthen swales along portions of the internal street may not be required, where stormwater volumes justify their elimination. Along with this forty (40) foot right-of-way area, provide eight (8) foot wide roadway maintenance, pedestrian, and utility easements on either side of the roadway dedication.
- g. Dedicate a minimum twenty (20) foot easement/dedication along Ossenfort Road to the City of Wildwood for the purposes of constructing a multiple-use trail that conforms to its standards, which shall be as directed by the Department of Public Works. This trail must minimally provide an adequate distance from edge of the Ossenfort Road pavement area to create separation between vehicles and pedestrians. This requirement shall also mean the easement might meander through the area of the subject site abutting the Ossenfort Road right-of-way edge to address public safety considerations.
- h. No direct residential access from any individual lot within this development to Ossenfort Road shall be authorized.

Miscellaneous Roadway Requirements

- i. Installation of landscaping and ornamental entrance monument or identification signage, if proposed, shall be reviewed by the Department of Public Works for sight distance considerations and approved prior to its installation or construction.
- j. If required sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to vertical alignment and other off-site improvements, may be required to provide the required sight distance as directed by the Department of Public Works.

Parking Requirements

- k. Parking spaces shall be provided as required by Chapter 415.340 Off-Street Parking and Loading Requirements of the City of Wildwood Zoning Ordinance for the R-1 One Acre Residence District. Minimally, two (2) parking spaces for each single family dwelling shall be provided.

Landscape Requirements - Specific

- l. Landscaping shall adhere to all requirements of Chapter 410 of the City's Tree Preservation and Restoration Code and its accompanying Tree Manual, including the submittal of a Tree Preservation Plan in conjunction with the Site Development Plan.
- m. All streets and roads shall be appropriately landscaped as required by the Chapter 410 Tree Preservation and Restoration Code and be approved by the Planning and Zoning Commission on the Site Development Plan.
- n. The areas of existing vegetation within the P.R.D. Overlay District boundaries identified as to be retained shall be marked on the site prior to the commencement of any disturbance in accord with the City of Wildwood's Chapter 410. These areas shall be indicated on the Site Development Plan submitted to the City of Wildwood for Planning and Zoning Commission review and approval. Existing mature tree canopy shall be preserved in accordance with the requirements of City of Wildwood's Chapter 410 Tree Preservation and Restoration Code. Initial clearing and grubbing of the site shall be limited to the installation of the internal roadway system.
- o. Landscaping within the defined common ground areas shall comply with Chapter 410 Tree Preservation and Restoration Code requirements and accompanying Tree Manual. Those areas of common ground to be used for stormwater detention/retention shall comply with the City of Wildwood requirements in this regard. The Planning and Zoning Commission on the Site Development Plan shall approve the planting pattern.
- p. A registered Landscape Architect shall prepare, submit, and sign all plan(s).

Signs

- q. Signs for this P.R.D. Overlay District shall be erected in accordance with Chapter 415.410 Sign Regulations of the City of Wildwood Zoning Ordinance for the R-1 One Acre Residence District.
- r. The location of all signage shall be as approved on the Site Development Plan by the Planning and Zoning Commission. Signage not located on common ground must be erected within an easement.

Lighting Requirements

- s. The location of all lighting standards shall be as approved on the Site Development Plan. No on-site illumination source shall exceed sixteen (16) feet in height or be so situated that light is cast directly on adjoining properties. Minimally, lighting levels and their design specifications shall be approved by the Planning and Zoning Commission, as part of a Lighting Plan submitted in conjunction with the Site Development Plan, and comply with City of Wildwood's Lighting

Code – Chapter 415.450 of the Zoning Ordinance.

Miscellaneous Conditions

- t. Parking, circulation, and other applicable site design features shall comply with Chapter 1101, Section 512.4 “Physically Handicapped and Aged” of the S.L.C.R.O. 1974, as amended.
- u. Hours of construction and grading activity shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday, and 8:00 a.m. to 6:00 p.m. on Saturday. No development (grading and construction) activity shall be authorized on Sundays.
- v. All retaining walls exceeding three (3) feet in height per section or crossing individual property lines shall be constructed of an appropriate inter-locking concrete block system or boulders. Walls crossing property lines shall be located in a maintenance easement. The Planning and Zoning Commission, as part of the Site Development Plan review process, shall approve said materials and design.
- w. The generalized location of all utility easements for proposed service to this development shall be shown on a Typical Lot Diagram, as approved by the Planning and Zoning Commission on the Site Development Plan. Installation of utilities within the respective easements shall adhere to the requirements of the Natural Resource Protection Standards Analysis and, whenever practical, be placed in areas of existing or proposed disturbance relating to previous site activity, the construction of streets, or the layout of building lots.
- x. All utilities serving this site shall be installed underground in accord with the requirements of the City of Wildwood’s Subdivision and Development Regulations. Any existing easements located on the subject site, which are not being utilized, shall be vacated under the standard procedures of the City of Wildwood Subdivision and Development Regulations.
- y. A trail system shall be installed around the lake and within the common ground areas containing this water feature and the floodplain to provide access to them for recreational purposes. The design of the trail shall be as directed by the Departments of Public Works and Planning and be approved on the Site Development Plan by the Planning and Zoning Commission. Additionally, within the area of the site west of Wild Horse Creek, but not including the access roadway, development shall be limited to the installation of trails, picnic areas, and other similar low-impact activities for the purposes of future use.

Sewage Treatment Plant

- z. A minimum four (4) foot high, sight-proof, chain link fence shall be installed around the perimeter of the area where the centralized sewage treatment facility is to be located on the site. This fence shall be constructed with a black vinyl coating, including support structures as well. Wood slating may be incorporated in its design. The Planning and Zoning Commission shall approve the location of this fence on the Site Development Plan.
- aa. Mechanical equipment associated with the operation of this facility shall be adequately screened and soundproofed to reduce noise associated with its operation over any given hour at the boundaries of the Planned Residential Development Overlay District.
- bb. Mechanical systems shall be equipped with alarm systems, which will notify operators of any malfunctions or system failures and an emergency power source to provide for its operation in an event of a power failure. Minimally, the alarm shall be wired to directly notify the operator or maintenance contractor of the failure or shutdown. In the event of a system failure, operators shall meet all emergency procedures, as established by the Missouri Department of Natural Resources and the City of Wildwood.
- cc. The proposed access roadway and maneuvering area will be a maximum of twelve (12) feet in width and paved. The remaining area within the perimeter of the fence not paved shall be surfaced in an appropriate dust-proof material, as determined and approved by the City of Wildwood’s Department of Public Works.

- dd. The developer shall provide a copy of a signed "pump and haul" agreement, whereby failure of the plant would implement a discharge shutdown; waste would be transported to an approved Metropolitan St. Louis Sewer District facility for disposal.
- ee. The operator shall submit monthly inspection reports to the Missouri Department of Natural Resources and the City of Wildwood indicating adherence to all applicable standards established for the maintenance and operation of these types of facilities. This report must include a lab analysis of plant discharge samples (pH, BOD, TSS, fecal coliform) obtained and analyzed by a licensed, accredited laboratory.
- ff. Operators of this facility shall provide verification of licensing with the Missouri Department of Natural Resources in the form of an approved Operating License. Along with this licensing requirement, the developer or Homeowners Association shall provide to the City of Wildwood a bond or cash deposit in the amount of five thousand (\$5,000.00) to guarantee the upkeep of this facility, per Section 510.090 of the City of Wildwood's Municipal Code. This bond or cash deposit shall be in place during the operation of the wastewater treatment facility.
- gg. At any point in the future, the petitioner or the relevant Homeowners Association (or any entity of it), will be required to close this treatment plant when public sanitary sewer service is available to this site by the Metropolitan St. Louis Sewer District or other comparable public district/agency. De-commissioning of the plant shall be the responsibility of the owner/developer and completed according to Missouri Department of Natural Resources and Metropolitan St. Louis Sewer District standards.
- hh. The Homeowners Association shall be required to employ a maintenance contractor that has offices or facilities within a fifty (50) mile radius of the subject site. Verification shall be provided in the form of the signed contract with the location of the office/facility clearly noted.
- ii. The location of this centralized treatment facility shall not be closer to the south boundary of this Planned Residential Development Overlay District than the following: six hundred (600) feet from Ossenfort Road and three hundred (300) feet from the southern boundary of the property.
- jj. No portion of this Planned Residential Development Overlay District site shall be authorized for use by motocross motorcycles and all-terrain vehicles, until such time as occupancy of a single family dwelling is authorized by the City of Wildwood.

5. PUBLIC SPACE REQUIREMENTS

Developer shall construct improved public space in conformance with or otherwise satisfying the requirements of the City's Public Space Ordinance, Chapter 415.260 of the City of Wildwood's Zoning Ordinance. The City Council accepts the findings of the Public Space Study adopted therein and determines the compliance with the Public Space Ordinance provisions will address the impact of this specific development on public space needs in a manner and amount that is equal to less than an amount that is roughly proportional to the actual or anticipated impact. The installation of required public space improvements shall be as required by the applicable ordinance, but shall be completed prior to issuance of any zoning authorizations for building permits in excess of fifty (50) percent of the total dwellings authorized by this ordinance. Unless otherwise approved pursuant to the procedures set forth in the Public Space Ordinance, the public space attributable to this development, based upon the number of permitted lots, shall be 2.2 acres or its equivalent. Qualifying public space shall be deemed to include, in this instance only, the public multiple use trail that is referenced in Section 4(g.) of this ordinance and designed in accordance with the recommendations contained therein. This trail shall be located within an easement, a width to be determined, so as to provide ample and safe separation from the edge of pavement along Ossenfort Road. The design and construction shall conform to the City of Wildwood requirements and be as directed by the Department of Public Works.

6. TRAFFIC GENERATION ASSESSMENT FEE

The developer shall contribute to the West Area Traffic Generation Assessment Trust Fund established by Section 140.210 of the City of Wildwood's Revised Codes. This assessment may be paid in full at the time of the first Zoning Authorization for any building or structure, or at the time of each Zoning Authorization for the individual dwellings. This contribution shall not exceed the amount established by multiplying the ordinance required number of parking spaces by the following rate:

<i>Type of Development</i>	<i>Required Contribution</i>
Single Family Dwelling	\$1,055.10 /Parking Space

(Parking space, as defined by Chapter 415.340 of the City of Wildwood Zoning Ordinance.)

If the type of proposed development differs from that listed, rates shall be provided by the Department of Public Works.

The amount of this required contribution, if not submitted by January 1, 2014, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accord with the construction cost index, as determined by the City of Wildwood Department of Public Works.

7. VERIFICATIONS PRIOR TO APPROVAL OF THE SITE DEVELOPMENT PLAN

Prior to approval of the Site Development Plan, the developer shall provide the following:

Stormwater Improvements

- a. Submit to the Planning and Zoning Commission an engineering plan approved by the Department of Public Works showing that adequate handling of the stormwater drainage of the site is provided.
 - 1) The developer is required to provide adequate stormwater systems in accordance with the City of Wildwood standards.
 - 2) All stormwater shall be discharged at an adequate natural discharge point.
 - 3) Retention of differential runoff of stormwater shall be required. These features shall be provided in permanent retention facilities, such as ponds or other acceptable alternatives. These retention facilities shall be completed and in operation prior to the issuance of building permits for an approved dwelling unit, except display lots.
 - 4) The developer shall provide an engineering analysis of the existing dam to determine its structural stability and any possible upgrades necessary to it. These upgrades, if required, shall be the responsibility of the developer to implement them prior to the issuance of building permits for any dwelling unit, except for display lots.

Geotechnical Report

- b. Provide a Geotechnical Report covering development and grading required by improvements involved with this site, as directed by the Department of Public Works. Said report shall verify the adaptability of grading and improvements with soil and geologic conditions that are susceptible to rapid erosion, landslide, and/or creep. A statement of compliance with this study, signed by the Geotechnical Engineer preparing the report, shall be included on all Site Development Plans. The development and construction plans shall be designed to conform to the requirements and conditions of the Geotechnical Report. The Geotechnical Engineer shall be required to sign and seal all plans with a certification the proposed construction will be completed in accordance with the grading and soils requirements and conditions contained in the report.

Natural Resource Protection Standard Plans

- c. Provide a revised and final copy of the Natural Resource Protection Plan indicating all areas of the site, which are to be designated as protected and not developable. This revised and final copy of this map shall be reviewed and signed by a

qualified soil scientist, who completed the analysis, and a statement indicating compliance with all the requirements of Section 1005.200 of the City of Wildwood's Subdivision and Development Regulations.

Floodplain Study

- d. The developer shall provide a floodplain study to the Department of Public Works indicating compliance to the requirements of the City of Wildwood, the U.S. Army Corp of Engineers, and the Federal Emergency Management Agency regarding disturbance or development in the floodplain. This study shall minimally provide information relating to access across the floodplain area and be reviewed and acted upon by the Department of Public Works, as part of the Site Development Plan submittal process.

Stormwater Pollution Prevention Plan

- e. Submit a Stormwater Pollution Prevention Plan, as part of the Site Development Plan review process, indicating compliance to Federal, State, and local requirements regarding the management of stormwater runoff to prevent siltation and erosion, both on-site and upon downstream properties.

7. RECORDING

Within sixty (60) days of approval of the Site Development Plan by the Planning and Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

8. VERIFICATION PRIOR TO PERMITS

Notification to Department of Planning

- a. Subsequent to approval of the Site Development Plan and prior to issuance of any grading, foundation, or building permit, all approvals from the Department of Public Works, the Missouri American Water Company, and the Missouri Department of Natural Resources must be received by the Department of Planning.
- b. Prior to issuance of foundation or building permits for any lot adjoining a common area or detention facility, written certification from a professional engineer, which verifies these areas are graded in accordance with approved plans, must be received by the Department of Public Works.

Land Subdivision

- c. Record a proper subdivision of the property and comply with all other applicable Subdivision and Development Regulations sections affecting the development of land, except as otherwise specified by this ordinance.

Indentures

- d. With the filing of the record plat establishing separate lots, the developer shall record an approved indenture, which defines the necessary assessments and specific trustee obligations in accord with the provisions of Chapters 415.470 and 415.510 of the City of Wildwood Zoning Ordinance.

Public Potable Water

- e. The developer shall be required to provide public potable water from the Missouri American Water Company to the property, and related homesites. Since this area has been designated by the Missouri American Water Company as a "Low Pressure Area," the total number of permitted lots shall be premised on addressing these service issues with its resolution achieved before approval of the Site Development Plan. Verification of this service shall be in a form acceptable to the City of Wildwood. Additionally, the design and location of this water system shall be reviewed and acted upon by the Planning and Zoning Commission, as part of the Site Development Plan submittal process.

Escrow Requirements

- f. All improvement and landscaping costs shall be submitted to the City of Wildwood through the standard subdivision escrow procedures.

Traffic Generation Assessment

- g. Traffic Generation Assessment contributions shall be deposited with the City of Wildwood in the form of a cash escrow prior to the issuance of building permits. If development phasing is anticipated, the developer shall provide the Traffic Generation Assessment Contribution prior to the issuance of building permits for each phase of the development.

Roadway Improvements

- h. Based upon the preliminary development plan, improvements to the Ossenfort Road right-of-way must be completed prior to issuance of the building permits in excess of fifty (50) percent of the total.

9. GENERAL DEVELOPMENT CONDITIONS

- a. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
- b. A grading permit is required prior to any grading on the site. Interim stormwater drainage control in the form of siltation control measures is required and must comply with the Stormwater Pollution Prevention Plan for this development (SWPPP). The developer shall be solely responsible for obtaining any temporary slope and construction licenses needed to address the installation of public and private improvements on this site that require the use of adjoining parcels of ground that are not under their ownership or control. A demolition permit is required for the removal of the existing dwelling and related structures.
- c. A copy of the most recently approved Site Development Plan for this P.R.D. Overlay District subdivision shall be prominently displayed at all times in all sales offices of this project
- d. The petitioner shall be responsible for obtaining all necessary permits from the Department of Natural Resources Clean Water Commission as they relate to the development of this tract of land.
- e. The developer is advised that utility companies will require compensation for relocation of their utility facilities within public right-of-way. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of infrastructure improvements.
- f. If cut and fill operations occur during a season not favorable for immediate establishment of a permanent ground cover, a fast germinating annual, such as Rye or Sudan Grasses, shall be utilized to retard erosion. This restoration must occur within thirty (30) days of the conclusion of preliminary grading as determined by the Director of Public Works.
- g. Failure to comply with any or all of the conditions of this ordinance shall be adequate cause for revocation of permits by issuing City of Wildwood Departments or Commissions.
- h. The Zoning Enforcement Officer of the City of Wildwood, Missouri, shall enforce the conditions of this ordinance in accord with Site Development Plans approved by the Planning and Zoning Commission and the Department of Planning.
- i. Any other applicable zoning, subdivision, or other regulations or requirements of the City, whether in effect at the

adoption of this ordinance or as may be hereinafter adopted, shall further apply to the development of this property as authorized by this Planned Residential Development Overlay District Ordinance, except as may be provided by law. Nothing herein shall be deemed a waiver of any subdivision, zoning, or other development regulation of the City whether by implication or reference.

- j. This zoning approval is conditioned on compliance with the Zoning Ordinance, Subdivision and Development Regulations, and all applicable laws of the City. Such additional regulations are supplemental to the requirements herein and no modification of any applicable regulations shall result from this Planned Residential Development Overlay District, except where this ordinance has expressly modified such regulations by reference to the applicable provision authorizing such modification.
- k. Commencement of construction, as defined by the City of Wildwood's Zoning Ordinance (Chapter 415.520), is required of the petitioner/developer of this residential subdivision **on or before November 27, 2017.**

All other conditions remain unchanged and in full force.

Respectfully submitted,
CITY OF WILDWOOD PLANNING AND ZONING COMMISSION

R. Jon Bopp, Chair

ATTEST:

Joe Vujnich, Director
Department of Planning

Cc: The Honorable James R. Bowlin, Mayor
Council Members DeHart and McGowen, Ward One
Ryan S. Thomas, City Administrator
John A. Young, City Attorney
Travis Newberry, Planner
Greg Neichter, Property Owner
R.J. Throckmorton, Petitioner/Developer

Editor's Note: Changes to Ordinance #1946 are shown as follows: additions or amendments **by bolded and underlined red type.**

***Background
Information***

From: **Neichter Greg** gregjn@sbcglobal.net
Subject: Extension of existing PRD Zoning
Date: May 2, 2016 at 6:19 PM
To: Joe Vujnich joe@cityofwildwood.com



Joe,
The PRD Zoning for my 193+ acres on Ossenfort Road in the City Of Wildwood is set to expire on May 27, 2016. As we discussed, I would like to extend the existing zoning for an additional eighteen (18) months.

Thanks,
Greg Neichter, Manager
Neichter Farm LLC
1412 South Mason Road
Town and Country, Missouri 63131
314-909-0442
gregjn@sbcglobal.net

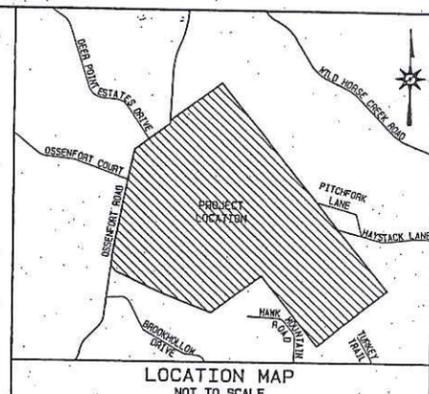


Site Development Plan

DEER VALLEY ESTATES

A TRACT OF LAND BEING PART OF U.S. SURVEY 957,
TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF WILDWOOD,
ST. LOUIS COUNTY, MISSOURI.

"NU" NON-URBAN RESIDENCE DISTRICT AND "FPNU" FLOODPLAIN NON-URBAN RESIDENCE
DISTRICT WITH A PLANNED RESIDENTIAL DEVELOPMENT OVERLAY DISTRICT.



PRESENT OWNER:
NEICHTER FARM L.L.C.
1412 SOUTH MASON ROAD
TOWN & COUNTRY, MO 63131
D.B. 15780 PG. 1002
LOC. # 22Y 24 0055

PREPARED FOR:
NEICHTER FARM L.L.C.
1412 SOUTH MASON ROAD
TOWN & COUNTRY, MO 63131
D.B. 15780 PG. 1002
LOC. # 22Y 24 0055
PHONE: 314-909-0442

LAND DESCRIPTION
OSSEFORT ROAD
193.190 ACRES
MARCH 27, 2002
JOB NUMBER 01-156

A TRACT OF LAND BEING PART OF U.S. SURVEY 957, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNINGS AT THE INTERSECTION OF THE SOUTHWEST LINE OF WILD HORSE FARM, A SUBDIVISION AS RECORDED IN PLAT BOOK 321 PAGE 49, OF THE ST. LOUIS COUNTY, MISSOURI RECORDER'S OFFICE, WITH THE NORTHWEST LINE OF WILD HORSE CREEK HILLS PLAT 4, A SUBDIVISION RECORDED IN PLAT BOOK 273 PAGE 94 OF SAID RECORDER'S OFFICE;

THENCE ALONG SAID NORTHWEST LINE, SOUTH 50 DEGREES 17 MINUTES 30 SECONDS WEST, A DISTANCE OF 1315.48 FEET TO THE NORTHEAST LINE OF WILD HORSE CREEK HILLS PLAT 4, A SUBDIVISION AS RECORDED IN PLAT BOOK 268 PAGE 94 OF SAID RECORDER'S OFFICE;

THENCE ALONG SAID NORTHEAST LINE, NORTH 37 DEGREES 56 MINUTES 31 SECONDS WEST, A DISTANCE OF 1341.93 FEET TO THE MOST NORTHERN CORNER THEREOF;

THENCE ALONG THE NORTHWEST LINE, THEREOF, SOUTH 52 DEGREES 11 MINUTES 27 SECONDS WEST, A DISTANCE OF 932.14 FEET TO THE NORTH LINE OF BROOKHOLLOW, A SUBDIVISION AS RECORDED IN PLAT BOOK 273 PAGE 95, OF SAID RECORDER'S OFFICE;

THENCE ALONG SAID NORTH LINE THE FOLLOWING COURSES AND DISTANCES: NORTH 68 DEGREES 12 MINUTES 12 SECONDS WEST A DISTANCE OF 774.29 FEET, NORTH 64 DEGREES 24 MINUTES 42 SECONDS WEST A DISTANCE OF 763.27 FEET, NORTH 37 DEGREES 44 MINUTES 27 SECONDS WEST A DISTANCE OF 117.26 FEET TO THE EAST RIGHT OF MAY LINE OF OSSEFORT (40 FOOT WIDE) ROAD;

THENCE ALONG SAID EAST RIGHT OF MAY LINE THE FOLLOWING COURSES: NORTH 06 DEGREES 05 MINUTES 19 SECONDS EAST A DISTANCE OF 157.47 FEET, NORTH 09 DEGREES 27 MINUTES 20 SECONDS EAST A DISTANCE OF 156.42 FEET, NORTH 11 DEGREES 35 MINUTES 27 SECONDS EAST A DISTANCE OF 200.44 FEET, NORTH 10 DEGREES 54 MINUTES 01 SECOND EAST A DISTANCE OF 800.40 FEET, NORTH 11 DEGREES 53 MINUTES 16 SECONDS EAST A DISTANCE OF 470.50 FEET, NORTH 52 DEGREES 19 MINUTES 26 SECONDS EAST A DISTANCE OF 674.45 FEET, NORTH 02 DEGREES 19 MINUTES 26 SECONDS EAST A DISTANCE OF 52.22 FEET TO THE SOUTHEAST LINE OF U.S. SURVEY 1956, ALSO BEING THE NORTHWEST LINE OF U.S. SURVEY 957;

THENCE ALONG SAID NORTHWEST LINE, NORTH 52 DEGREES 19 MINUTES 26 SECONDS EAST A DISTANCE OF 930.96 FEET TO THE NORTHWEST CORNER, THEREOF;

THENCE ALONG THE NORTHEAST LINE OF SAID U.S. SURVEY 957, SOUTH 37 DEGREES 55 MINUTES 19 SECONDS WEST, A DISTANCE OF 3984.67 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND CONTAINING 193.190 ACRES IS BASED UPON AN ACTUAL BOUNDARY SURVEY EXECUTED BY COLE & ASSOCIATES DURING THE MONTH OF MARCH, 2002 AND IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND CONDITIONS OF RECORD, IF ANY.

PERTINENT DATA

SCHOOL DISTRICT: ROCKWOOD SCHOOL DISTRICT (930-2200)
NEAREST MAJOR STREET INTERSECTION: OSSEFORT RD. & WILDHORSE CREEK RD. APPROX. 1500' TO THE NORTH

FIRE DISTRICT: METRO WEST FIRE PROTECTION DISTRICT
SEWER DISTRICT: PRIVATE SEWER TREATMENT PLANT
WATERSHED: WILD HORSE CREEK
WATER: MISSOURI AMERICAN WATER COMPANY
GAS: LACLEDE GAS COMPANY
ELECTRIC: AMEREN UE
TELEPHONE: SOUTHWESTERN BELL
CABLE T.V. PROVIDER: CHARTER COMMUNICATIONS
SOURCE OF TOPOGRAPHIC INFORMATION: SANBORN MAPPING
ZIP CODE: 63038

GENERAL NOTES

GROSS ACREAGE OF TRACT: 193.190 ACRES
PRESENT ZONING OF TRACT: "NU" NON-URBAN RESIDENCE DISTRICT AND "FPNU" FLOODPLAIN NON-URBAN RESIDENCE DISTRICT WITH A PLANNED RESIDENTIAL DEVELOPMENT OVERLAY DISTRICT
PRESENT LAND USE: VACANT
PROPOSED LAND USE: 55 SINGLE FAMILY RESIDENCES
DENSITY CALCULATIONS:
GROSS AREA OF TRACT: 193.190 ACRES

"NU" / "FPNU" W/P.R.D. DENSITY CALCS.

("NU" / "FPNU") ("FPNU")
193.20 - 27.81 = 165.39 AC.

165.39 AC. / 3.0 AC. = 55 LOTS

- LOTS PROPOSED: 55 SINGLE FAMILY RESIDENCES
- REQUIRED PARKING: 55 DWELLING UNITS @ 2/D.U. = 110 P.S.
- PROPOSED PARKING: 110 P.S. (MIN. 9' X 19')
- COMMON GROUND: 66.395 ACRES
- GRADING AND DRAINAGE PER CITY OF WILDWOOD AND M.S.D. STANDARDS. SLOPE SHALL NOT EXCEED 3 (HORIZONTAL) : 1 (VERTICAL), UNLESS SUPPORTED BY GEOTECHNICAL REPORT AND APPROVED BY THE CITY OF WILDWOOD.
- ALL PROPOSED STREETS TO BE DEDICATED AS PRIVATE.
- STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- LANDSCAPE STANDARDS PER CITY OF WILDWOOD STANDARDS.
- STREET LIGHTING TO BE PROVIDED PER CITY OF WILDWOOD STANDARDS.
- ENTRANCE, STREET INTERSECTION, AND ENTRANCE ISLAND SHALL BE CONSTRUCTED TO CITY OF WILDWOOD STANDARDS.
- SIGNAGE SHALL COMPLY WITH CITY OF WILDWOOD STANDARDS.
- MAXIMUM HEIGHT OF PROPOSED DWELLING UNITS IS 2-STORY OR MAX. 35 FEET.
- ENTRANCE MONUMENTS WILL BE ON BOTH SIDES OF THE DIVIDED ENTRANCE AND THE ENTRANCE ISLAND WITH A MAXIMUM OF TWO (2) SIGNS TO CONFORM TO THE CITY OF WILDWOOD ORDINANCE.
- THE INSTRUMENTS FOR THIS PROPOSED SUBDIVISION WILL BE PROVIDED TO THE CITY PRIOR TO THE RECORDING OF THE RECORD PLAT.
- NO PLANTS, TREES, OR SIGNS, ETC. GREATER THAN THIRTY-SIX (36) INCHES IN HEIGHT SHALL BE PLACED IN THE SIGHT DISTANCE TRIANGLE.
- ALL EASEMENTS OF RECORD PER THE CLIENT SUPPLIED TITLE COMMITMENT HAVE BEEN INDICATED ON THE PLAN.
- THE EXISTING FENCE ALONG OSSEFORT ROAD AND ALONG THE COMMON LINE OF BROOKHOLLOW COMMON GROUNDS IS TO BE REMOVED AND REPLACED WITH 3-RAIL VINYL FENCE.
- AS PART OF THE CONSTRUCTION PLAN PROCESS, A SERVICE PROVIDER FOR THE MAINTENANCE OF THE TREATMENT PLANT WILL BE CHOSEN.
- NO PARKING ON EITHER SIDE OF THE 20 FOOT WIDE STREETS WILL BE ALLOWED PER THE METRO WEST FIRE PROTECTION DISTRICT OF ST. LOUIS COUNTY.
- INITIAL GRADING PHASE FOR THIS DEVELOPMENT WILL BE FOR THE PURPOSE OF ROADWAY INSTALLATION ONLY. (APPROXIMATELY 4.5+ ACRES)
- IMPROVEMENTS TO OSSEFORT ROAD RIGHT-OF-WAY MUST BE COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMITS IN EXCESS OF (50) PERCENT.
- THE 8' WIDE (PUBLIC) MULTI-USE TRAIL WILL BE INSTALLED BY THE DEVELOPER OR THE FINISH GRADE WILL BE PROVIDED ALONG WITH A CASH ESCROW TO THE CITY FOR ITS INSTALLATION.
- TOTAL LENGTH OF PRIVATE TRAIL = 8,300 L.F.

SANITARY TREATMENT PLANT NOTES

EMERGENCY EQUIPMENT AND PROCEDURES.
IN CASE OF WASTEWATER TREATMENT PLANT PROBLEMS, THE FOLLOWING PROCEDURES SHALL APPLY:

- A. PUMP FAILURE: 2 PUMPS ARE PROVIDED TO GIVE 100% BACKUP. IF ONE PUMP FAILS, THE PUMP CONTROLLER WILL SWITCH TO THE SECOND PUMP. IF BOTH PUMPS FAIL, A HIGH WATER ALARM WILL SOUND AND AN OUTSIDE LIGHT WILL COME ON. IF EITHER OF THESE CONDITIONS OCCUR, THE OPERATIONAL COMPANY OF KELPE CONTRACTING, INC. WILL BE CONTACTED TO CORRECT THE FAILURE CONDITION.

Kelpe Contracting, Inc.
P.O. Box 100
Wildwood, MO 63038
636-458-1400
Contact: David Fuszner

- B. LIGHT AND SIREN: THESE SYSTEMS HAVE A BATTERY BACKUP IN CASE OF POWER FAILURE. THIS WILL ALSO BE MAINTAINED BY KELPE CONTRACTING, INC.

- C. POWER FAILURE: IN THE EVENT OF A POWER FAILURE, THE LIGHT AND SIREN WILL COME ON. KELPE CONTRACTING, INC. MAY THEN BE CONTACTED AND THEY WILL CONTACT THE PUMP AND HALL CONTRACTOR WHO WILL PUMP AND HALL SANITARY SEWAGE FROM THE FACILITY. THE PUMP AND HALL CONTRACTOR IS:

Acme Septic Tank Service
P.O. Box 10
Pacific, MO 63069
636-458-3100
Contact: Juanita Waika

- D. PLANT MAINTENANCE: KELPE CONTRACTING, INC. SHALL CONDUCT REGULAR, WEEKLY VISITS TO CHECK AND MAINTAIN PLANT OPERATION, MECHANICAL SYSTEMS AND ELECTRICAL SYSTEMS.

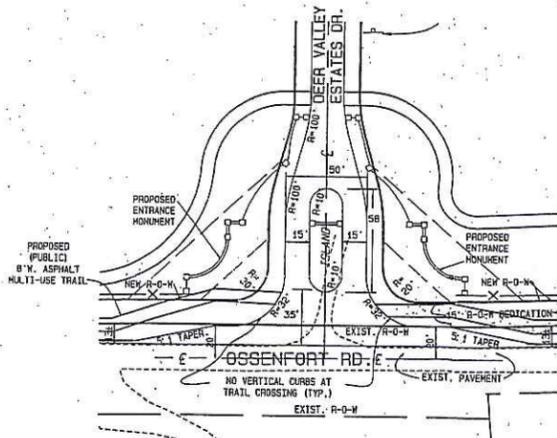
- E. PLANT EFFLUENT: KELPE CONTRACTING, INC. SHALL CONDUCT REGULAR VISITS TO MAINTAIN PLANT OPERATION AND TEST PLANT EFFLUENT. KELPE CONTRACTING, INC. WILL ALSO SUBMIT REGULAR REQUIRED REPORTS TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES AND TO THE CITY OF WILDWOOD.

LEGEND

- DENOTES 1/2" IRON PIPE WITH PLASTIC CAP STAMPED COLE L.S. 2660 SET, UNLESS NOTED OTHERWISE.
- ▲ DENOTES MONUMENTATION FOUND AS NOTED ON PLAT

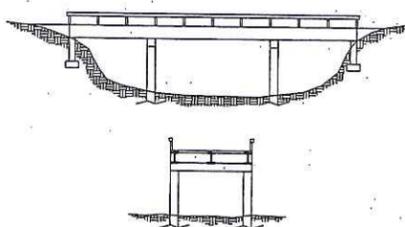
BOUNDARY SURVEY NOTES:

- ALL BEARINGS AND DISTANCES ARE RECORDED (R) AND SURVEYED (S), UNLESS OTHERWISE NOTED.
- THIS SURVEY HAS BEEN EXECUTED IN ACCORDANCE WITH THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR THE STATE OF MISSOURI (MCS90-16.010), AND MEETS THE REQUIREMENTS OF AN URBAN CLASS SURVEY, AS DEFINED THEREIN.
- MSD 16-134 ELEVATION 530.09 STANDARD ALUMINUM DISK STAMPED SL-97 1991, DISK IS AT THE NORTHWEST CORNER OF OSSEFORT ROAD AND DEER VALLEY ESTATES DRIVE; 15 FEET NORTH OF THE CENTERLINE OF OSSEFORT ROAD AND 51 FEET WEST OF THE CENTERLINE OF DEER VALLEY DRIVE.
- TOTAL AREA OF BOUNDARY = 193.190 ACRES.
- BASIS OF BEARING: THE BEARING ALONG THE NORTH LINE OF BROOKHOLLOW AS RECORDED IN PLAT BOOK 273, PAGE 95 OF THE ST. LOUIS COUNTY, MISSOURI RECORDER'S OFFICE AS ESTABLISHED BY GPS OBSERVATION. GPS MONUMENT SL-97 WAS OCCUPIED AND TIED TO THE AZIMUTH MARK, WHICH NORTH LINE BEARS NORTH 64 DEGREES 24 MINUTES 42 SECONDS WEST.
- CORNER OF RECORD: OLD CONCRETE MONUMENT FOUND AT AN ANGLE POINT ON THE NORTH LINE OF BROOKHOLLOW AS SHOWN ON PLAT BOOK 273, PAGE 95 OF THE ST. LOUIS COUNTY, MISSOURI RECORDER'S OFFICE.
- SOURCE OF RECORD TITLE:
 - GENERAL WARRANTY DEED GRANTED TO GREGORY J. NEICHTER AS RECORDED BY DEED IN BOOK 10844, PAGE 1312 OF THE ST. LOUIS COUNTY, MISSOURI RECORDER'S OFFICE.
 - TITLE COMMITMENTS: STEWART TITLE COMMITMENT NUMBER: X69796 EFFECTIVE DATE: DECEMBER 6, 1998
 - SCHEDULE B, ITEM B EASEMENT TO YARHOLA PIPE LINE CO. ACCORDING TO INSTRUMENT RECORDED IN BOOK 424 PAGE 111, SAID EASEMENT WAS ASSIGNED TO OZARK PIPE LINE CORPORATION RECORDED IN BOOK 472 PAGE 14. (BLANKET EASEMENT, MAY NOT EFFECT 193.19 ACRE TRACT).



ENTRANCE DETAIL

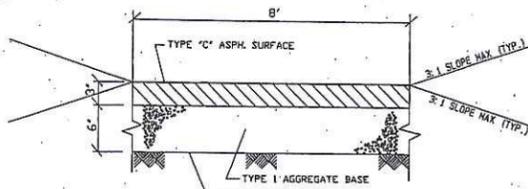
NOT TO SCALE



BRIDGE CROSS SECTIONS

NO SCALE

NOT PART OF SITE DEVELOPMENT PLAN APPROVAL



PUBLIC TRAIL CROSS SECTION

NO SCALE

ENGINEERING DECLARATION

THE INFORMATION ON THIS PLAN IS FROM EXISTING AVAILABLE DATA. THE ENGINEER IS PRELIMINARY AND CONCEPTUAL AND SHALL NOT BE CONSIDERED AS THE FINAL DESIGN FOR CONSTRUCTION, BUT FOR PRELIMINARY COSTS AND CONCEPT ONLY. THIS PRELIMINARY IS SUBJECT TO CHANGE BASED ON COMPLETE FIELD INFORMATION, ENGINEERING CALCULATIONS, AND FUTURE AVAILABLE DATA.

COLE & ASSOCIATES, INC.

SIGNATURE

DATE

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY TO NEICHTER-THROCKMORTON DEVELOPMENT THAT AT THEIR REQUEST DURING THE MONTH OF AUGUST, 2002, COLE & ASSOCIATES, INC. HAS PREPARED A SITE DEVELOPMENT PLAN OF A TRACT OF LAND BEING PART OF U.S. SURVEY 957, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI. THIS PLAN IS BASED ON A BOUNDARY SURVEY COMPLETED BY COLE & ASSOCIATES, INC. THIS PRELIMINARY PLAN AND THE SURVEY ON WHICH IT IS BASED WERE EXECUTED IN ACCORDANCE WITH THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, DIVISION OF GEOLOGY AND LAND SURVEY AND THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

COLE & ASSOCIATES, INC. L.S. 266-0

PROJECT NO. 01-156

BRIAN J. FISCHER, PLS.
MISSOURI CERT. NO. L.S. 2684

DATED:

DEER VALLEY ESTATES

SITE DEVELOPMENT PLAN

Cole & Associates Inc.
Planning - Civil Engineering - Land Surveying

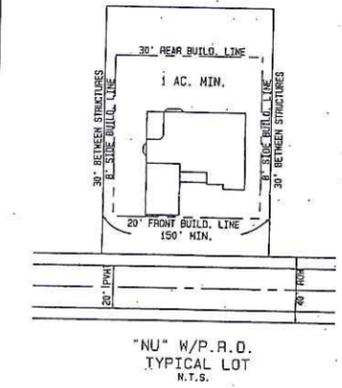
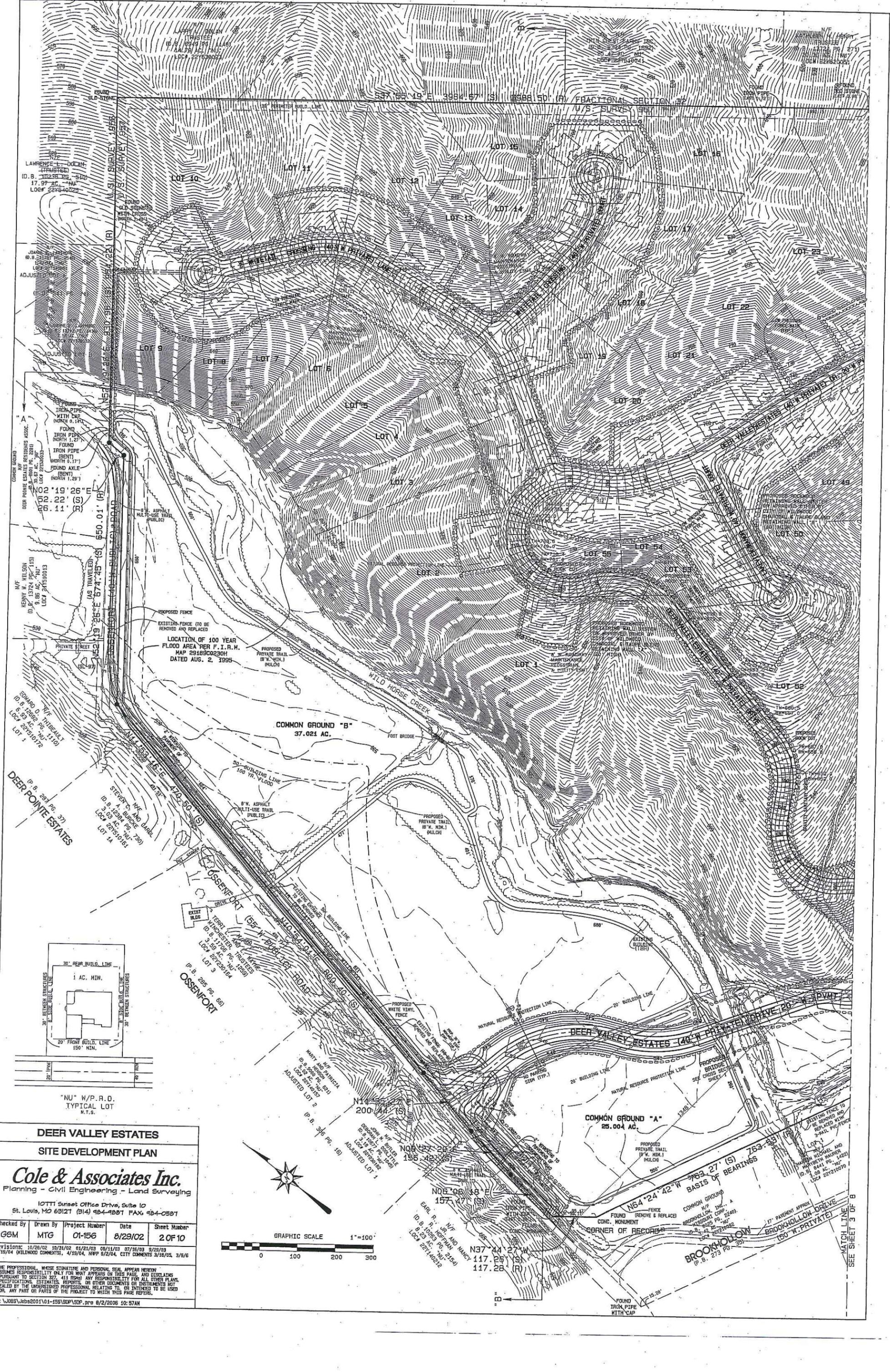
10777 Sunset Office Drive, Suite 10
St. Louis, MO 63127 (314) 984-4887 FAX: 984-0587

Checked By: GSW/BJF
Drawn By: MTG
Project Number: 01-156
Date: 8/29/02
Sheet Number: 1 OF 10

Revisions: 10/23/02, 10/28/02, 10/31/02, 01/15/03, 01/21/03, 07/16/03, 07/23/03, 9/29/03, 3/19/04 (WILDWOOD COMMENTS), CITY COMMENTS 3/18/05, 3/6/05

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DEER VALLEY ESTATES
SITE DEVELOPMENT PLAN

Cole & Associates Inc.
 Planning - Civil Engineering - Land Surveying

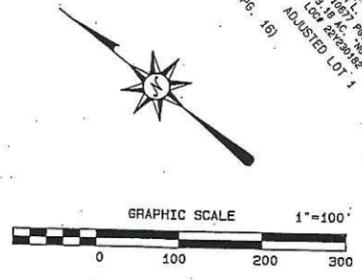
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 St. Louis, MO 63121 (314) 984-4887 FAX: 984-0587

Checked By GSM	Drawn By MTG	Project Number 01-156	Date 8/23/02	Sheet Number 2 OF 10
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Revisions: 10/28/02 10/31/02 01/21/03 09/11/03 07/16/03 9/29/03
 3/19/04 (WILDLIFE COMMENTS), 4/19/04, NFP 6/2/04, CITY COMMENTS 3/18/05, 3/8/6

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MATCH LINE SEE SHEET 3 OF 8

THE FARM PLAT FOUR
(P.B. 274 PG. 51)

N/F
CHARLES R. AND
CATHERINE FELLOUS
(D.B. 6758 PG. 485)
5.00 AC. "NU"
LOC# 22Y340091

N/F
WESLEY G. TYREE TRUST
(D.B. 13366 PG. 896)
3.20 AC. "NU"
LOC# 22Y320117

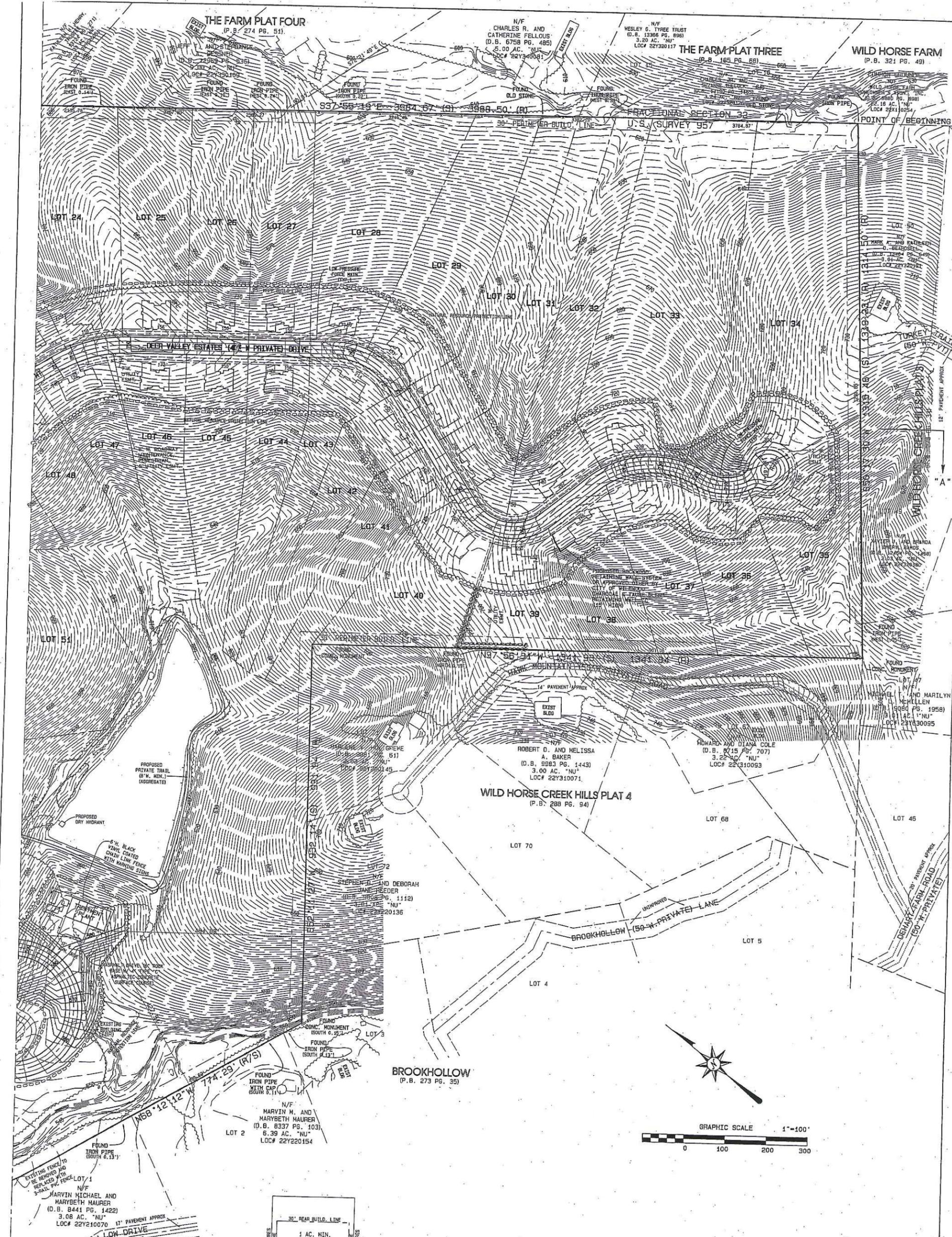
THE FARM PLAT THREE
(P.B. 185 PG. 68)

WILD HORSE FARM
(P.B. 321 PG. 49)

S37°56'19"E 3987.67 (S) 3988.50 (R)

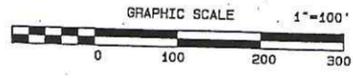
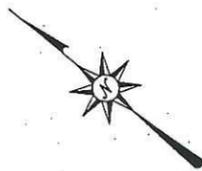
FRACTIONAL SECTION 30
U.S. SURVEY 957
3784.87'

POINT OF BEGINNING

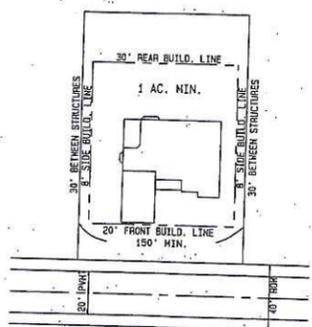


WILD HORSE CREEK HILLS PLAT 4
(P.B. 288 PG. 94)

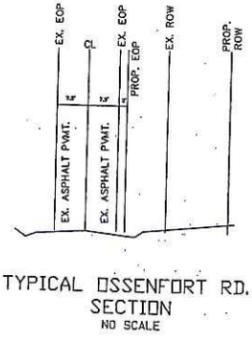
BROOKHOLLOW
(P.B. 273 PG. 35)



MATCH LINE
SEE SHEET 2 OF 6



"NU" W/P.R.D.
TYPICAL LOT
N.T.S.



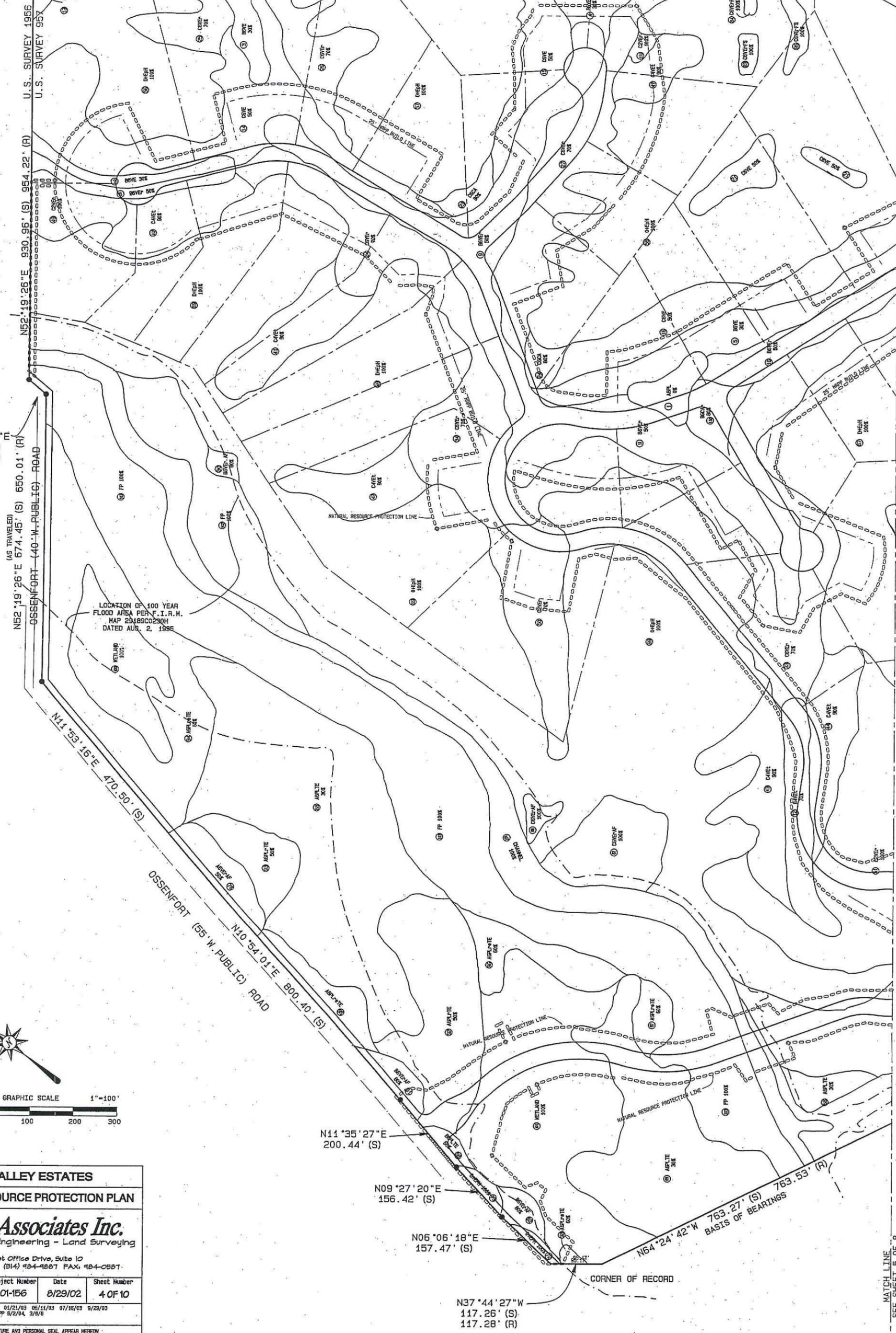
TYPICAL OSSENFORT RD.
SECTION
NO SCALE

DEER VALLEY ESTATES				
SITE DEVELOPMENT PLAN				
Cole & Associates Inc.				
Planning - CIVIL Engineering - Land Surveying				
10777 Sunset Office Drive, Suite 10 St. Louis, MO 63127 (314) 484-4887 FAX: 484-0587				
Checked By	Drawn By	Project Number	Date	Sheet Number
G&M	MTG	01-156	8/29/02	3 OF 10
Revisions: 10/28/02 10/31/02 01/21/03 05/11/03 07/16/03 9/29/03 3/19/04 WILLOWOOD COMMENTS, 4/19/04, WPP, 6/2/04, CITY COMMENTS 3/18/05, 3/6/6				
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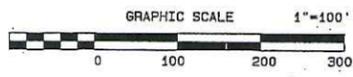
S37°55'19"E 3984.67' (S) - 3988.50' (R) FRACTIONAL SECTION 32
U.S. SURVEY 957

U.S. SURVEY 1956
U.S. SURVEY 957

N02°19'26"E
52.22' (S)
26.11' (S)



LOCATION OF 100 YEAR
FLOOD AREA PER F.I.R.M.
MAP 23189C0230H
DATED AUG. 2, 1985



DEER VALLEY ESTATES
NATURAL RESOURCE PROTECTION PLAN

Cole & Associates Inc.
Planning - Civil Engineering - Land Surveying

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Checked By	Drawn By	Project Number	Date	Sheet Number
GSM	MTG	01-156	8/29/02	4 OF 10

Revisions: 10/28/02 10/31/02 01/21/03 05/11/03 07/16/03 9/29/03
3/19/04 (WILKINSON COMMENTS), NAPP 8/2/04, 3/8/6

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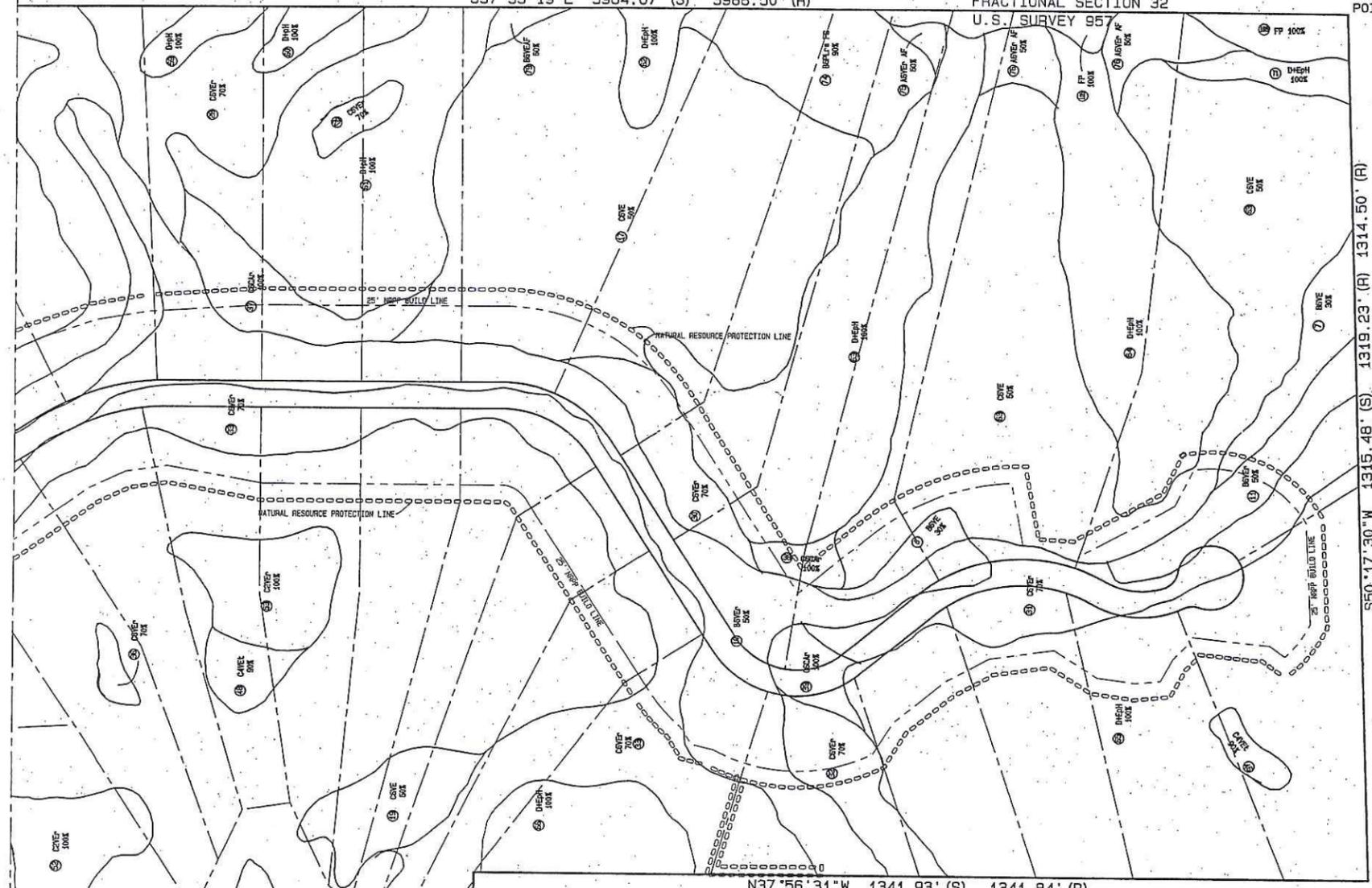
MATCH LINE
SEE SHEET 5 OF 8

S37°55'19"E 3984.67' (S) 3988.50' (R)

FRACTIONAL SECTION 32

POINT OF BEGINNING

U.S. SURVEY 957



N37°56'31"W 1341.93' (S) 1341.84' (R)

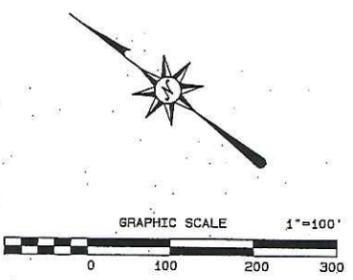
S50°17'30"W 1315.48' (S) 1319.23' (R) 1314.50' (R)

S52°11'27"W 932.14' (S) 931.94' (R)

N68°12'12"W 774.29' (R/S)

MAP SYMBOL	PRESERVATION PERCENTAGE	MAP UNIT ACRES	ACRES REQUIRED TO BE PRESERVED	USABLE ACRES	ACRES PRESERVED	ACRES DISTURBED
A6PL	0%	0.34	0.0	0.34	0.00	0.34
A6PL (TE)	30%	8.52	2.55	5.97	6.16	0.36
A6PLr (TE)	50%	5.49	2.74	2.75	2.91	1.83
A6PLre (TE)	60%	3.73	2.24	1.49	3.69	0.04
A6Vr (AF)	50%	1.17	0.59	0.58	1.17	0.00
B5VE	30%	2.99	0.90	2.09	1.27	1.72
B5Vr	50%	9.71	4.85	4.86	1.22	8.49
B5PLr (FS)	90%	1.08	0.97	0.11	1.08	0.00
B5VE (AF)	60%	0.06	0.04	0.02	0.06	0.00
B5Vr (AF)	80%	0.62	0.49	0.13	0.40	0.22
B6PL (TE)	60%	0.15	0.09	0.06	0.07	0.08
B6CAr	80%	0.36	0.29	0.07	0.00	0.36
B4VEt	70%	0.74	0.52	0.22	0.38	0.36
C6VE	50%	21.99	10.99	11.00	17.41	4.59
C6CA	80%	0.36	0.29	0.07	0.23	0.13
C6Vr	70%	17.82	12.47	5.35	6.77	11.05
C6CAr	100%	1.79	1.79	0.00	1.00	0.79
C6Vr (FS)	100%	0.28	0.28	0.00	0.28	0.00
C6Vr (AF)	100%	1.06	1.06	0.00	1.06	0.00
C4VEt	90%	6.47	5.82	0.65	5.20	1.27
C2Vr	100%	8.41	8.41	0.00	8.48	1.83
D+EPH	100%	75.59	75.59	0.00	65.28	10.16
WETLAND	100%	5.54	5.54	0.00	3.34	1.05
FLOOD PLAIN	100%	14.02	14.02	0.00	15.19	0.83
CHANNEL	100%	2.57	2.57	0.00	2.46	0.11
DAM	100%	0.60	0.60	0.00	0.37	0.23
WATER	100%	2.21	2.21	0.00	2.21	0.00
TOTALS	---	193.67	157.91	35.76	147.74	45.93
OTHER	0%	---	(#10.915)	0.000	0.000	
			147.001	132.195		

MATCH LINE
SEE SHEET 4 OF 8



THIS NATURAL RESOURCE PROTECTION PLAN HAS BEEN REVIEWED AND APPROVED IN ACCORDANCE WITH THE PROVISIONS OF THE CONSULTING SOIL SCIENTIST REPORT DATED MARCH 25, 2002

DENNIS M. MEINERT - SOIL SCIENTIST
DATED _____

DEER VALLEY ESTATES

NATURAL RESOURCE PROTECTION PLAN

Cole & Associates Inc.
Planning - Civil Engineering - Land Surveying

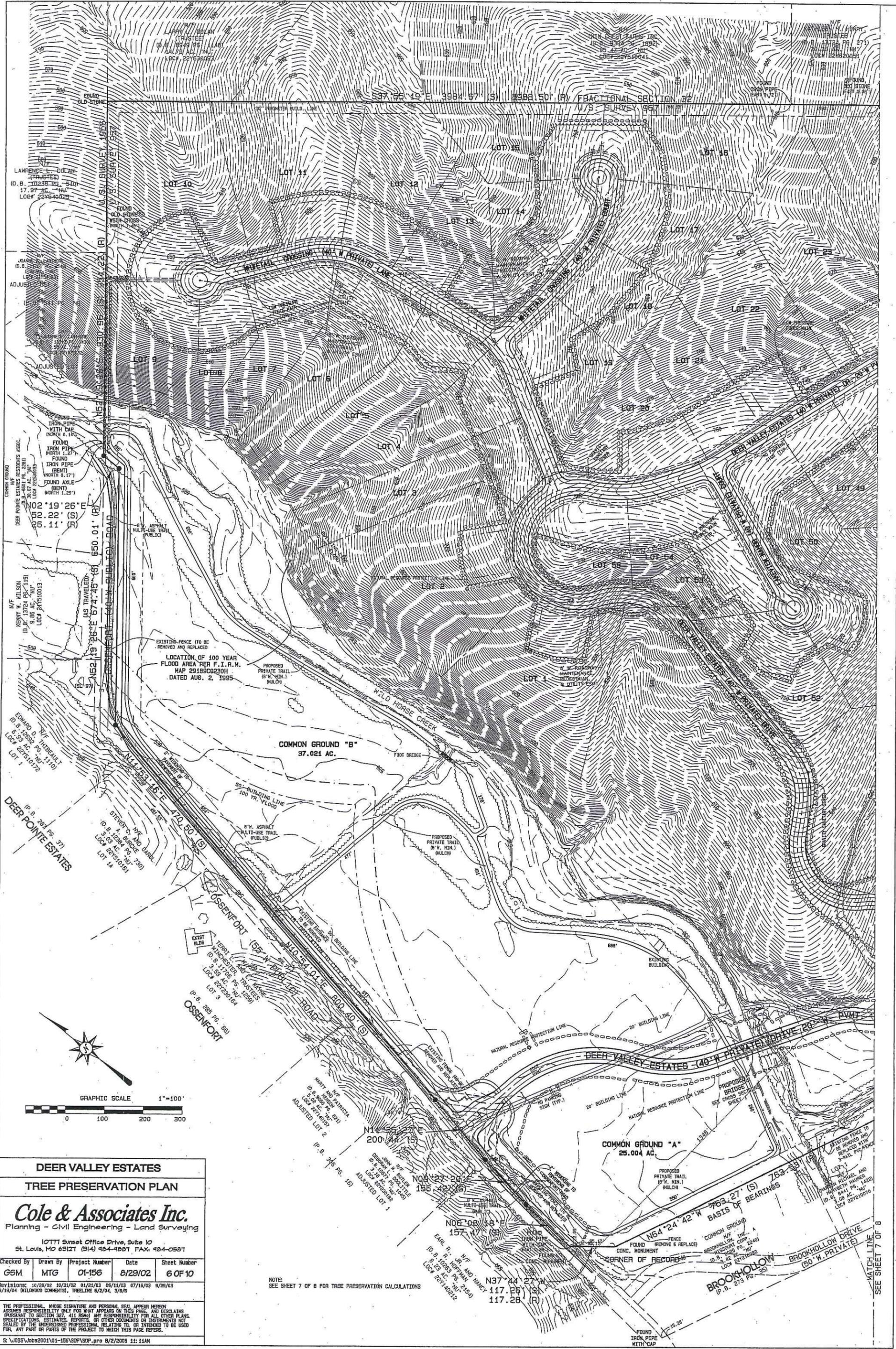
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Checked By	Drawn By	Project Number	Date	Sheet Number
GSM	MTG	01-156	8/29/02	5 OF 10

Revisions: 10/26/02 10/31/02 01/21/03 05/11/03 07/16/03 9/25/03
3/15/04 (WILLOW COMMENTS), 8/2/04, 3/2/05

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DEER VALLEY ESTATES
TREE PRESERVATION PLAN

Cole & Associates Inc.
 Planning - Civil Engineering - Land Surveying

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Checked By	Drawn By	Project Number	Date	Sheet Number
GSM	MTG	01-156	8/29/02	6 OF 10

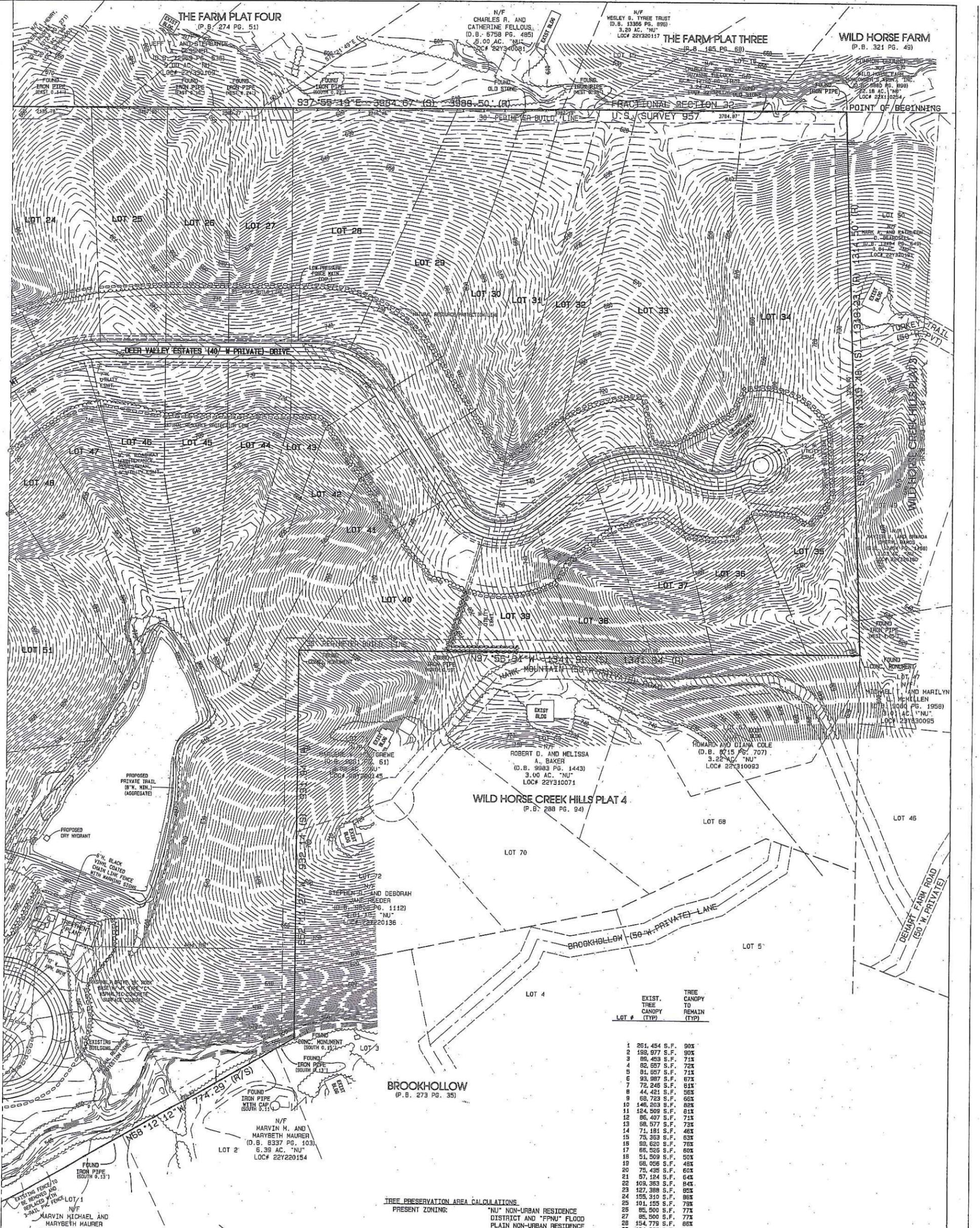
Revisions: 10/28/02 10/31/02 01/21/03 05/11/03 07/18/03 9/29/03
 3/19/04 (MILKWOOD COMMENTS), TREE LINE 6/2/04, 9/8/06

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NOTE:
 SEE SHEET 7 OF 8 FOR TREE PRESERVATION CALCULATIONS

MATCH LINE
 SEE SHEET 7 OF 8



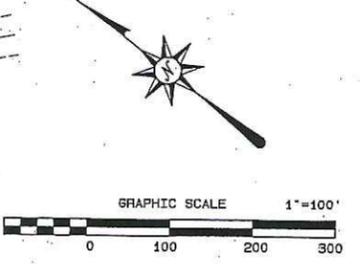
BROOKHOLLOW
(P.B. 273 PG. 35)

TREE PRESERVATION AREA CALCULATIONS

PRESENT ZONING: "NU" NON-URBAN RESIDENCE DISTRICT AND "FPNU" FLOOD PLAIN NON-URBAN RESIDENCE DISTRICT WITH A PLANNED RESIDENTIAL DEVELOPMENT OVERLAY DISTRICT

TOTAL SITE AREA: 193,490 AC.
 TOTAL EXIST. WOODED AREA: 154,743 AC.
 (30% WOODED AREA) 44,667 AC.
 TREE CANOPY REQUIRED: (74%) 114,970 AC.
 TREE CANOPY PLANTED: 0%
 TREE CANOPY PROVIDED: (74%) 114,970 AC.
 PROPOSED UNITS: 55 SINGLE FAMILY RESIDENCES

LOT #	EXIST. TREE CANOPY (TYP)	TREE CANOPY TO REMAIN (TYP)
1	261,454 S.F.	90%
2	199,977 S.F.	90%
3	89,453 S.F.	71%
4	82,557 S.F.	72%
5	91,957 S.F.	71%
6	93,987 S.F.	67%
7	72,246 S.F.	61%
8	44,421 S.F.	56%
9	58,723 S.F.	66%
10	146,203 S.F.	62%
11	124,509 S.F.	61%
12	86,407 S.F.	71%
13	68,577 S.F.	73%
14	71,181 S.F.	46%
15	75,359 S.F.	63%
16	59,620 S.F.	76%
17	66,526 S.F.	60%
18	51,509 S.F.	50%
19	56,056 S.F.	48%
20	75,425 S.F.	63%
21	57,124 S.F.	64%
22	109,353 S.F.	84%
23	127,388 S.F.	95%
24	155,310 S.F.	96%
25	101,155 S.F.	79%
26	95,500 S.F.	77%
27	85,500 S.F.	77%
28	154,779 S.F.	66%
29	124,935 S.F.	82%
30	91,621 S.F.	76%
31	103,730 S.F.	73%
32	113,257 S.F.	73%
33	245,629 S.F.	90%
34	251,899 S.F.	86%
35	105,893 S.F.	66%
36	78,304 S.F.	70%
37	78,195 S.F.	65%
38	62,764 S.F.	64%
39	63,532 S.F.	63%
40	90,372 S.F.	73%
41	71,283 S.F.	72%
42	71,176 S.F.	72%
43	64,890 S.F.	66%
44	74,339 S.F.	74%
45	81,889 S.F.	76%
46	72,724 S.F.	71%
47	69,065 S.F.	67%
48	89,718 S.F.	78%
49	53,701 S.F.	62%
50	82,903 S.F.	51%
51	107,689 S.F.	87%
52	73,453 S.F.	62%
53	45,736 S.F.	45%
54	47,530 S.F.	21%
55	58,574 S.F.	43%
COMMON GROUND A	524190 S.F.	96%
COMMON GROUND B	573890 S.F.	97%



DEER VALLEY ESTATES

TREE PRESERVATION PLAN

Cole & Associates Inc.
 Planning - Civil Engineering - Land Surveying

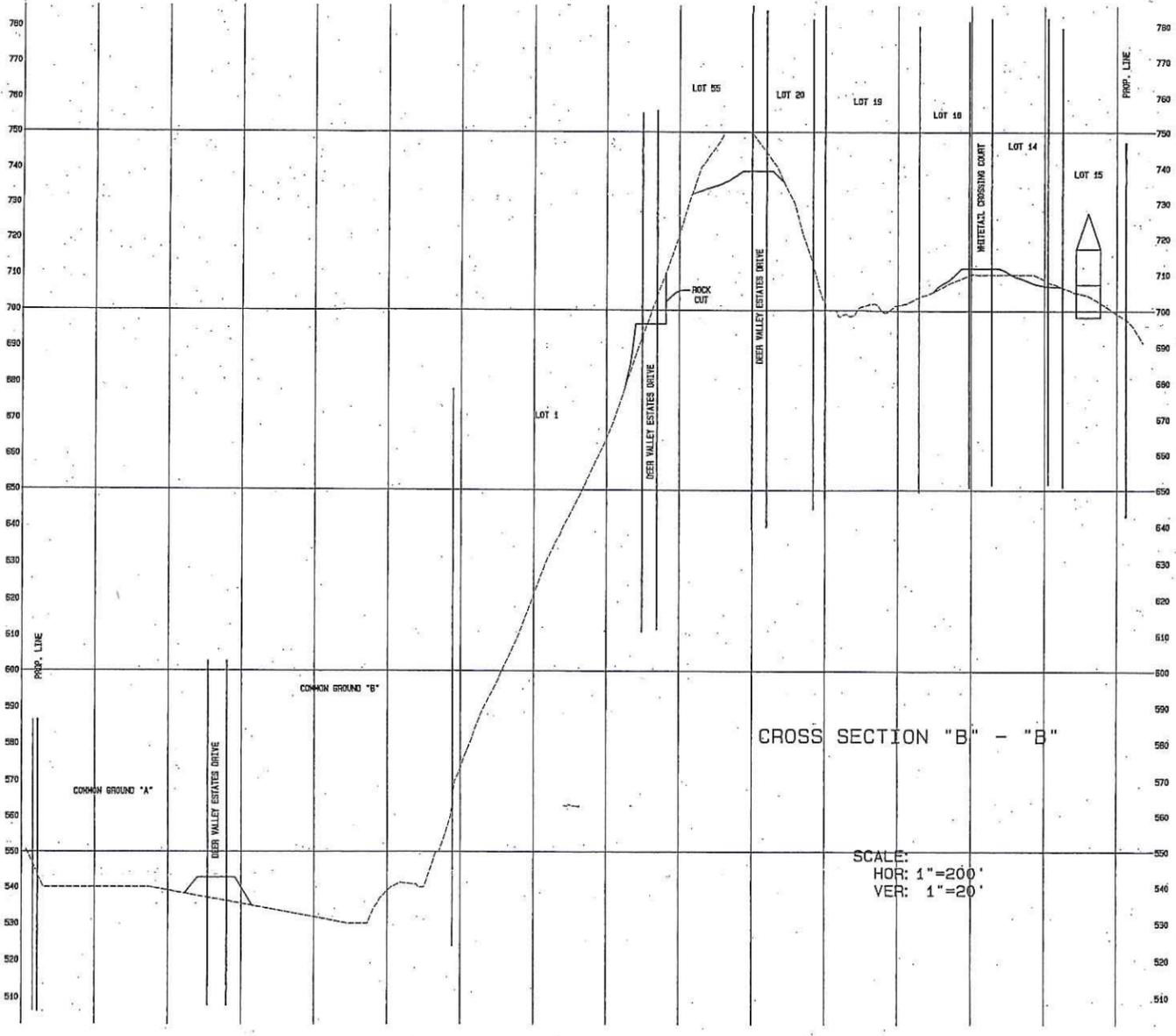
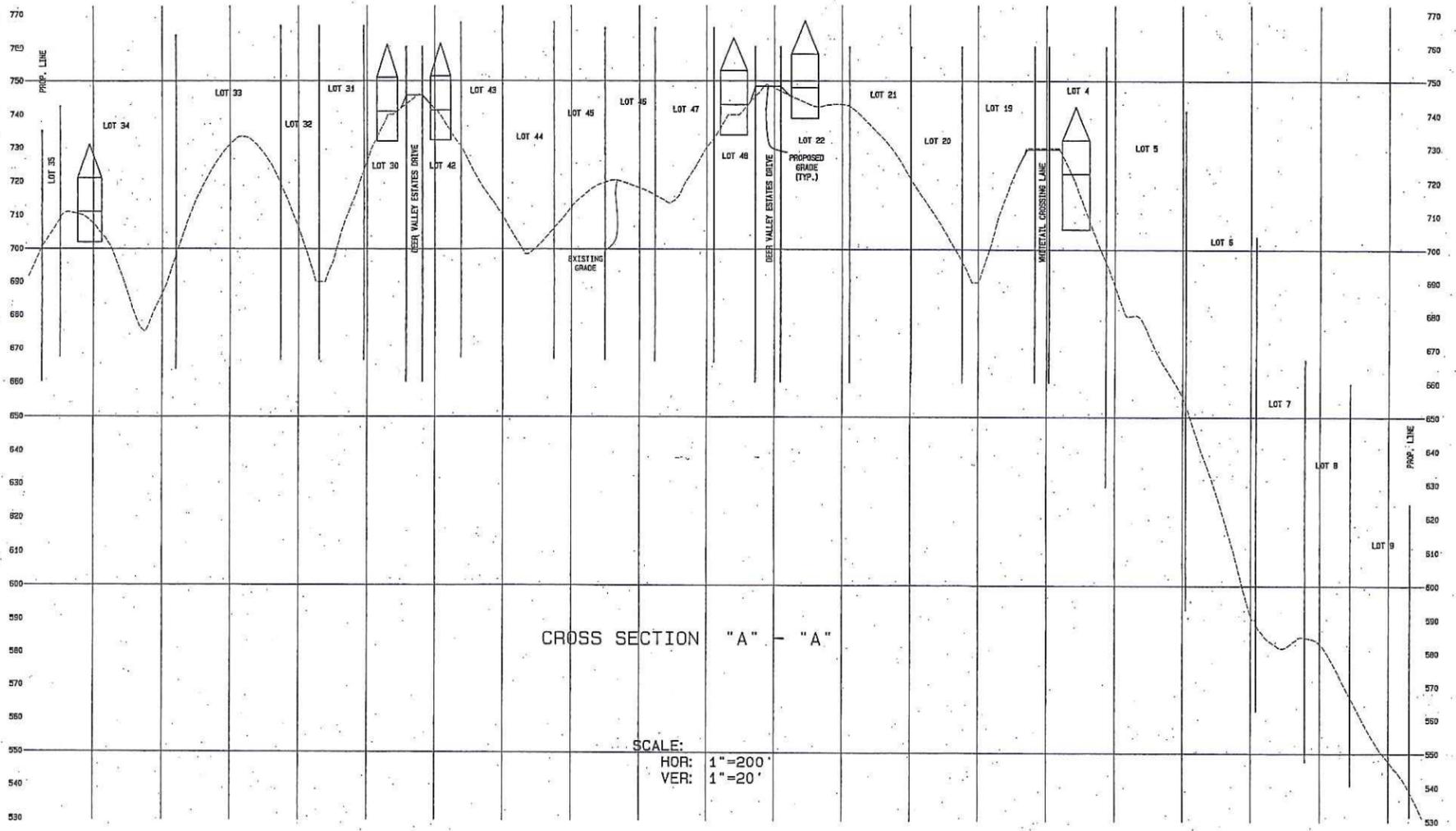
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Checked by	Drawn by	Project Number	Date	Sheet Number
GSM	MTG	01-156	8/29/02	7 OF 10

Revisions: 10/28/02 10/31/02 01/21/03 06/11/03 07/16/03 9/29/03
 3/15/04 (WILDMOD COMMENTS), TREE LINE 6/2/04, 3/6/6

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DEER VALLEY ESTATES

SITE CROSS SECTIONS

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 Planning - Civil Engineering - Land Surveying

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Checked By	Drawn By	Project Number	Date	Sheet Number
GSM	MTG	01-156	8/29/02	8 OF 10

Revisions: 10/28/02 10/31/02 01/21/03 08/05/03
 3/19/04 (MILWAUKEE COMMENTS), 3/6/6

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AN ORDINANCE AUTHORIZING THE APPROVAL OF A PLANNED RESIDENTIAL DEVELOPMENT OVERLAY DISTRICT IN THE NU NON-URBAN RESIDENTIAL DISTRICT AND FPNP FLOODPLAIN NON-URBAN RESIDENTIAL DISTRICT UPON A 193.2 ACRE PARCEL OF GROUND TO AUTHORIZE ITS USE FOR A FIFTY-FIVE (55) LOT RESIDENTIAL SUBDIVISION UNDER A SET OF SPECIFIC CONDITIONS AND REQUIREMENTS SET FORTH HEREIN BY THIS ORDINANCE (P.Z. 25 and 25a-02 Deer Valley Estates)

WHEREAS, on February 26, 1996, the City of Wildwood, Missouri adopted its Master Plan, which identified portions of the City where low density residential development would be appropriate by designating these properties into a Conceptual Land Use Classification called the "Non-Urban Residential Area;" and

WHEREAS, those properties included in the Non-Urban Residential Area were selected because they lacked a full range of utility services, which were not readily accessible, infrastructure levels which were not commensurate with the increased use caused by the new development, topography that was not as favorable as other locations within the City, and a surrounding development pattern which was comparable in terms of density and type of use; and

WHEREAS, the designation of property within the "Non-Urban Residential Area" of the City allows for residential housing densities to be limited to one (1) dwelling per every three (3) acres, with a minimum size of one (1) acre, to allow for the clustering of homesites within these developments; and

WHEREAS, additionally, after the adoption of the Master Plan, the City Council began the process of creating complementary ordinances to implement the requirements of the Master Plan, including the City's revised Zoning Code; and

WHEREAS, one (1) of the major modifications to the Zoning Code was the creation of the Planned Residential Development Overlay District regulations, which assist in the application of the City's environmental ordinances, including the Natural Resource Protection Standards; and

WHEREAS, the Planning and Zoning Commission heard a series of requests from the petitioners for the approval of a maximum of sixty-three (63) detached single-family dwellings to be located on a 193.2 acre tract of land situated on the east side of Ossenfort Road, north of Hardt Road, which would require the approval of a Planned Residential Development Overlay District to allow for the proposed lot sizes and their layout, while also granting a Major Variance to the Natural Resource Protection Standards of the Subdivision and Development Regulations (fifteen (15) percent amount); and

WHEREAS, the Planning and Zoning Commission reviewed and analyzed these requests for consistency with the Master Plan and its related standards and guidelines, and recommended approval of the application of the Planned Residential Development Overlay District for this tract of land in the NU Non-Urban Residential District and FPNP Floodplain Non-Urban Residential District to allow for the development of fifty-seven (57) lot residential subdivision (fifty-one (51) lots on a 174.7 acre tract of land within the boundaries of the Planned Residential Development Overlay District and six (6) lots not included in the area) under certain design requirements and restrictions, including the preservation of the approximately fifty (50) acre area along Ossenfort Road in its current condition, the relocation of the proposed sewage treatment plant to the interior of the site, and no Major Variance to the Natural Resource Protection Standards of the Subdivision and Development Regulations; and

WHEREAS, the Planning and Zoning Commission supported this application for a Special Procedures Permit due to its compliance with the Master Plan for development in the Non-Urban Residential Area and Comprehensive Zoning Plan and the eight (8) standards for approving a Planned Residential Development Overlay District Regulations defined by the Zoning Code; and

WHEREAS, the Planning and Zoning Commission prepared the attached Letter of Recommendation reflecting its review and action upon this request and forwarded it to the City Council for their consideration in conjunction with the public hearing scheduled for October 20, 2003, which was held and where comments were heard regarding its merits; and

WHEREAS, the City Council has reviewed the input from the Planning and Zoning Commission, and the comments received from the public hearing, and supports the recommendation for approval based upon the proposal's compliance with the Master Plan relative to density, lot size, character, and other development characteristics, such as the project's compliance to the overall construction practices proposed for the installation of both public and private improvements. The City Council also concurred with the minor level of variance to the Natural Resource Protection Standards of the Subdivision and Development Regulations to the need to protect the site from excessive disturbance, along with a lesser number of overall lots and the entire area of the site included within the boundaries of the Planned Residential Development Overlay District.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILWOOD, MISSOURI, AS FOLLOWS:

Section One. The City of Wildwood Zoning Ordinances and Official Zoning District Maps, which are a part thereof, are hereby amended by approving the application of the Planned Residential Development Overlay District to the subject 193.2 acre parcel of ground in the NU Non-Urban Residential District and FPNP Floodplain Non-Urban Residential District, as set forth in this ordinance for the following described land area:

A TRACT OF LAND BEING PART OF U.S. SURVEY 957, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF WILWOOD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHWEST LINE OF WILD HORSE FARM, A SUBDIVISION AS RECORDED IN PLAT BOOK 321 PAGE 49, OF THE ST. LOUIS COUNTY, MISSOURI RECORDER'S OFFICE, WITH THE NORTHWEST LINE OF WILD HORSE CREEK HILLS PLAT 3, A SUBDIVISION RECORDED IN PLAT BOOK 273 PAGE, OF SAID RECORDER'S OFFICE; THENCE ALONG SAID NORTHWEST LINE, SOUTH 50 DEGREES 17 MINUTES 30 SECONDS WEST, A DISTANCE OF 1315.48 FEET TO THE NORTHEAST LINE OF WILD HORSE CREEK HILLS PLAT 4, A SUBDIVISION AS RECORDED IN PLAT BOOK 288 PAGE 94 OF SAID RECORDER'S OFFICE; THENCE ALONG SAID NORTHEAST LINE, NORTH 37 DEGREES 56 MINUTES 31 SECONDS WEST, A DISTANCE OF 1341.93 FEET TO THE MOST NORTHERN CORNER THEREOF; THENCE ALONG THE NORTHWEST LINE, THEREOF, SOUTH 52 DEGREES 11 MINUTES 27 SECONDS WEST, A DISTANCE OF 932.14 FEET TO THE NORTH LINE OF BROOKHOLLOW, A SUBDIVISION AS RECORDED IN PLAT BOOK 273 PAGE 35, OF SAID RECORDER'S OFFICE; THENCE ALONG SAID NORTH LINE, THE FOLLOWING COURSES AND DISTANCES: NORTH 68 DEGREES 12 MINUTES 12 SECONDS WEST A DISTANCE OF 774.29 FEET, NORTH 64 DEGREES 24 MINUTES 42 SECONDS WEST A DISTANCE OF 763.27 FEET, NORTH 37 DEGREES 44 MINUTES 27 SECONDS WEST A DISTANCE OF 147.26 FEET TO THE EAST RIGHT OF WAY LINE OF OSSENFORT (40 FOOT WIDE) ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING COURSES: NORTH 05 DEGREES 09 MINUTES 18 SECONDS EAST A DISTANCE OF 157.47 FEET, NORTH 09 DEGREES 27 MINUTES 20 SECONDS EAST A DISTANCE OF 156.42 FEET, NORTH 11 DEGREES 35 MINUTES 27 SECONDS EAST A DISTANCE OF 200.44 FEET, NORTH 10 DEGREES 54 MINUTES 01 SECOND EAST A DISTANCE OF 800.40 FEET, NORTH 11 DEGREES 53 MINUTES 18 SECONDS EAST A DISTANCE OF 470.50 FEET, NORTH 52 DEGREES 19 MINUTES 26 SECONDS EAST A DISTANCE OF 574.45 FEET, NORTH 02 DEGREES 19 MINUTES 26 SECONDS EAST A DISTANCE OF 52.22 FEET TO THE SOUTHEAST LINE OF U.S. SURVEY 1956, ALSO BEING THE NORTHWEST LINE OF U.S. SURVEY 957; THENCE ALONG SAID NORTHWEST LINE, NORTH 52 DEGREES 19 MINUTES 26 SECONDS EAST A DISTANCE OF 930.96 FEET TO THE NORTHWEST CORNER, THEREOF; THENCE ALONG THE NORTHEAST LINE OF SAID U.S. SURVEY 957, SOUTH 37 DEGREES 55 MINUTES 19 SECONDS EAST, A DISTANCE OF 3984.67 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT OF LAND CONTAINING 193.190 ACRES IS BASED UPON AN ACTUAL BOUNDARY SURVEY EXECUTED BY COLE & ASSOCIATES DURING THE MONTH OF MARCH, 2002 AND IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND CONDITIONS OF RECORD, IF ANY.

Section Two: The zoning authority and approval embodied in this ordinance is granted subject to compliance with the Subdivision and Development Regulations, Zoning Code, and all other City of Wildwood ordinances, rules, and regulations, the conditions of this ordinance, and on the requirement the development and plan be carried out in part with the recommendation forwarded to the City Council by the Planning and Zoning Commission with a communication dated September 15, 2003, which is incorporated herein by reference as if fully set forth in this ordinance. The zoning authority granted herein is further subject to the following conditions for the 193.2 acre area referenced above in the legal description:

1. PERMITTED USES

This Planned Residential Development (P.R.D.) Overlay District shall authorize the maximum development of Fifty-five (55) detached single family dwellings on individual lots with common ground and all permitted accessory structures. Common ground area shall include all property not within the Planned Residential Development Overlay District boundaries, but utilized for the purposes of density calculation within the same and access to the site (a minimum of sixty-six (66) acres shall be used for this purpose and not be used for future lots). The minimum area of this Planned Residential Development Overlay District shall be one hundred ninety-three (193) acres. A re-circulating sand filter type, centralized wastewater treatment facility shall be provided to serve this site.

2. LOT SIZES, DEPTHS, AND BUILDING REQUIREMENTS

- a. Each dwelling unit shall be located on an individual lot of record, which shall not be less than one (1) acre in overall size. The minimum width of any lot within this P.R.D. Overlay District shall be one hundred fifty (150) feet in distance at the front building line, except for parcels of ground located within any cul-de-sac. These lot frontages shall be as approved on the Site Development Plan by the Planning and Zoning Commission.
b. The depth of all lots within this residential subdivision shall be a minimum two hundred (200) feet in size.
c. No building and/or structure shall be more than two (2) stories above final grade, as measured from the front building line on any individual lot at street elevation.
d. The maximum area of this 193.2 acre tract of land, which can be used for development and related land disturbance for the permitted and accessory uses, shall not exceed forty-six (46) acres in size, including the Director of Planning's five (5) percent variance.
e. The minimum amount of this 193.2 acre tract of land, which must be preserved as part of this development, shall be one hundred forty-seven point two (147.2) acres in overall size, including the Director of Planning's five (5) percent variance.
f. Lots 12, 16, 23, and 45, as shown on the Preliminary Development Plan dated July 16, 2003, shall be eliminated from this residential subdivision to create additional preserved area on the site. Modifications to the remaining lots shall be required to create locations upon them that are most suitable for disturbance, consistent with the Natural Resource Protection Standards of the City's Subdivision and Development Regulations. Lot sizes, widths, and configurations shall be as approved on the Site Development Plan by the Planning and Zoning Commission.

3. PLAN SUBMITTAL REQUIREMENTS

Within twelve (12) months of the P.R.D. Overlay District approval by the City Council, and prior to any site disturbance, the developer shall submit to the Planning and Zoning Commission for their review and approval a Site Development Plan. Where due cause is shown by the developer, this time interval may be extended once by the Planning and Zoning Commission in accord with requirements of Section 1003.187 of the City of Wildwood Zoning Code. Said Site Development Plan shall include, but not be limited to, the following information:

- a. Outboundary plat and legal description of the property.
b. A general numbered lot plan with setback lines from all streets and roadways on and adjacent to the property. A typical configuration for a lot indicating all site design information such as, but not limited to, right-of-way width, improvement dimensions and locations, setbacks, and building placement, along with a minimum and maximum size.
c. A general plan indicating setback lines along the perimeter of the subject tract of land and surrounding property lines and related improvements within four hundred (400) feet of this site's boundaries, i.e. curb cut and access locations, stormwater facilities, and utility installations.
d. Location of all roadways adjacent to the property, including required roadway, right-of-way dedication and paved/curb widening, with existing and proposed improvements and sidewalks, and general location, size, right-of-way, and pavement width of all interior drives.
e. The location and size of all freestanding signs, lighting, fences, and other above ground structures, except retaining walls less than two (2) feet in height per section.
f. Existing and proposed contours at vertical intervals of not more than two (2) feet.
g. General location of sanitary sewer and stormwater facilities.
h. Parking and density calculations.
i. Conceptual location and size of common ground areas, if provided.
j. A Landscape Plan including, but not limited to, the location, size, and general type of plant materials to be used in accord with the City of Wildwood's Chapter 410 and accompanying Tree Manual.
k. An inventory of the percent of tree canopy or individual trees to be retained on the site indicated on a Tree Preservation Plan completed in accordance with the City of Wildwood Chapter 410 Tree Preservation and Restoration Code and accompanying Tree Manual.
l. Location of all existing and proposed easements.
m. All other information not mentioned above, but required on a preliminary plat in accord with Section 1005.060 of the City of Wildwood Subdivision and Development Regulations.

4. SITE DEVELOPMENT PLAN DESIGN CRITERIA

The above Site Development Plan shall adhere to the following specific design criteria:

Building Setbacks - Residential

- a. Any building or structure, other than boundary and/or retaining walls, fences, detention facilities, and/or light standards, shall adhere to the following setbacks as specified in Section 1003.111 R-1 One Acre Residence District of the City of Wildwood's Zoning Code, except as noted below:
1. Twenty (20) feet from any roadway right-of-way, whether public or private, except a fifty (50) foot distance from Ossenfort Road, shall be required. All other front yard setback area distances shall comply with Section 1003.111 R-1 One Acre Residence District.
2. Eight (8) feet from any side yard property line of any individual lot, but a minimum of thirty (30) feet shall be maintained between buildings on adjoining lots.
3. Thirty (30) feet from any rear yard property line of any individual lot.

Parking Setbacks - Residential

- b. All parking stalls or loading spaces, excluding points of ingress or egress and streets and roads, shall comply with the requirements of Section 1003.111 R-1 One Acre Residence District of the City of Wildwood's Zoning Code.

Miscellaneous Setbacks - Right-of-Way and Other Locations

- c. No portion of any residential building foundation shall encroach within twenty-five (25) feet of the Final Resource Protection Line.

Access and Roadway Improvements

- d. Access to Ossenfort Road shall be limited to one (1) residential street approach located to provide required sight distance and flood-free access to all lots and constructed to conform to the requirements of the Department of Public Works in this regard. All work within the right-of-way shall be as directed by the Department of Public Works.
e. Dedicate the necessary land area along Ossenfort Road to provide a seventy (70) foot right-of-way and construct two (2) feet of additional pavement width along it as well, including the construction of storm drainage facilities and related shoulders, as directed by the City of Wildwood Department of Public Works. Improvement requirements to Ossenfort Road may be encroached in lieu of their construction by the developer to the City of Wildwood, if deemed appropriate by the Department of Public Works and the Department of Planning.

- f. Construct an internal private roadway system, within a forty (40) foot right-of-way easement, for vehicles and pedestrians to serve the residential lots within this development that complies with the requirements of the City of Wildwood's Rural Roadway Standards and as approved by the Director of Public Works. Street widths shall be as approved on the Site Development Plan by the Planning and Zoning Commission. Earthen swales along portions of the internal street may not be required, where stormwater volumes justify their elimination. Along with this forty (40) foot right-of-way area, provide eight (8) foot wide roadway maintenance, pedestrian, and utility easements on either side of the roadway dedication.
g. Provide a trail or sidewalk within the required fifteen (15) foot dedication along Ossenfort Road to the City of Wildwood that conforms to the City of Wildwood standards, or provide finish grading therefore and required cash escrow in lieu of said construction, as directed by the Department of Public Works.
h. No direct residential access from any individual lot within this development to Ossenfort Road shall be authorized.

Miscellaneous Roadway Requirements

- i. Installation of landscaping and ornamental entrance monument or identification signage, if proposed, shall be reviewed by the Department of Public Works for sight distance considerations and approved prior to its installation or construction.
j. If required sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including conversion to vertical alignment and other off-site improvements, may be required to provide the required sight distance as directed by the Department of Public Works.

Parking Requirements

- k. Parking spaces shall be provided as required by Section 1003.185 Off-Street Parking and Loading Requirements of the City of Wildwood Zoning Code for the R-1 One Acre Residence District. Minimally, two (2) parking spaces for each single family dwelling shall be provided.

Landscape Requirements - Specific

- l. Landscaping shall adhere to all requirements of Chapter 410 of the City's Tree Preservation and Restoration Code and its accompanying Tree Manual, including the submittal of a Tree Preservation Plan in conjunction with the Site Development Plan.
m. All streets and roads shall be appropriately landscaped as required by the Chapter 410 Tree Preservation and Restoration Code and be approved by the Planning and Zoning Commission on the Site Development Plan.
n. The areas of existing vegetation within the P.R.D. Overlay District boundaries identified as to be retained shall be marked on the site prior to the commencement of any disturbance in accord with the City of Wildwood's Chapter 410. These areas shall be indicated on the Site Development Plan submitted to the City of Wildwood for Planning and Zoning Commission review and approval. Existing mature tree canopy shall be preserved in accordance with the requirements of City of Wildwood's Chapter 410 Tree Preservation and Restoration Code. Initial clearing and grubbing of the site shall be limited to the installation of the internal roadway system.
o. Landscaping within the defined common ground areas shall comply with Chapter 410 Tree Preservation and Restoration Code requirements and accompanying Tree Manual. Those areas of common ground to be used for stormwater detention/retention shall comply with the City of Wildwood requirements in this regard. The Planning and Zoning Commission on the Site Development Plan shall approve the planting pattern.
p. A registered Landscape Architect shall prepare, submit, and sign all plan(s).

Signs

- q. Signs for this P.R.D. Overlay District shall be erected in accordance with Section 1003.155 Sign Regulations of the City of Wildwood Zoning Code for the R-1 One Acre Residence District.
r. The location of all signage shall be as approved on the Site Development Plan by the Planning and Zoning Commission. Signage not located on common ground must be erected within an easement.

Lighting Requirements

- s. The location of all lighting standards shall be as approved on the Site Development Plan. No on-site illumination source shall exceed sixteen (16) feet in height or be so situated that light is cast directly on adjoining properties. Minimally, lighting levels and their design specifications shall be approved by the Director of Planning and subject to reasonable standards, which adhere to generally accepted principles and practices of this industry, as defined by the City of Wildwood's Lighting Code Section 1003.169 of the Zoning Code.

Miscellaneous Conditions

- t. Parking, circulation, and other applicable site design features shall comply with Chapter 101, Section 512.4 Physically Handicapped and Aged of the S.L.C.R.O. 1974, as amended.
u. Hours of construction and grading activity shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday, and 8:00 a.m. to 6:00 p.m. on Saturday. No development (grading and construction) activity shall be authorized on Sundays.
v. All retaining walls exceeding two (2) feet in height, per section or crossing individual property lines shall be constructed of an appropriate interlocking concrete block system or boulders. Walls crossing property lines shall be located in a maintenance easement. The Planning and Zoning Commission, as part of the Site Development Plan review process, shall approve said materials and design.
w. The generalized location of all utility easements for proposed service to this development shall be shown on a Typical Lot Diagram as approved by the Planning and Zoning Commission on the Site Development Plan. Installation of utilities within the respective easements shall adhere to the requirements of the Natural Resource Protection Standards Analysis and, whenever practical, be placed in areas of existing or proposed disturbance relating to previous site activity, the construction of streets, or the layout of building lots.

DEER VALLEY ESTATES
ORDINANCE
Cole & Associates Inc.
Planning - CIVIL Engineering - Land Surveying
10777 Sunset Office Drive, Suite 10
St. Louis, MO 63121 (314) 984-4887 FAX: 984-0581
Checked By: GJM, Drawn By: MTG, Project Number: 01-156, Date: 8/29/02, Sheet Number: 9 OF 10
Revisions: 10/28/02, 10/31/02, 01/21/03, 08/05/03, 3/19/04 (WILWOOD COMMENTS), 3/6/05
THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE, AND DISCLAIMS PURSUANT TO SECTION 327, 411 (RMO) ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL, PERTAINING TO, OR INTENDED TO BE USED FOR, ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.
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- x. All utilities serving this site shall be installed underground in accord with the requirements of the City of Wildwood's Subdivision and Development Regulations. Any existing easements located on the subject site, which are not being utilized, shall be vacated under the standard procedures of the City of Wildwood Subdivision and Development Regulations.
 - y. A trail system shall be installed around the lake and within the common ground areas containing this water feature and the floodplain to provide access to these areas for recreational purposes. The design of the trail shall be as directed by the Departments of Public Works and Planning and approved on the Site Development Plan by the Planning and Zoning Commission. Additionally, within the area of the site west of Wild Horse Creek, but not including the access roadway, development shall be limited to the installation of trails, picnic areas, and other similar low-impact activities for the purposes of recreation only.
- Sewage Treatment Plant**
- z. A minimum four (4) foot high, sight-proof, chain link fence shall be installed around the perimeter of the area where the centralized sewage treatment facility is to be located on the site. This fence shall be constructed with a black vinyl coating, including support structures as well. Wood slatting may be incorporated in its design. The Planning and Zoning Commission shall approve the location of this fence on the Site Development Plan.
 - aa. Mechanical equipment associated with the operation of this facility shall be adequately screened and soundproofed to reduce noise associated with its operation over any given hour at the boundaries of the Planned Residential Development Overlay District.
 - bb. Mechanical systems shall be equipped with alarm systems, which will notify operators of any malfunctions or system failures and an emergency power source to provide for its operation in an event of a power failure. Minimally, the alarm shall be wired to directly notify the operator or maintenance contractor of the failure or shutdown. In the event of a system failure, operators shall meet all emergency procedures as established by the Missouri Department of Natural Resources and the City of Wildwood.
 - cc. The proposed access roadway and maneuvering area will be a maximum of twelve (12) feet in width and paved. The remaining area within the perimeter of the fence not paved shall be surfaced in an appropriate dust-proof material as determined and approved by the City of Wildwood's Department of Public Works.
 - dd. The developer shall provide a copy of a signed pump and haul agreement, whereby failure of the plant would implement a discharge shutdown. Waste would be transported to an approved Metropolitan St. Louis Sewer District facility for disposal.
 - ee. The operator shall submit monthly inspection reports to the Missouri Department of Natural Resources and the City of Wildwood indicating adherence to all applicable standards established for the maintenance and operation of these types of facilities. This report must include a lab analysis of plant discharge samples (pH, BOD, TSS, fecal coliform) obtained and analyzed by a licensed, accredited laboratory.
 - ff. Operators of this facility shall provide verification of licensing with the Missouri Department of Natural Resources in the form of an approved Operating License. Along with this licensing requirement, the developer or Homeowners Association shall provide to the City of Wildwood a bond or cash deposit in the amount of five thousand (\$5,000.00) to guarantee the upkeep of this facility per Section 510.090 of the City of Wildwood's Municipal Code. This bond or cash deposit shall be in place during the operation of the wastewater treatment facility.
 - gg. At any point in the future, the petitioner or the relevant Homeowners Association (or any entity of it), will be required to close this treatment plant when public sanitary sewer service is available to this site by the Metropolitan St. Louis Sewer District. De-commissioning of the plant shall be the responsibility of the owner/developer and completed according to Missouri Department of Natural Resources and Metropolitan St. Louis Sewer District standards.
 - hh. The Homeowners Association shall be required to employ a maintenance contractor that has offices or facilities within a fifty (50) mile radius of the subject site. Verification shall be provided in the form of the signed contract with the location of the office/facility clearly noted.
 - ii. The location of this centralized treatment facility shall not be closer to the south boundary of this Planned Residential Development Overlay District than the following: six hundred (600) feet from Ossefort Road and three hundred (300) feet from the southern boundary of the property.

5. TRAFFIC GENERATION ASSESSMENT FEE

The developer shall contribute to the West Area Traffic Generation Assessment Trust Fund established by Section 140.210 of the City of Wildwood's Revised Codes. This assessment may be paid in full at the time of the first Zoning Authorization for any building or structure, or at the time of each Zoning Authorization for the individual dwellings. This contribution shall not exceed the amount established by multiplying the ordinance required number of parking spaces by the following rate:

Type of Development Contribution	Required
Single Family Dwelling / Parking Space	\$748.99

(Parking space as defined by Section 1003.16B of the City of Wildwood Zoning Code.)

If the type of proposed development differs from that listed, rates shall be provided by the Department of Public Works.

The amount of this required contribution, if not submitted by January 1, 2004, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accord with the construction cost index, as determined by the City of Wildwood Department of Public Works.

6. VERIFICATIONS PRIOR TO APPROVAL OF THE SITE DEVELOPMENT PLAN

Prior to approval of the Site Development Plan, the developer shall provide the following:

Stormwater Improvements

- a. Submit to the Planning and Zoning Commission an engineering plan approved by the Department of Public Works showing that adequate handling of the stormwater drainage of the site is provided.
 - 1) The developer is required to provide adequate stormwater systems in accordance with the City of Wildwood standards.
 - 2) All stormwater shall be discharged at an adequate natural discharge point.
 - 3) Retention of differential runoff of stormwater shall be required. These features shall be provided in permanent retention facilities, such as ponds, dry reservoirs, or other acceptable alternatives. These retention facilities shall be completed and in operation prior to the issuance of building permits for an approved dwelling unit, except display lots.
 - 4) The developer shall provide an engineering analysis of the existing dam to determine its structural stability and any possible upgrades necessary to it. These upgrades, if required, shall be the responsibility of the developer to install.

Geotechnical Report

- b. Provide a Geotechnical Report covering development and grading required by improvements involved with this site, as directed by the Department of Public Works. Said report shall verify the adaptability of grading and improvements with soil and geologic conditions that are susceptible to rapid erosion, landslide, and/or creep. A statement of compliance with this study, signed by the Geotechnical Engineer preparing the report, shall be included on all Site Development Plans. The development and construction plans shall be designed to conform to the requirements and conditions of the Geotechnical Report. The Geotechnical Engineer shall be required to sign and seal all plans with a certification of the proposed construction will be completed in accordance with the grading and soils requirements and conditions contained in the report.

Natural Resource Protection Standard Plans

- c. Provide a revised and final copy of the Natural Resource Protection Plan indicating all areas of the site, which are to be designated as protected and not developable. This revised and final copy of this map shall be reviewed and signed by a qualified soil scientist, who completed the analysis, and a statement indicating compliance with all the requirements of Section 1005.200 of the City of Wildwood's Subdivision and Development Regulations.

Floodplain Study

- d. The developer shall provide a floodplain study to the Department of Public Works indicating compliance to the requirements of the City of Wildwood, the U.S. Army Corp. of Engineers, and the Federal Emergency Management Agency regarding disturbance or development in the floodplain. This study shall minimally provide information relating to access across the floodplain area and be reviewed and acted upon by the Department of Public Works, as part of the Site Development Plan submittal process.

7. RECORDING

Within sixty (60) days of approval of the Site Development Plan by the Planning and Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

8. VERIFICATION PRIOR TO PERMITS

Notification to Department of Planning

- a. Subsequent to approval of the Site Development Plan and prior to issuance of any grading, foundation, or building permit, all approvals from the Department of Public Works, the Missouri American Water Company, and the Missouri Department of Natural Resources must be received by the Department of Planning.
- b. Prior to issuance of foundation or building permits for any lot adjoining a common area or detention facility, written certification from a professional engineer, which verifies these areas are graded in accordance with approved plans, must be received by the Department of Public Works.

Land Subdivision

- c. Record a proper subdivision of the property and comply with all other applicable Subdivision and Development Regulations sections affecting the development of land, except as otherwise specified by this ordinance.

Indentures

- d. With the filing of the record plat establishing separate lots, the developer shall record an approved indenture, which defines the necessary assessments and specific trustee obligations in accord with the provisions of Section 1003.173 and 1003.187 of the City of Wildwood Zoning Code.

Public Potable Water

- e. The developer shall be required to provide public potable water from the Missouri American Water Company to the property, and related homesites. Since this area has been designated by the Missouri American Water Company as a Low Pressure Area, the total number of permitted lots shall be premised on addressing these service issues with its resolution achieved before approval of the Site Development Plan. Verification of this service shall be in a form acceptable to the City of Wildwood. Additionally, the design and location of this water system shall be reviewed and acted upon by the Planning and Zoning Commission as part of the Site Development Plan submittal process.

Escrow Requirements

- f. All improvement and landscaping costs shall be submitted to the City of Wildwood through the standard subdivision escrow procedures.

Traffic Generation Assessment

- g. Traffic Generation Assessment contributions shall be deposited with the City of Wildwood in the form of a cash escrow prior to the issuance of building permits. If development phasing is anticipated, the developer shall provide the Traffic Generation Assessment Contribution prior to the issuance of building permits for each phase of the development.

Roadway Improvements

- h. Based upon the preliminary development plan, improvements to the Ossefort Road right-of-way must be completed prior to issuance of the building permits in excess of fifty (50) percent of the total.

9. GENERAL DEVELOPMENT CONDITIONS

- a. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
- b. A grading permit is required prior to any grading on the site. Interim stormwater drainage control in the form of siltation control measures is required. A demolition permit is required for the removal of the existing dwelling and related structures.
- c. A copy of the most recently approved Site Development Plan for this P.R.D. Overlay District subdivision shall be prominently displayed at all times in all sales offices of this project.
- d. The petitioner shall be responsible for obtaining all necessary permits from the Department of Natural Resources Clean Water Commission as they relate to the development of this tract of land.
- e. The developer is advised that utility companies will require compensation for relocation of their utility facilities within public right-of-way. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of infrastructure improvements.
- f. If cut and fill operations occur during a season not favorable for immediate establishment of a permanent ground cover, a fast germinating annual, such as rye or sudan grasses, shall be utilized to retard erosion. This restoration must occur within thirty (30) days of the conclusion of preliminary grading as determined by the Director of Public Works.
- g. Failure to comply with any or all of the conditions of this ordinance shall be adequate cause for revocation of permits by issuing City of Wildwood Departments or Commissions.
- h. The Zoning Enforcement Officer of the City of Wildwood, Missouri, shall enforce the conditions of this ordinance in accord with Site Development Plans approved by the Planning and Zoning Commission and the Department of Planning.

- 1. Any other applicable zoning, subdivision, or other regulations or requirements of the City, whether in effect at the adoption of this ordinance or as may be hereinafter adopted, shall further apply to the development of this property as authorized by this Planned Residential Development Overlay District Ordinance, except as may be provided by law. Nothing herein shall be deemed a waiver of any subdivision, zoning, or other development regulation of the City whether by implication or reference.
- 2. This zoning approval is conditioned on compliance with the Zoning Code, Subdivision and Development Regulations, and all applicable laws of the City. Such additional regulations are supplemental to the requirements herein and no modification of any applicable regulations shall result from this Planned Residential Development Overlay District, except where this ordinance has expressly modified such regulations by reference to the applicable provision authorizing such modification.

Section Three. This ordinance shall be in full force and effect on and after its passage and approval.

This Bill was passed and approved this ___ day of _____, 2003 by the Council of the City of Wildwood, Missouri after having been read by title, or in full, two (2) times prior to passage.

Presiding Officer: The Honorable John D. Wild, Mayor

ATTEST:

City Clerk: _____ City Clerk

IN CONNECTION WITH A CHANGE OF ZONING FOR THE FOLLOWING DESCRIBED PROPERTY FROM "N-U" TO "N-U" W/PRO

(SEE LAND DESCRIPTION ON SHEET 1 OF 10)

THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN FOR AND IN CONSIDERATION OF BEING GRANTED A PERMIT TO DEVELOP SAID PROPERTY UNDER THE PROVISIONS OF SECTION 1003.112, 1003.187 OF THE CITY'S ZONING CODE AND THE N-U W/PRO, DO HEREBY AGREE, DECLARE AND COVENANT THAT FROM THE DATE OF RECORDING OF THIS PLAN THE PROPERTY SHALL BE DEVELOPED ONLY AS SHOWN HEREIN. THIS COVENANT SHALL RUN WITH THE LAND, AND SHALL BE ENFORCEABLE PURSUANT TO SECTIONS 87.870 THROUGH 87.800 R.S. MO., BY CITY OF WILDWOOD OR ITS SUCCESSOR AS A PLAN OF A DEVELOPMENT ADOPTED BY THE CITY OF WILDWOOD PLANNING AND ZONING COMMISSION TO PROMOTE ORDERLY DEVELOPMENT. THIS PLAN MAY BE AMENDED OR SUPERSEDED BY THE PLANNING COMMISSION OR MODIFIED BY THE DEPARTMENT OF PLANNING OR VOIDED BY ORDER OF THE CITY OF WILDWOOD COUNCIL, EACH AS MORE PARTICULARLY AUTHORIZED BY THE CITY OF WILDWOOD ZONING CODE NOW OR HEREAFTER IN EFFECT.

OWNER: GREGORY J. NEICHTER, MANAGING MEMBER
NEICHTER FARM L.L.C.

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

ON THIS _____ DAY OF _____, 20____, BEFORE ME PERSONALLY APPEARED GREGORY J. NEICHTER, TO ME KNOWN, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS THE MANAGING MEMBER OF NEICHTER FARM L.L.C., A LIMITED LIABILITY CORPORATION OF THE STATE OF MISSOURI, AND THAT SAID INSTRUMENT WAS SIGNED AND SEALED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS MEMBERS AND GREGORY J. NEICHTER FURTHER ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL IN THE CITY AND STATE AFORESAID THE DAY AND YEAR ABOVE WRITTEN.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

THIS PLAN WAS APPROVED BY THE CITY OF WILDWOOD'S PLANNING AND ZONING COMMISSION IN ACCORDANCE WITH THE PROVISIONS OF SECTION _____ OF THE ZONING CODE. THIS PLAN SHALL BE DEVELOPED UNDER THE CONDITIONS PRESCRIBED BY ORDINANCE _____ APPROVED BY THE CITY COUNTY COUNCIL OF THE CITY OF WILDWOOD, MISSOURI ON _____

JOE WUJNICH - DIRECTOR OF PLANNING

DATE _____

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)
CITY OF WILDWOOD)

I, LYNNE GREENE, CITY CLERK OF THE CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI, DO HEREBY CERTIFY THAT THE SITE DEVELOPMENT PLAN SUBMITTED FOR THIS RESIDENTIAL SUBDIVISION IS REQUIRED UNDER ORDINANCE _____ WHICH WAS APPROVED BY THE CITY COUNCIL ON SAID ORDINANCE OF THE SAME APPEARS ON RECORD IN MY OFFICE AS TESTIMONY WHEREOF, I HEREUNTO NOW SET MY HAND AND AFFIX THE OFFICIAL SEAL OF THE CITY OF WILDWOOD, MISSOURI, ST. LOUIS COUNTY ON THIS _____ DAY OF _____, 20____.

LYNNE BELDNER, CITY CLERK

DEER VALLEY ESTATES

ORDINANCE

Cole & Associates Inc.
Planning - Civil Engineering - Land Surveying

10771 Sunset Office Drive, Suite 10
St. Louis, MO 63127 (314) 984-9887 FAX: 984-0587

Checked By	Drawn By	Project Number	Date	Sheet Number
GSM	MTG	01-156	8/29/02	10 OF 10

Revisions: 10/28/02 10/31/02 01/21/03 08/05/03
3/19/04 (WILDWOOD COMMENTS), 3/6/6

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327, 411 RSMO) ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.

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WILDWOOD®

SITE DEVELOPMENT PLAN RECOMMENDATION REPORT

Planning and Zoning Commission

July 5, 2016 Executive Meeting

“Planning Tomorrow Today”

Project: City of Wildwood Salt Storage Facility
Petitioner: City of Wildwood City Council and Department of Planning
Location: 17955 Manchester Road; corner of Manchester Road and St. Albans Road
Zoning: NU Non-Urban Residence District
Ward: One
Nature of Request: A request for the review and approval of the Site Development Plan for the City of Wildwood Salt Storage Facility, which is proposed to be located in newly-dedicated right-of-way, south of the existing Kelpé Contracting site.

INTRODUCTION & BACKGROUND – The Department of Public Works is again working on a project to construct a new salt storage facility. The facility is planned to be located near the southeast side of the current Kelpé Contracting site. The City currently stores its salt stockpiles at this same location; however, the salt is stored on the ground and covered with a tarp. The main purpose of a facility of this nature is to fulfill a long-awaited goal of the City for the storage of salt to maintain the City’s roads and streets during inclement weather and meet current federal, State, and local regulations relating to water quality and associated runoff. This purpose is consistent with long-standing goals of the City, which are reflected in its Capital Improvements Five-Year Plan and Master Plan, both of which the Planning and Zoning Commission adopts every year or ten (10) years respectively.

The Planning and Zoning Commission considered a proposal to construct a salt storage facility in 2012, as the first project to be completed in the City’s Community Park, and approved a plan for such as well. This proposed facility was to be located near the current access point into the park, but City Council desired another location. Compounding the City Council’s concerns about placing this facility in Community Park, its associated cost led to this option not being pursued.

According to his letter dated December 18, 2015, Tom Kelpé agreed to donate a fifty (50) foot wide strip of property as right-of-way in order to allow the City to construct this salt storage facility. Mr. Kelpé has also agreed to grant a permanent access easement for the City and its contractors to access the salt storage facility. The tentative construction schedule is expected to begin in the fall of 2016, with the goal of having completed the structure for use this upcoming 2016/2017 winter.

AREA SYNOPSIS – The Kelpo Contracting property is an 8.2 acre tract of land located on the northwest corner of Manchester Road and St. Albans Road (State Highway T). The site currently zoned NU Non-Urban Residence District and has been designated such since the incorporation of the City of Wildwood. The current use of the site is a legal, non-conforming activity, as approved by the City of Wildwood’s Board of Adjustment. This use is a contractor’s storage yard for heavy equipment and materials, related offices, shop, and accessory buildings and activities. The property has a large number of heavy machines and equipment placed upon it in large, rocked storage areas, with some materials. A total of four (4) buildings are located on the site, one (1) of which is a converted residence used for office purposes. The largest structure is a newer building used by the owner of the property for a shop and repair facility. Despite the extent of use of these lots, the property does have some treed areas along its perimeter and some plantings have been added along Manchester Road and the interior of the site for screening. The City of Wildwood has stored its salt stockpiles on this property since 1998. The salt is stored directly on the ground and covered with a standard woven polyethylene tarp. In the past, keeping the salt appropriately covered at all times has proven to be a challenge.

Access to the site is from both Manchester Road and St. Albans Road, with a third frontage onto State Route 100, where the State of Missouri restricted access. The primary access point into and out of this site is from Manchester Road, where a commercially-sized curb cut has been constructed for the larger vehicles that enter and leave the property. The property has three (3) frontages onto State and City roadways. Each of these roadways has distinctive character and a summary of them is as follows:

Characteristics	Manchester Road	St. Albans Road	State Route 100
Lane width	2	2	4
Surface material	Asphalt	Asphalt	Concrete
Shoulders	Limited and rock	Limited and rock	Stabilized and asphalt
Stormwater facilities	Earthen ditches	Earthen ditches	Earthen ditches, with some piping
Street lights	No	No	No
Designation	City arterial	Local connector	Major State arterial
Traffic Volumes	Moderate	Low	High
Surrounding Land Use Pattern	Mixed, primarily residential in this area	Residential and petitioner’s site	Mixed, primarily residential in this area

The surrounding properties can be characterized as follows:

- To the East: Missouri Department of Conservation’s Rockwoods Reservation. This property is approximately 1,800 acres in size and designated as a wildlife refuge for management purposes.
- To the North: Several parcels of ground zoned NU Non-Urban Residence District. These properties are bounded by State Route 100 on the west and Manchester Road to the east and used for residential purposes. Lot sizes are three (3) acres or greater in area.
- To the South: A large parcel of ground that exists as the last lot in the wedge of properties formed by State Route 100 and Manchester Road, and is zoned NU Non-Urban Residence District.

To the West: Crossing State Route 100 is an extensive residential land use pattern that is consistent with the primary zoning district designation, which is NU Non-Urban Residence District. These lots are generally over three (3) acres in size and primarily used for residential purposes.

SITE DEVELOPMENT PLAN & FACILITY DESCRIPTION – The existing right-of-way along the southern boundary of the Kelpé Contracting site is eighty-five (85) feet in width at the western one-third (1/3) of the boundary line and decreases to thirty-five (35) feet at the eastern two-thirds (2/3) of the boundary line. The property owner has committed to donate a fifty (50) foot strip of right-of-way along the eastern two-thirds (2/3) of the southern boundary line, which will result in a continuous eighty-five (85) foot right-of-way line along the entire southern boundary of the site and allow for the placement of the salt storage facility entirely within the right-of-way. The structure will be accessed from Manchester Road by the existing gravel drive. The proposed Site Development Plan includes an asphalt driveway and approach at the south end of this existing gravel drive, providing access to the salt storage facility. Additionally, the property owner has agreed to a permanent ingress and egress easement for this existing entrance and drive aisle. Minimal grading is proposed, given the site is currently prepared in a way to store stockpiles of salt.

The proposed salt storage facility is a reinforced concrete walled structure that is 96.5 feet in width by 53 feet in size, with an overall footprint of 5,115 square feet. The proposed structure will be constructed on the footprint of the city's current salt stockpiles. The structure includes four (4) separate bays, each twenty-five (25) feet wide, and will each store 680 tons of salt. The bays will be accessed by a series of overhead garage doors on the north side of the structure.

ANALYSIS - Under the City's land use regulations, a facility of this nature must be reviewed and acted upon by the Planning and Zoning Commission, before any authorization can be granted for its future construction. Along with the approval of the Site Development Plan, the Zoning Ordinance also stipulates the design of the building must be reviewed and considered by the City's Architectural Review Board. The Board's review is to ensure the building's architecture is consistent with other structures in the area and meets the sixteen (16) general, site, and building design standards for all structures constructed within the City of Wildwood (Section 415.380 – Zoning Ordinance). The City's Architectural Review Board was presented the structure's rendering and related information at its June 9, 2016, meeting. The Board provided recommendations regarding materials and colors, with revised building elevations will be presented for review and action at its July 14, 2016, meeting.

The Planning and Zoning Commission is recommending approval of the Site Development Plan for the City's salt storage facility, given the following considerations:

1. The proposed location of the salt storage facility places it in the same location where the City has stored its salt stockpiles for nearly twenty (20) years.
2. The use of the property for this salt storage facility is consistent with the current authorized legal, non-conforming use of the Kelpé Contracting site.
3. The proposed location of the structure is within City right-of-way and a permanent ingress and egress access easements from the existing entrance on Manchester Road will be provided to guarantee perpetual use.
4. The placement of the proposed building footprint is below the grade of with Manchester Road and, to some extent, with St. Albans Road (State Highway T), which reduces its visibility from these roadways. Additionally, along State Route 100, there is an earthen berm, which eliminates visibility of the structure from that area.

5. The existing landscaping provided along Manchester Road offers a limited visual screen. An existing treeline along St. Albans Road (State Highway T) will remain, and provides a good visual screen.
6. The extent of grading and tree removal that is proposed to prepare the site for construction is minimal.
7. The salt storage structure will provide a more environmentally responsible and efficient way to store and access the City's salt stockpiles.
8. The multiple bays offer flexibility with regard to the use of the structure. When salt storage is not maximized, the Department of Public Works plans to use the empty bays for extra storage.
9. The final architectural elevations for the structure will be reviewed and acted upon by the City's Architectural Review Board, thereby ensuring an appropriately designed facility for the community.

SUMMARY AND RECOMMENDATION - The Planning and Zoning Commission has considered this project and the efforts of the Department of Public Works and believes the attached Site Development Plan for this salt storage facility is consistent with the City's Master Plan and Capital Improvements Five-Year Plan. Accordingly, the Planning and Zoning Commission, **by a vote of - to --**, at its July 5, 2016 Executive Meeting, hereby approves the Site Development Plan for the City's salt storage facility.

Agreement to Dedicate Land for the City of Wildwood Salt Dome

Mr. Ryan S. Thomas, P.E.
City Administrator
City of Wildwood
16860 Main Street
Wildwood, MO 63040

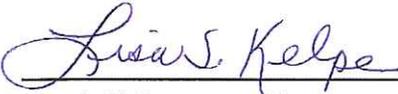
Dear Mr. Thomas,

This letter serves as confirmation of our offer for Wildwood Property, LLC (Thomas H. and Lisa S. Kelpe, members) to donate the land necessary for the construction of the salt dome. The said land to be donated is on the south line of our property located at 17955 Manchester Road adjacent to St. Albans Road in Wildwood. The new location is in the same area as the existing "temporary" bin that has been in place since approximately 1998. The agreement also includes permanent ingress and egress from the existing two entrances. The property would be an extension of the current St. Albans Road right of way to the north as necessary for construction.

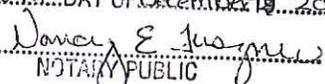
Included with this is the agreement for Kelpe Contracting, Inc. to excavate as necessary for all structure and roadway work. The structure and all other related materials and work will be paid for by the City of Wildwood. Kelpe Contracting offers and prefers to General Contract/Construction Manage the remaining work for a 3% fee to ensure protection of and interest in our property.

Wildwood Property, LLC


Thomas H. Kelpe



Lisa S. Kelpe

SUBSCRIBED AND SWORN TO BEFORE ME
THIS...15...th...DAY OF December...2015

.....
NOTARY PUBLIC



Site Development Plan

Drawing name: K:\SC16-539 Wildwood Salt Storage Facility - Kelpe Property\SITE PLAN.dwg Tab: S-1 (2) Plotted on: Jun 29, 2016 - 8:38am Plotted by: eslaggs

SITE PLAN



NEW INLET @ 762.0

NEW ASPHALT LOT

NEW BUILDING
F.F. = 763.0

MISSOURI ROUTE 'T'
(ST. ALBANS ROAD)
(ASPHALT PAVEMENT)

314-842-4033 (tel.)
314-842-5957 (fax)
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- Master Planning
- General Consulting

737 RUDDER ROAD
FENTON, MISSOURI 63028

CERTIFICATE OF AUTHORITY NUMBER - 006937

Three working days prior to the start of any excavation on this site, contractor shall be responsible for utility location information.

All OSHA rules & codes for the type of construction required by these plans shall be strictly followed (e.g. trenching, blasting, etc.)

SALT STORAGE FACILITY
KELPE PROPERTY
CITY OF WILDWOOD, MO

DATE:	REVISION:	DWN. BY:	APPD. BY:
		T.J.V.	D.A.C.
DATE: MARCH 2016			
SCALE: 1" = 20'			
PROJ. NO: SC16-539			
DWG. NO: S-1			





WILDWOOD

BY-LAWS

CITY OF WILDWOOD PLANNING AND ZONING COMMISSION

< ARTICLE I - OBJECTIVES >

The powers and duties, procedures, and polices of the Planning and Zoning Commission are as established by City of Wildwood Ordinances, as amended and supplemented, and the relevant statutes of the State of Missouri, as amended and supplemented, relating to Charter Cities.

< ARTICLE II - OFFICERS AND THEIR DUTIES >

Section 1. The officers of the Planning and Zoning Commission shall consist of a Chair, Vice-Chair, and a Secretary. Each officer shall be a member of the Planning and Zoning Commission.

Section 2. The Chair of the Commission shall have the following powers and duties:

- (a) To preside at all meetings and hearings of the Commission;
- (b) To appoint Commission members to its respective Committees;
- (c) To have general charge of the activities of the Planning and Zoning Commission and generally oversee the conduct of its affairs;
- (d) To call Special Meetings of the Commission;
- (e) To carry out other duties normally conferred by parliamentary usage on such officer; and
- (f) Engage in other activities as directed by the Planning and Zoning Commission

Section 3. The Vice-Chair of the Planning and Zoning Commission shall have the following powers and duties:

- (a) To act for the Chair in the Chair's absence;
- (b) To perform all duties normally conferred by parliamentary usage on such officer; and
- (c) Engage in other activities as directed by the Planning and Zoning Commission.

Section 4. The Secretary of the Planning and Zoning Commission shall have the following duties:

- (a) To act for the Chair and Vice-Chair in their absence;
- (b) To certify and maintain a record of each meeting and hearing of the Planning and Zoning

Commission. The Secretary may delegate this responsibility to the Director of Planning;

- (c) To attend to correspondence of the Planning and Zoning Commission. The Secretary may delegate this responsibility to the Director of Planning;
- (d) To give to each Commission Member due notice of the time and place of each Annual, Regular, or Special Meeting and each Public Hearing of the Commission. The Secretary may delegate this responsibility to the Director of Planning;
- (e) To carry out other duties normally conferred by parliamentary usage on such officer; and
- (f) To engage in other activities as directed by the Planning and Zoning Commission.

< ARTICLE III - ELECTIONS OF OFFICERS >

- Section 1. A nominating committee of not less than four (4) Commissioners shall be appointed by the serving Chair of the Planning and Zoning Commission at the second meeting in June of each year to nominate officers of the Planning and Zoning Commission for the following year. The committee shall report to the full membership at the second meeting of the Planning and Zoning Commission in July, with the election of the officers occurring no later than the second meeting of August. Nominations may also be entertained from the floor at this second [first] meeting in July. The new officers, being duly elected, shall take office at the first meeting of the Planning and Zoning Commission following its election and administer said office for one (1) year or until their successors are appointed.
- Section 2. The Chair may request nominations for two (2) or three (3) officers simultaneously or, at discretion of the Chair, require a separate nomination and vote for each officer.
- Section 3. A candidate receiving a majority vote of the Planning and Zoning Commission shall be declared elected.
- Section 4. A vacancy in office shall be filled as soon as possible in accordance with the election procedure set forth herein or by a special election as directed by the Chair of the Commission.

< ARTICLES IV - MEETINGS >

- Section 1. A Meeting of the Planning and Zoning Commission shall be held on the first and third Mondays of each month at 7:30 p.m. in the City Council Chambers, unless otherwise specified by the Chair.
- Section 2. An additional or special meeting may be called by the Chair, or at the request in writing of any three (3) or more members of the Commission.
- Section 3. A simple majority of the membership of the Commission shall constitute a quorum (six (6) members) for the transaction of Commission business. Each member of the Commission shall have one (1) vote.
- Section 4. The granting of a Conditional Use Permit, the submittal of a recommendation for approval of a

zoning amendment, or the approval of a plan/plat shall require the affirmative vote of at least six (6) members of the Planning and Zoning Commission. All other matters may be approved by a majority of the members present. Any member of the minority may request a minority report be issued.

Section 5. In the absence of the Chair, Vice-Chair, and Secretary, the member present who is senior, in terms of service on the Planning and Zoning Commission, shall preside over the meeting.

Section 6. Except as otherwise specified by these by-laws, Robert's Rule of Order shall prevail at all meetings of the Commission.

Section 7. The order of business at Meetings shall be:

- (a) Approval of minutes of previous meetings and hearings;
- (b) Public Comment;
- (c) Public Hearing;
- (d) Old Business;
- (e) New Business;
- (f) Site Plans, Building Elevations, and Signs;
- (g) Reports of officers and committees; and
- (h) Adjournment.

Section 8. The Chair of the Commission, or majority of the Planning and Zoning Commission, may alter the order of business at any meeting.

< ARTICLE V - PUBLIC HEARING >

Section 1. A Public Comment Session shall be held at the beginning of each meeting as required by City of Wildwood Ordinance 27. The Public Hearings shall be held at City Hall as specified by Article IV, Section 4 of these By-laws, unless specified by the Chair.

Section 2. The order of business at a public hearing shall be as indicated in the public notice thereof.

Section 3. The Chair of the Commission, or a majority of the Planning and Zoning Commission, may alter the order of business at the public hearing.

Section 4. The rules of procedure governing public hearing shall be:

- (a) The number of petitions will not exceed two (2) per agenda, unless related petitions are presented and heard together, at which time there may be four (4) per agenda.
- (b) The Chair of the Planning and Zoning Commission may grant an exception to the number of petitions per agenda when necessary under special conditions.
- (c) The petitioner, or representative of the petitioner, shall be granted fifteen (15) minutes per hearing to explain the petition.

- (d) Speakers in favor or opposed to a petition shall be granted five (5) minutes when representing a group or organization.
- (e) Speakers in favor or opposed to a petition shall be granted three (3) minutes when not representing a group or organization.
- (f) The Chair of the Commission may authorize an exception to the time limit allotted to the petitioner, representative, or speakers in favor/opposition, when necessary under special conditions or unusual circumstances.

Section 5. The Planning and Zoning Commission shall maintain, and make available, a copy of the 'Public Hearing Guidelines' at its meetings, where an agenda item requires public comment.

< ARTICLE VI - COMMITTEES >

Section 1. At the next meeting following the election, the Chair of the Planning and Zoning Commission shall appoint, for a term of one (1) year, members of the Commission to each of the following standing committees and shall designate a Chair of each:

- (a) Ordinance and Master Plan Review Committee: This Committee shall have primary responsibility for reviewing, advising, and directing the Department of Planning staff on ordinances affecting the planning process as it relates to specific development and land use control authorities. Additionally, this Committee shall review and update the progress of the City in implementing the objectives and policies of the Master Plan. When necessary, it shall be their responsibility to recommend changes to it to insure its relevance and timeliness. A minimum of three (3) from the Commission will serve on this committee.
- (b) Site Plan Review Committee: This Committee shall have primary responsibility for reviewing and advising the Department of Planning staff on site development plan approvals and landscaping requirements. Each member of the Planning and Zoning Commission may serve on this Committee, but a minimum of three (3) members must be in attendance for it to conduct business, with two (2) or more affirmative votes required for action on any item before it. A participant of the Architectural Review Board may be a non-voting member of the Site Plan Review Committee and assist in the review of materials under the Planning and Zoning Commission's purview.
- (c) Architectural Review Board: At least one (1) member of the Planning and Zoning Commission may represent it at the regularly scheduled meetings of the Architectural Review Board (second Thursday of each month). A call list shall be maintained, in alphabetical succession, by the Department of Planning and Parks of the Planning and Zoning Commission's citizen appointees and at least one (1) such member shall be notified of the next upcoming meeting of the Architectural Review Board.
- (d) Historic Preservation Commission: At least one (1) member of the Planning and Zoning Commission may represent it at the regularly scheduled meetings of the Historic Preservation Commission (third Wednesday of each month). A call list shall be maintained, in alphabetical succession, by the Department of Planning and Parks of the Planning and Zoning Commission's citizen appointees and at least one (1) such member shall be notified of the next upcoming meeting of the Historic

Preservation Commission.

- Section 2. The Chair of the Commission, with the approval of its members, may appoint special committees.
- Section 3. The Chair of the Commission shall fill a committee's vacancy.
- Section 4. The Chair of the Commission, with the approval of its members, may appoint a person who is not a member of the Planning and Zoning Commission or the Department of Planning staff as an advisory participant to a committee.
- Section 5. These committees shall meet at a time and place set by the Chair of the Committee.

< ARTICLE VII - DIRECTOR OF PLANNING >

- Section 1. The Director of Planning shall provide staff assistance to the Planning and Zoning Commission and shall perform those duties required by law or delegated to him or an officer thereof.
- Section 2. The Director of Planning shall appoint as necessary, a member of the Department of Planning staff to meet with, work for, and advise any delegated Committee of the Commission.
- Section 3. The Director of Planning and/or City Attorney shall provide parliamentary assistance on the conduct of business as requested by the Chair of the Commission.

< ARTICLE VIII - AMENDMENTS OF BY-LAWS >

- Section 1. These By-laws may be amended by an affirmative vote of not less than six (6) members of the Planning and Zoning Commission.

Adoption and Revision Dates:

- Original Draft - September 11, 1995
- Revised Draft - October 16, 1995 [By-Laws passed; changed months from May to June.]
- June 1996 [Terms extended by City Council; changed months from June to July.]
- August 19, 1996 [Order of business revised, subcommittees modified.]
- September 3, 1996 [Order of business revised]
- September 7, 1999 [Committee membership and Election of Officers]
- May 19, 2003 [Election of Officers and Committee Descriptions]
- July 7, 2008 [Modification to Month relating to Election of Officers]

Editor's Note: Changes shown in bolded and underlined type and deletions in brackets.