



City of Wildwood
Council Planning/Economic Development/Parks Committee
Agenda for the

Tuesday, June 21, 2016 Meeting

6:30 p.m. to 8:30 p.m.

City Hall Community Room ~ 16860 Main Street

Nine (9) Items Ready for Action at Tonight's Meeting

- I. Welcome And Roll Call By Chair Baugus
- II. Approval Of Minutes From The Meeting Of May 17, 2016

Documents: [II. DRAFT MINUTES FROM MAY 17, 2016.PDF](#)

- III. Public Comment
- IV. Planning Issues

- a. Ready For Action – Two (2) Items

- 1. And 2. Timber Harvest Permits And Explosives Code Modification (Wards - All)

- Documents: [IV.A.1. AND 2. TIMBER HARVEST PERMITS AND EXPLOSIVES CODE.PDF](#)

- V. Economic Development Issues

- a. Ready For Action – No Items
 - b. Not Ready For Action – No Items

- VI. Parks Issues

- a. Ready For Action – Seven (7) Items

- 1. Park And Stormwater Sales Tax (Wards - All)

- Documents: [VI.A.1. PARK AND STORMWATER SALES TAX.PDF](#)

2. Kohn Park Signage Design (Ward One)

Documents: [VI.A.2.PEP KOHN PARK SIGNAGE DESIGN.PDF](#)

3. Community Park - Phase 3 (Ward One)

Documents: [VI.A.3. COMMUNITY PARK - PHASE 3.PDF](#)

4. Reservation And Registration Update (Wards – All)

Documents: [VI.A.4. RESERVATION AND REGISTRATION UPDATE.PDF](#)

5. On-Going And Long-Term Maintenance Costs For Parks And Trail Facilities (Wards – All)

Documents: [VI.A.5. ON-GOING MAINTENANCE OF PARKS-TRAILS- JUNE 2016.PDF](#)

6. Update On Parks And Recreation Action Plan (Wards – All)

Documents: [VI.A.6. UPDATE ON PARKS AND RECREATION ACTION PLAN.PDF](#)

7. Executive Session - One (1) Item

Executive Session Pursuant to RSMO 610.021(2) Lease, Purchase, or Sale of Real

b. Not Ready For Action - Four (4) Items

1. Pond Athletic Association Accounting - 2015 Season (Ward - One)

2. Use Of Public Property For Bee Hives (Wards - One And Eight)

3. Woodcliff Heights Neighborhood Park (Ward - Two)

4. Fund Raising, Donations, And Volunteer Participation Activities In Community Park (Wards - All)

VII. Other/Additional Public Comment

VIII. Closing Remarks And Adjournment

If you would like to submit a comment regarding an item on this meeting agenda, please visit the [Form Center](#).

Note: The Council Planning/Economic Development/Parks Committee of the City Council will consider and act upon these matters listed above and any such others as may be presented at the meeting and determined appropriate for discussion at that time.

City of Wildwood
Council Planning/Economic Development/Parks Committee
“Planning Tomorrow Today”
Minutes from the
May 17, 2016 Meeting

The Council Planning/Economic Development/Parks Committee meeting was called to order by Chair Baugus, at 6:30 p.m., on May 17, 2016, at Wildwood City Hall, 16860 Main Street, Wildwood, Missouri.

I. Welcome and Roll Call:

The roll call was taken, with the following results:

PRESENT – (8)

Council Member DeHart
Council Member Manton
Council Member Cox
Council Member Bertolino
Council Member Alexander
Council Member Levitt
Council Member Goodson
Chair Baugus

ABSENT – (0)

Other City Officials present:

Ryan Thomas, P.E., City Administrator
Joe Vujnich, Director of Planning and Parks
Kathy Arnett, Assistant Director of Planning and Parks

II. Approval of Minutes from the Meeting of April 19, 2016:

A motion was made by Council Member Manton, seconded by Council Member DeHart, to approve the minutes of the April 19, 2016 meeting. A voice vote was taken to approve the motion. There being no objections, but with two (2) abstentions (Bertolino and Alexander), the motion was declared approved by Chair Baugus.

III. Election of Committee Chair for 2016/2017 PEP Year

A motion was made by Council Member Manton, seconded by Council Member DeHart, to nominate Council Member Baugus to continue as the Chair of the PEP Committee to the next election in April 2017. A voice vote was taken to approve the motion. There being no objections, the motion was declared approved by Chair Baugus.

IV. Public Comment (on non-Agenda and other items):

None

V. Planning Issues:

1. Acceptance of the Essen Log Cabin by the City of Wildwood from Private Donors (Wards – All)

Director of Planning and Parks Vujnich provided the Committee with an overview of the history of the Essen Log Cabin and its theft last year. The recovery of the log cabin by police has led to the storage of the logs by the City. The Essen heirs are still interested in donating the logs to the City. The Historic Preservation Commission has discussed obtaining new bids for the assembly structure and finding an appropriate location for it. This work has not been finalized and is ongoing. While the cost of reassembly and the final location of the cabin still need to be determined, the Department is looking to provide a formal document to the owners of acceptance of the donation of the logs for tax purposes.

A motion was made by Council Member Levitt, seconded by Council Member Manton, to accept the donation of logs from the Essen Log Cabin.

Discussion was then held regarding the following: the limited damage to the logs during the theft; the value of the logs, which is approximately \$50,000, but a formal assessment will be completed; the fact that a few pieces are missing; the additional logs the City has from other historic preservation demolitions, which can be used during reconstruction; the potential cost of reconstruction, which was estimated between twenty thousand dollars (\$20,000) and thirty thousand dollars (\$30,000), but this price included the disassembly, relocation, and reconstruction; the need for a new bid for just reconstruction; the desire by several Committee members to look for an area within Community Park to relocate the cabin; the need to ensure the final location is secure; the potential of utilizing community service to save in reconstruction costs; the request from another Wildwood resident, who has a disassembled cabin, interested in selling it to the City; and the belief a donation acceptance should be based upon current value.

A voice vote was taken to approve the motion. There being no objections, the motion was declared approved by Chair Baugus.

VI. Economic Development Issues:

1. Update on 5-Year Strategic Goals and Objectives – Goal #4

Director of Planning and Parks Vujnich noted the PEP Committee had requested updates on the Strategic Goals created by the City Council, but especially on Goal #4 – Develop Marketing Strategies for the City as a Regional Destination. He then outlined a new opportunity, proposed by Staff, to communicate with businesses utilizing email

distribution lists and groupings, especially for parks events and opportunities. It is anticipated that sign-up cards would be part of the annual business license renewal.

Discussion was then held among the Committee Members regarding the following: who will drive the process; examples of how social media is currently used; how the email lists would be used; establishing a welcome wagon type concept for new businesses and residents; the desire for a representative from the Wildwood Business Association (WBA) to attend PEP, Economic Development Task Force, and City Council meetings; the fact that City Administrator Thomas has been attending WBA meetings; the new WBA President has been encouraged to attend our meetings; the items in the action list on the Economic Development Guide; the email list from the West County Chamber of Commerce and the desire for a City representative to attend those events; the desire for establishing a City liaison to the Chamber, as well as the WBA; the former practice of Council members to present Proclamations when new businesses opened in Wildwood; and the thought of utilizing well attended events, like electronic recycling event, to distribute business information to attendees.

VII. Parks Issues:

1. Utility Issue within Community Park – Phase Two Project Area (Ward One)

Director of Planning and Parks Vujnich first gave an overview of the history of the City's Community Park and the current Phase 2 project. He noted that, during construction of this phase, a problem was discovered with the existence of utilities that were not identified on the property survey and appear to be outside of any easement. Department staff has a letter to send to these utility companies requesting they relocate their facilities into an easement.

A motion was made by Council Member Bertolino, seconded by Council Member Goodson, to accept the draft letter and authorize the Department to send it to the appropriate utility companies.

Discussion was then held among the Committee Members regarding the following: the title insurance that protects the City, if the easement exists; the cost of utility relocation; the potential delays to the project; the project timeline and the grant limitations; the possibility of relocating our project, but the increase in grade would cause safety issues; and the request to add a deadline within the letter for the utility companies to respond.

The motion was then amended, by the maker and second, to include a deadline in the letter for the utilities to respond and note they were already informed of this issue. It was also noted the Department should send out the letter this week and not wait for a City Council meeting to take action.

A voice vote was taken to approve the motion. There being no objections, the motion was declared approved by Chair Baugus.

Director of Planning and Parks Vujnich then noted a second utility issue in Community Park. The Water Company has accepted the City's contract modifications in regards to the relocation of the water line, with one (1) exception, the cap on the total price. The Department is requesting the Committee Members support the acceptance of the contract, without a maximum amount, since the water company cannot profit on the project and will complete the work as expeditiously as possible. A cost overrun would generally occur, if they hit rock during excavation. Otherwise, the project cost should be close to the original estimate.

Discussion was then held regarding the effects this relocation will have on the project timeframe, noting the deadline has been pushed back to September.

A motion was made by Council Member Manton, seconded by Council Member Bertolino, to accept the contract with the Water Company, without a maximum cap on the final amount. A voice vote was taken to approve the motion. There being only one (1) objection (Levitt), the motion was declared approved by Chair Baugus.

Director of Planning and Parks Vujnich then presented one (1) final item relative to the Community Park Phase 2 Project. After review of the design of the final road extension project, the Department is proposing a modification to separate the trail and road for the entire project length. This modification should have little effect on the cost of construction, but will increase the cost of the overall project by five thousand dollars (\$5000) for additional engineering.

A motion was made by Council Member Levitt, seconded by Council Member Alexander, to approve the modification to the road/trail design.

Discussion was then held among the Committee Members regarding the following: the possibility of a gate at the park entrance, when closed; the likelihood of the speed limit through the park, once full loop road is complete, being 20 miles per hour; and the potential for additional barriers between pedestrian and vehicular traffic, if necessary.

A voice vote was taken to approve the motion. There being no objections, the motion was declared approved by Chair Baugus.

2. Tree Art in Community Park – Phase One Area (Ward One)

Director of Planning and Parks Vujnich noted that a dead tree exists near the playground that would provide a unique opportunity for an art piece. In conjunction with the St. Louis Community College – Wildwood location, proposals were sought for an artistic creation of this tree. One (1) submittal was received, with the design being to carve the tree into multiple birdhouses. The Department has concerns with encouraging the nesting of birds in the playground area.

Discussion was then held regarding the following: the amount of birds already in the park; the potential for chainsaw art on the trunk; the lack of a rush on the timeframe

since the tree is dead; the potential for asking the kids who use the playground what they would want; the potential for a monumental sculpture – wood carving; the species of tree; concerns, when birds are protecting their young; and the decision to investigate other options.

The Department noted they will structure a new process and bring it back to the Committee for review in the future.

3. Addition of Permanent Restroom Facilities at Old Pond School Park (Ward One)

Director of Planning and Parks Vujnich reviewed the proposal for the addition of a permanent restroom facility at the park property at Old Pond School. This project is funded in the capital improvements budget at the price of \$120,000.

Discussion was held regarding the minimal traffic at Old Pond School Park and the concerns with the cost due to the change in tax revenue.

A motion was made by Council Member Bertolino, seconded by Council Member Levitt, to table discussion on this project until the budget discussion for Fiscal Year 2017. A voice vote was taken to approve the motion. Hearing no objections, the motion was declared approved by Chair Baugus.

4. Funding of Improvements in Belleview Farm Park (Wards – All)

Director of Planning and Parks Vujnich reviewed the history of Belleview Farm Park. He wanted to provide an update to the Committee and noted that the Department has reached out to other entities, but none are willing to provide financial support of the project. Staff will be pursuing funding through the State Historic Preservation Office.

Discussion was then held regarding the cost of the design contract.

5. On-Going and Long-Term Maintenance Costs for Parks and Trail Facilities (Wards – All)

Director of Planning and Parks Vujnich provided an overview of the maintenance expenses for parks and trails within each park over each month of 2016. A discussion was also held regarding the anomalies from 2012 expenditures, which were higher than normal, as well as those items that are difficult to predict expenses, such as flooding and snow.

Committee Member Levitt requested that at the next meeting, the Department provide income calculations on pavilion rentals and dog park registrations.

6. Update on Parks and Recreation Action Plan (Wards – All)

Director of Planning and Parks Vujnich gave a brief overview of the items in the memorandum.

VIII. Other/Additional Public Comment

OTHER –

Council Member Levitt noted the upcoming concert to be held at Wildwood Square has been advertised by Wildwood Pub and Grill, and he questioned if any other businesses were advertising.

A question was asked if the Farmers Market has restroom and wash station facilities? Director of Planning and Parks Vujnich noted that yes, both restroom and wash stations are provided and all are positioned according to St. Louis County Department of Health requirements.

No additional public comment.

IX. Closing Remarks and Adjournment

A motion was made by Council Member Manton, seconded by Council Member Alexander, to adjourn. A voice vote was taken to approve the motion, with unanimous, affirmative result, and it was declared approved by Chair Baugus at 7:58 p.m.



WILDWOOD

June 21, 2016

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members

From: Department of Planning and Parks

Re: **Timber Harvest Permits and Explosive Code Modifications**

Cc: The Honorable James R. Bowlin, Mayor
Administration/Public Works Committee Members of the City of Wildwood
Ryan S. Thomas, P.E., City Administrator
John A. Young, City Attorney
Rick Brown, P.E. and P.T.O.E., Director of Public Works
Kathy Arnett, Assistant Director of Planning and Parks
Gary Crews, Superintendent of Parks and Recreation

The Committee's agenda has had on it for the better part of the last five (5) years two (2) items under '**Not Ready for Action**' that relate to the City's Timber Management Permit process and the Explosives Code. These two (2) activities have been controversial, when authorized by the City through its permitting process. The controversy focuses on the following characteristics of these activities:

1. The timber removal process is damaging to the subject property and the loggers leave the tops and limbs in place, which is unattractive.
2. The use explosives for development purposes has been connected to foundation damage to nearby homes and creates concerns about other impacts that do not justify allowing this activity in highly-developed areas of the community.

Over the course of its discussions, the Departments of Public Work and Planning contacted other agencies and local governments to determine how each of them managed these activities and the steps employed to improve their processes, if allowed. This past information and research is provided as an attachment to this report.

These items, noted earlier, have not had any action upon them for many years and the Department is prepared to proceed forward and address them, if the Committee would like to consider them at future meetings. It is important to note that, as these past discussions reached their later stages, Committee members did develop directions in regards to both topics, which can be summarized as follows:

1. **TIMBER MANAGEMENT PERMITS** - The Department had noted during the discussion of timber harvests for land management purposes that such efforts are considered to be a legitimate manner of managing property to provide for a healthier forest and the Missouri Department of Conservation (MDC) provides guidelines for this practice. The Committee, at that time, sought more information about the harvesting of timber, as an accepted practice of land stewardship, and invited the area's urban forester from the Missouri Department of Conservation (MDC) to attend a meeting and speak upon this matter. That presentation and discussion was held, but the Committee did not take a final direction in this regard.
2. **EXPLOSIVES** - The City of Town and Country prohibits blasting within its community due to the benefits to the public's welfare. The Departments of Public Works and Planning was recommending a similar ban on blasting in support of private development, despite objections from certain contractors that provide this service. About the time of this discussion's conclusion, the recession began and interest in development began to substantially drop, which lessened the need for a resolution to this matter.

The Department is seeking direction from the Committee on these two (2) matters. The Committee can request additional investigations or decide to not pursue either, since the incidences of both have been limited in terms of requests for permits, but not altogether non-existence. Occasionally, the City does receive requests for such, but has regulations in place that are extensive to ensure that, if permits are sought for timber harvests and blasting, an appropriate process exists for each, but neither activity is prohibited at this time, which is the outcome many participating residents sought in this regard.

If any of the Committee Members have questions or comments about this information, please feel free to contact the Department of Planning and Parks at (636) 458-0440. A presentation of this information is planned on this item at tonight's meeting. Thank you for your consideration of this information and providing direction on the same.

TIMBER MANAGEMENT INFORMATION



WILDWOOD

May 17, 2011

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members
City Council of the City of Wildwood, Missouri

From: Department of Planning and Parks

Re: Timber Harvest Permits

Cc: The Honorable Timothy Woerther, Mayor
Administration/Public Works Committee Members
Daniel E. Dubruiel, City Administrator
Rob Golterman, City Attorney
Ryan S. Thomas, P.E., Director of Public Works

Several years ago, the Department received a number of complaints about a timber harvest that was underway on Shepard Road within the Christmas Valley Subdivision. The owner of the property had received all proper permits from the City and was adhering to a Timber Management Plan that had been developed by a Professional Forester following Missouri Department of Conservation requirements for this purpose. Despite the appropriate permitting and compliance to the plan, residents in the area were distressed by the loss of trees and the manner in which the loggers were treating the site, particularly in terms of tops and branches from the harvested trees. An explanation by the Department did little to offset the concerns of these callers.

To respond to these concerns, the Department placed this item on the Planning/Economic Development/Parks Committee's agenda for discussion and direction. Given that so few of these types of timber harvests occur in the City over any given year, the item was preliminarily discussed and then placed eventually as 'Not Ready for Action,' despite a desire of the members to improve the current wording associated with this activity. The issue has not been pressing, as some others, and it was not a topic of further discussion. However, as part of the Planning and Zoning Commission's discussion of the Tree City USA information, the concerns about timber harvests were identified again. The Department noted this item was already under review by the City Council Committee and it had been delayed, but it would advise them of these concerns relating to this item.

The Department would note timber harvests, the handful the City has authorized, always create concerns from surrounding property owners, since it requires a great deal of site disturbance, the loss of trees, and noise. On the other side of the issue, Professionals Foresters and the Missouri Department of Conservation have noted a well-managed timber harvest can be good for the woodlands and regenerative of it as well. These latter points are the reasons the City did not ban timber harvests, when it approved its Tree Preservation and Restoration Code back in 1996. Before making any recommendations regarding this matter, the Department of Planning would like to invite the Urban Forester for this area from the Missouri Department of Conservation to attend a Committee meeting and speak to timber harvests of this nature and respond to any questions the Committee may have in this regard. This information from a Professional Forester working for the State of Missouri, before it makes any determinations or decisions in this regard, would be

beneficial and helpful to the overall outcome. If this is agreeable to the Committee, the Department will contact Perry Eckhardt, Urban Forester with the Missouri Department of Conservation, and set a meeting date as soon as possible. Given the value residents place on trees and associated woodlands, a better balance needs to be investigated to allow for healthy regeneration of the forests, but not at the cost of years of broken landscapes.

If any of the Committee Members should have questions or comments regarding this item before tonight's meeting, please feel free to contact the Department of Planning and Parks at (636) 458-0440. A presentation is planned on this item at tonight's meeting in support of this memorandum. Thank you for your consideration of this information and input on the same.

June 21, 2011

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members
City Council of the City of Wildwood

From: Department of Planning and Parks

Re: Timber Harvesting Discussion

Cc: The Honorable Timothy Woerther, Mayor
Administration/Public Works Committee Members
Daniel E. Dubruel, City Administrator
Rob Golterman, City Attorney
Joanna Browning, Senior Planner

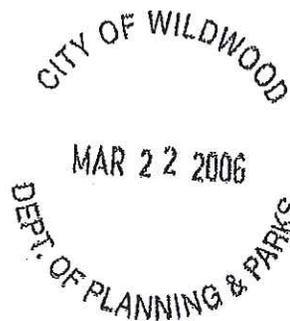
As was discussed at May's Planning/Economic Development/Parks Committee Meeting, the Department has requested representatives from the Missouri Department of Conservation (MDC) to attend its upcoming meeting to assist in the discussion regarding Timber Harvesting Permits within the City of Wildwood. To this end, in attendance at tonight's meeting will be Mark Grueber, Urban Forester, and Gus Raeker, District Forester with the Missouri Department of Conservation (MDC). In preparation for this meeting, the Department provided Mr. Grueber a list of questions the Committee identified for consideration and discussion. These questions are as follows:

1. What is the official position of the Missouri Department of Conservation (MDC) regarding Timber Harvest Permits in more urbanized areas, like Wildwood?
2. Can you explain the components of a Timber Management Plan?
3. Is it typical to leave tree tops and limbs on site after a harvest and, if so, what is the ecological benefit, if any?
4. Attached is the City's current regulations regarding Timber Harvest Permits, can you provide any suggestions/comments if the City were to revise/update these requirements?
5. Knowing the City's love of trees, are there any threats to our woodlands that you are aware of?
6. Can you describe the health of our woodlands?
7. Are there any trends relating to woodland management or protection that our City Council should be aware of?

If any of the Committee Members should have questions or comments in this regard, please feel free to contact the Department of Planning and Parks at (636) 458-0440. Again, both Mr. Gruber and Mr. Raeker will be in attendance at this meeting to discuss this item with the Committee. Thank you for your interest in this subject and participation in this upcoming discussion.

From: "The Parsleys" <m_parsley@charter.net>
To: <info@cityofwildwood.com>
Date: 3/21/2006 3:07:29 PM
Subject: tree preservation

March 21, 2006



Joe Vunich

Ryan Thomas

Dear Joe and Ryan,

In my most recent inquiry about tree preservation in the City of Wildwood as it pertains to the property of John and MaryAnn Virant, I was made aware of a code which allows individuals to sell and remove larger trees from their property. I am shocked by what I am seeing!

While the Virants have met code and followed their plan for removal, what isn't addressed is the future of the devastation of the property. The falling of the large trees causes break down of the underlying timber and undergrowth. Hence, the forested area

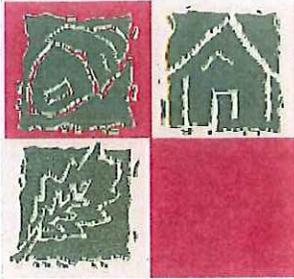
will not return to its previous condition for many years if at all. The code needs to be revised to address these situations. A domino affect will occur in Wildwood with many more people selling off their trees, thus diminishing one of the reasons for the founding of the City of Wildwood and its controlled development.

Another situation is also occurring with our tree preservation. Builders are pushing soil and rocks around the trees which kills the trees within a few months. This allows the builders to argue that the trees must be removed because they are dead. This has most recently been observed on Shepard Road in the Shepard Oaks subdivision. I do not consider myself a "tree hugger", but I do respect the environmental need for trees in this area. Storm water runoff is of utmost concern. Families have completely lost their back yards to Caulks creek because of such runoff. We cannot let up on our control of the trees and their need in our environment. This is another area which needs to be addressed in our current code enforcement on tree preservation. A review and rewriting of the code is needed immediately.

The City officials have done a wonderful job of controlling development. Let's continue to stay ahead of the problems which may arise in the near future.

Sincerely,

Charles s. Parsley



Minutes from the April 18, 2006 Meeting

Approval of Minutes

The minutes from the March 28, 2006 meeting were submitted for approval. A motion was made by Council Member Parks, seconded by Council Member Loggia, to approve the minutes from this meeting. A voice vote was taken, with a unanimous affirmative result, and the minutes were approved.

Council Planning Issues:

(Two (2) Items Ready for Action)

1. St. Louis County Boundary Commission's Requirement for a 5-Year Annexation Plan

Director of Planning Vujnich identified nine (9) items to be investigated with regard to the 5-year Annexation Plan discussed at the previous meeting. These items included: the miles of public streets to be served; the capability of police service; the condition of bridges/culverts; the relative cost in revenues/expenditures; the level of property owners' support; the extent of support by Wildwood residents; the response from the cities of Ellisville and Ballwin; the benefits derived relating to land use, planning, and zoning; and the benefits in protecting ecologically-sensitive areas, the City's boundaries, and facilitating the trail system along the Meramec River.

Director Vujnich pointed out the area of interest on the draft map proposal and noted the total miles of streets and the break-down of individual navigable routes, provided by Planner Gaston [see *attachment*]. Staff was unable to gather information from the St. Louis Police Department, but will have this information, particularly regarding the necessity for an additional beat. Street Superintendent Hummel is completing an analysis of the condition of bridges/culverts. A report on revenues/expenditures is also being prepared. Staff is in the process of polling the unincorporated area about the desire to be annexed into Wildwood, as well as assessing the current residents' support. The City Administrator has made initial contact with the Cities of Ellisville and Ballwin. All of this

Meeting Information:

- *Called to Order at 6:33 p.m.*
- *Held at City Hall
16962 Manchester Road
Wildwood, Missouri*

Attendance:

- Present*
- *Council Members:
Woerther
Loggia
Parks
Baugus
Jennings
Sickinger
Wojciechowski*
- *Other City Officials:
City Administrator Dubruiel
Director of Planning &
Parks Vujnich
Planner Gaston*
- Absent*
- *Council Members:
Kiger*

information will be compiled and presented at the next Committee meeting.

Discussion centered on the extent of annexation area; specifically, avoiding pockets of unincorporated areas between Wildwood's plan area and Ballwin's proposal and controlling access to the larger, undeveloped lots to the east of St. Paul Road. The Committee discussed focusing on natural barriers, or logical division points, such as the Meramec River, the railroad easement, and Kiefer Creek and New Ballwin Roads. The Committee agreed the higher density area along Kiefer Creek Road would be necessary to include, given the reluctance of the Sherman Area residents to the previous Five Year Map Plan that included them. The committee stressed the importance of securing boundaries to the maximum potential, given the City would not be obligated to annex the entire extent, but with the caveat that if it isn't indicated on the map plan, it cannot be considered in the future. Director Vujnich suggested the annexation area include, at a minimum, a common boundary with Castlewood State Park in an effort to contain properties under a single jurisdiction between it and Rockwoods Reservation.

Director Vujnich stated the research will be completed and a report prepared for final committee recommendation before its presentation at City Council Work Session for action and then forwarded to the Boundary Commission. The discussion ended with Chair Woerther requesting support from the Committee to delay committee reassignments by the Mayor, until this project is completed.

2. Timber Harvest Permits

Director Vujnich noted this item for discussion was prompted by a letter received by the City from Charles Parsley. Mr. Parsley's letter was in regard to a timber harvest on the Virant property located west of Shepard Road in the Christmas Valley Area. Director Vujnich explained the Virants did submit the required Timber Management Plan and a signed contract by the logger and obtained the proper permits from the Department of Public Works, as specified by City Code. Unfortunately, timber harvesting is a disruptive process and the code only provides minimum requirements with respect to vehicle storage, downed-tree staging areas, and rudimentary and temporary roads, which result in increased erosion. These requirements are addressed in Chapter 410, a copy of which was provided to all Committee members.

Director Vujnich stated current forester regulations would not even meet the existing requirements of a Zoning Authorization for building permit, not to mention the lack of tree selection and restoration policies. Planner Gaston distributed the Department of Planning's Field Inspection Guidelines for New Construction and its policy on tree removal, once occupancy has been established. Director Vujnich requested authorization from the Committee to research other municipalities' timber harvest and permit requirements, in an effort to evaluate the City's current policy and code requirements.

Discussion was held and included the following: a review of the Zoning Authorization process in determining the extent to which properties can be disturbed; an explanation of the Grading Code, Tree Preservation and Restoration Code, and the Natural Resource Protection Standards; and an outline of the differences between a project authorized by the underlying zoning district designation and a site-specific zoning, with the use of a Planned Residential Development Overlay District, was held.

A motion was made by Council Member Baugus, seconded by Council Member Wojciechowski, to pursue this investigation in an effort to provide the City with a more restrictive timber harvest process and possible modifications to the current Timber Sale Permit requirements. The motion was approved by a unanimous voice vote.

Council Economic Development Issues
(No Items Ready for Action)

Director of Planning Vujnich stated the judge granted an extension to May 17, 2006 for Well's and Company to gain compliance with the MSD sewer connection. Three French Hens is also in need of a sewer connection.

Council Parks Issues
(Two (2) Items Ready for Action)

1. Temporary Restroom Facilities

Director of Planning Vujnich noted, with the recent opening of Anniversary Park and the soon-to-be-completed Old Pond School, requests have been made to provide restroom facilities at these locations. Anniversary Park has surpassed the anticipated use, but budget constraints did not allow for restroom facilities in the original plan. Due to the park's success and lack of such facilities, users are taking advantage of the near-by Sarah's Café. Director Vujnich provided the Committee with a plan for temporary restroom facilities, with screening, until something more permanent can be installed. He provided the proposal prepared by Terraspec and noted it would be for a minimum of seven (7) months to one (1) year before permanent facilities could be provided, due to budgeting limitations at this time. These facilities would be serviced by Septic Services on a weekly basis at approximately \$90 per month, which was more cost-effective than Onyx. A written estimate for the screening and landscaping was not available; however, Director Vujnich mentioned Gaehle Construction could possibly provide a similar structure utilizing on-hand materials at a lower cost.

Discussion followed regarding the cost of a permanent facility, estimated in the tens of thousands of dollars to connect to public sewer; the cost of landscaping [Baxter Farms did Old Pond School for \$7,500.00], the potential for vandalism and cost associated with it, and the possibility of re-using the temporary materials. Director Vujnich noted the temporary facility that was used for the Early Childhood Program Egg Hunt was not located within an enclosure and intentionally left at the Al Foster Memorial Trailhead parking lot to determine its level of use. It has shown definite need and produced positive feedback from trail users; it has not been vandalized.

A motion was made by Council Member Jennings, seconded by Council Member Wojciechowski, to support the Department of Planning in its recommendation to the Council for temporary restroom facilities. The motion was approved by a unanimous voice vote.

2. Public Space Ordinance

Director Vujnich provided copies of the Public Space Ordinance, approved by the City Council on February 13, 2006, to all Committee members. Specifically, the Department

of Planning has been faced with complaints from long-time residents who own tracts of land ranging from nine (9) to fifteen (15) acres and wish to subdivide them into three (3) and five (5) lots. Director Vujnich explained the Public Space Ordinance [No. 1263] gives three (3) options: 1) dedication of land to the City [4 acres per 100 units or 1,742.4 square feet per unit], 2) a Fee-in-Lieu of dedication [which amounts to \$6,098.40 per unit], or 3) a combination thereof [dedicate a portion of the requirement as land, pay the fee for the remainder of the dedication requirement]. He also noted the credit ratios toward certain improvements, such as privately-held common ground, is up to a 50% credit and multiple-use trails is up to a 25% credit to the dedication requirement. However, the locations of these tracts of land are typically in the NU District and the land dedication will not benefit the greater populous; therefore, these property owners are forced to pay a substantial fee for a Minor Subdivision. In other instances, such as Town Center project amendments, application of the ordinance requirements could be a disincentive towards creating a better development.

Director Vujnich proposed a discussion of two (2) concerns: 1) the possibility of a waiver requirement for Minor Subdivisions in the NU District [subdivision submittals of four (4) lots or less, with a minimum of three (3) acres/lot]; 2) a provision to exempt petitioners that already had a zoning ordinance in place prior to the approval of Ordinance #1263 from the Public Space Ordinance requirements. Discussion ensued regarding situations where a variance or waiver procedure was sought for Minor Subdivision developments in the NU District; provisions to allow amendments without public space dedication, unless it significantly increases use, such as Koman Properties, Inc.; and a specified level of qualification, when regulation compliance is warranted.

A motion was made by Council Member Wojciechowski, seconded by Council Member Baugus, to allow the Department of Planning to investigate options in the application of public space for the NU District and providing research in terms of a trigger mechanism and/or timeframe for its application to existing developments that may be in need of an amendment, provided the information is brought to Committee for further consideration. The motion was approved by a unanimous voice vote.

Other

Director of Planning Vujnich notified members the final Master Plan update is in their mailboxes. Council Member Wojciechowski noted the City's award for its newly-revised Master Plan. He also mentioned an article in the St. Louis Section APA Newsletter regarding minimum parking standards and reducing the required amount, based upon the interaction of land uses.

Closing Remarks and Adjournment

A motion was made by Council Member Baugus, seconded by Council Member Jennings, to adjourn. There being no objections, the meeting was adjourned at 8:36 p.m.

TREE MANUAL

City of Wildwood, Missouri
January 1996

STANDARDS AND SPECIFICATIONS
FOR TREE PRESERVATION
AND LANDSCAPING

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INTRODUCTION

The purpose of this manual is to provide a detailed but flexible guide to tree preservation and landscaping requirements in Wildwood. It is designed to assist developers in creating future development that not only preserves the City's existing trees, but includes new landscapes that will adequately offset the negative impacts of urbanization.

This manual is to be used in conjunction with the Tree Preservation Code, the Grading Code, and other development regulations by civil engineers, landscape architects, landscape contractors, urban foresters, natural resource specialists and planners during preparation of plans required to be submitted as part of the City of Wildwood's grading ordinance and tree ordinance. The process outlining plan preparation and submittal is shown as a flow chart on page 7. It can be used by developers and their contractors in estimating costs associated with proposed development as well as during the actual construction of a development. It is hoped the manual will also be used as a guide to plan thoughtful developments that seek to use the existing natural features on a site without unnecessary damage. The Director of Planning may waive or modify specific guidelines or standards where the objective and requirements of the Tree Preservation Code may otherwise be fulfilled.

Any questions relating to this manual should be forwarded to the City of Wildwood Director of Planning at (314) 458-0440.

DEFINITIONS

Access Street	A street for local traffic only, located completely within a subdivision, and generally taking subdivision traffic only.
Arterial Street	A major roadway listed as listed by the City of Wildwood.
Bufferyard	A unit of land, together with a specified type and amount of planting thereon, and any structure which may be required between land uses to eliminate or minimize conflicts between them.
Collector Street	A street not located within a single subdivision, connecting local residential areas with major streets or with commercial areas, excluding arterial streets and access streets.
DBH	See Caliper.
Director	The Director of Planning for the City of Wildwood, or the Director's designee.
Forester	A person with a degree in forestry from a university accredited by the Society of American Foresters and at least five years of experience in the field.
Limit of Disturbance	A line as shown on the site plan and Tree Preservation Plan that identifies the limit of construction activity of any kind.
Owner	The person, persons, or entity having legal title to, beneficial interest in, or a contractual right to purchase a property.
Public Tree	Any tree located on city owned or controlled property including parks, street right-of-ways, parkways, etc.
Grand Tree Stands	A contiguous grouping of grand trees which has been determined to be of exceptional value. Determination is based on the following criteria: A relatively mature even aged stand, a stand with a purity of species composition or of a rare or unusual nature, a stand of historical significance, a stand with exceptional aesthetic quality.
Street Tree	A tree that is currently located or proposed for planting along streets and highways. The tree can be located on private property or on publicly held land. Street trees are typically planted in a linear fashion and provide spatial enclosure as well as other technical and aesthetic benefits.

All other definitions shall derive from the Tree Preservation Code or other ordinances of the City of Wildwood as they may apply to the Manual.

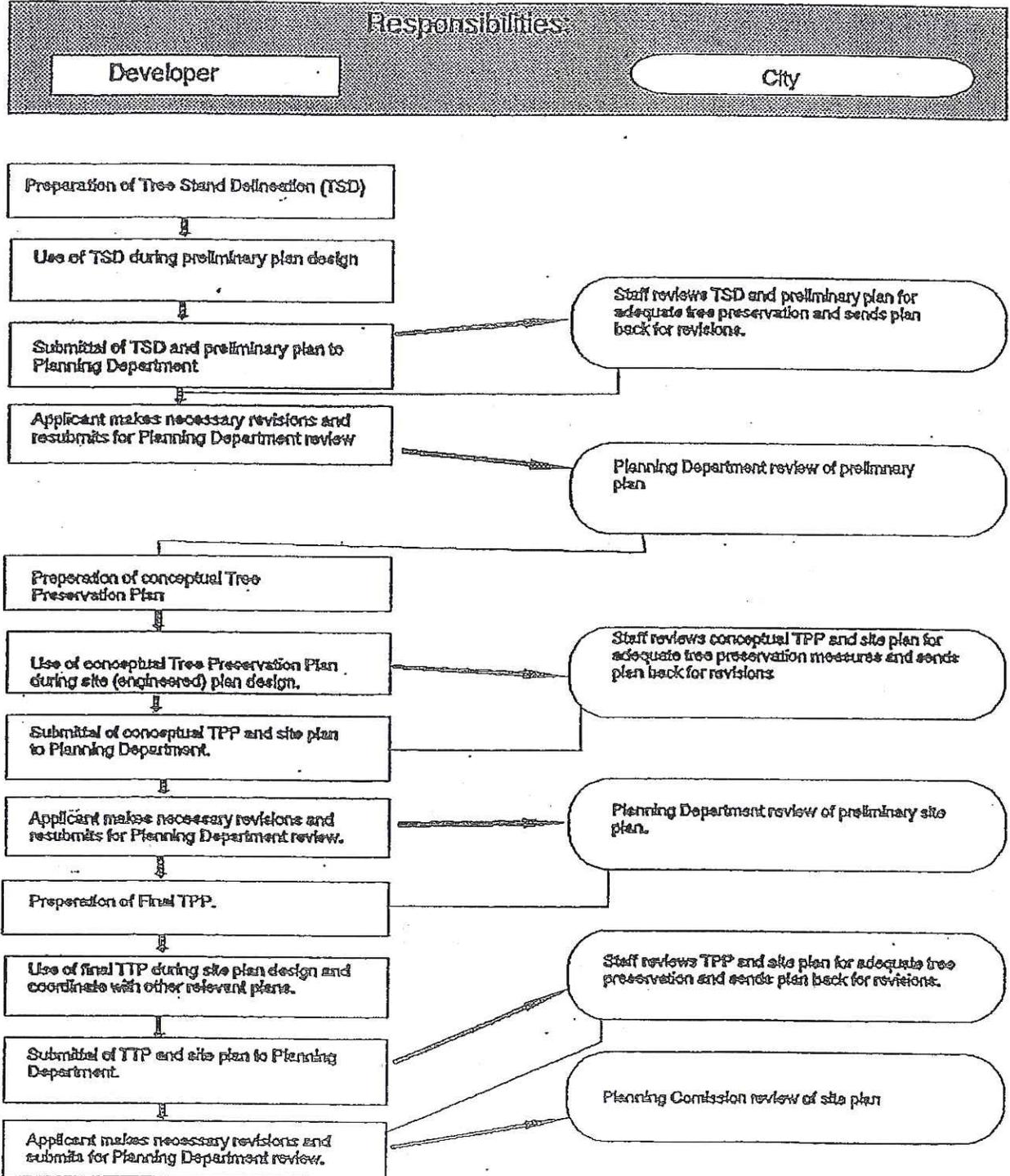
TREE CANOPY REQUIREMENTS

This section of the Tree Manual combines some of the language found in the grading and Tree Preservation Code of the City of Wildwood and refers to the amount and type of disturbance that can take place on a site.

- 1) The preservation of existing trees must be shown on a Tree Preservation Plan. (See Page 13.) Except for development of a single-family residence upon a single lot or parcel, all applications for site plan or subdivision plan or building permit approval shall also contain a Tree Stand Delineation. (See Page 7.)
- 2) The Director may, when authorized, condition a land disturbance permit upon the restoration or relocation of trees or vegetation on the site in an amount or quality sufficient to offset or ameliorate the variance. The Director may also require replanting when provisions of this ordinance are violated and trees, vegetation, and/or topsoil are removed. The restoration will be equal in value to the value of the trees and vegetation illegally removed. The value of trees removed will be determined based on the International Society of Arboriculture's tree valuation formula.
 - a) Spacing of replacement trees will be compatible with spatial limitations, and with responsible considerations toward potential species size.
 - b) When restoration or relocation of trees or vegetation is required, Landscaping Plans must be submitted to the Director in conjunction with a proposed development or redevelopment (see Landscape Applications section). Plans will document and map locations, species (common and botanical names), and sizes of all trees to be planted and retained.
 - c) Restoration plantings must contain species native to the City of Wildwood. Introduced species and exotics are not permitted. Acceptable native species can be found on the enclosed list of "Native Trees of Wildwood". Native species other than those found on the list are acceptable at the discretion of the Director of Planning.
 - d) Street trees, bufferyards, and parking lot plantings may be required and can be used to fulfill tree canopy requirements for a given development proposal. Native species are encouraged for these types of plantings, however any species found on the enclosed "General List of Acceptable Species" can be used.

TREE PRESERVATION AS PART OF THE SITE PLAN REVIEW PROCESS

THE FIRST FOUR STEPS ARE NOT PART OF PLANNED DISTRICT, CONDITIONAL USE PERMIT, OR OTHER REZONING PROCEDURE. THEY ARE NORMALLY COMPLETED AS PART OF SPECIAL PROCEDURE PROCESSES.



CONSTRUCTION STANDARDS FOR FIELD PRACTICE

The following practices may be required by the Director to insure survival of trees to be protected. All measures to be employed shall be shown on the Tree Protection Plan submitted to the Director for review.

- 1) **Pre-Construction Meeting.** An on-site meeting shall be held with the developer, City of Wildwood Director of Planning or his designee, the general contractor, and heavy equipment operators detailing the tree protection plan for the site. At this meeting, the Limits of Disturbance shall be clearly and visibly marked.
- 2) **Protective Methods (Fencing).** One or both of the following methods shall be used which will effectively protect the roots, trunk and top of the trees and other vegetation to be retained on the site. Personnel working in the vicinity of the area to be protected must be instructed to honor the protective devices.
 - A) **Active Protective Fencing** should be installed along the outer edge and completely surrounding the critical root zones of all trees to be protected. These fences should be a minimum of four feet (4') high, constructed in post and rail configuration. Four foot polyethylene laminar safety fencing is also acceptable.
 - B) **Passive Fencing** for tree protection may be utilized to delineate tree save areas which are less subject to encroachment by contractors. These can be comprised of plastic flagging supported by small posts. Regular inspections should be made to insure that flagging has not torn or collapsed. Repair of broken flagging should occur before crews work in the area.
- 3) **Signs** shall be used to designate tree protection areas. Signs are to be posted visibly on all sides of the fenced area. These signs are intended to inform contractors and subcontractors of the tree protection process. Minimum size for the signs is 11" x 15". Verbage should include, at a minimum, the following, "*TREE PROTECTION AREA - Machinery Access, Dumping, or Storage of Materials Prohibited*". Type size should be no smaller than 48 pt. Signs requesting subcontractor cooperation and compliance with tree protection standards are recommended for site entrances. No signs shall be attached to any tree.
- 4) **Root Pruning** shall occur when roots within the critical root zone of a tree to be protected will be damaged by nearby excavation or by adding fill over the root system. Root pruning allows roots to be cut cleanly and cover wounds quickly. Tearing roots with a backhoe or other mechanized equipment leads to root rot that can kill a tree or render it hazardous. Root pruning can be performed with "ditch-witch" type equipment or stump removers that cuts roots cleanly. Hand cutting of roots with pruning saws is also an appropriate method of root pruning. Backfilling of root pruning trenches must be performed as soon as possible to avoid drying out of exposed roots. Supplemental watering keeps exposed root ends healthy until backfilling occurs.

CONSTRUCTION STANDARDS FOR FIELD PRACTICE (continued)

- 5) Tunneling is required when utilities are to be run through a tree's critical root zone. No trenching is permitted for any reason within the critical root zone area.

Standards for tunneling are as follows:

-
- A) Tunneling shall be no less than 24" from the surface.
- B) For trees less than six inches (6") DBH, trenches should approach no closer than the drip line of the tree. Tunneling shall occur under the tree's dripline.
- C) For tree's over six inches (6") DBH:

<u>TREE DIAMETER (DBH)</u>	<u>TUNNEL DISTANCE FROM TREE ON BOTH SIDES</u>
6 - 9"	5'
10 - 14"	10'
15 - 19"	12'

It is recommended that reference be made to the publication "Trenching and Tunneling Near Trees" published by the National Arbor Day Foundation (100 Arbor Avenue, Nebraska City, NE 68410).

- 6) Aeration systems are required if moderate amounts of fill are placed over a tree's critical root zone. An aeration system provides critical oxygen to tree roots that will have non-porous materials placed over the roots. Perforated pipes can be either four inch (4") diameter drain pipe or 1 1/2" Schedule 40 PVC. Rock fill placed over the perforated pipe must be non-limestone based material larger than pea gravel size. "Meremac gravel" is appropriate. The pipe layout should be a bicycle spoke pattern or grid pattern with pipes placed no further than four feet (4') apart. Surface outlets can be perforated caps. Aeration systems are sometimes used in conjunction with retaining walls when fill is placed near protected trees.
- 7) Sediment and Erosion Control Structures must be used to keep eroded soil from covering roots of protected trees. Siltation screens, etc. are appropriate.

TREE STAND DELINEATION.

The purpose of a Tree Stand Delineation (TSD) is to provide a general accounting of existing vegetation so that conceptual design of proposed development can be done using the delineation as one of the determining factors in how the development is planned. The delineation should be used as a base plan for the conceptual site development plan.

There are various methods for preparing tree stand delineations. Alternate methods from those outlined in this manual may be acceptable to the Director following a review of the methodology, which must be prepared in detail and submitted by the applicant.

Preparing a Tree Stand Delineation

Two processes for preparing a tree stand delineation will be outlined in this manual. The type of process depends upon the total acreage of wooded area on the subject site.

For sites with greater than 5 acres of wooded area, PROCESS 1 (Aerial Photography/BAF Study), as outlined in this manual, must be used.

For sites with less than 5 acres of wooded area, PROCESS 2 (Ocular Estimate), as outlined in this manual, must be used.

Process 1: Aerial Photography - BAF-10 Study

The purpose of this process is to delineate tree stands on the wooded areas of a subject site based on species, composition, density, size, condition and age, including acreage of each stand type. The information is to be used to isolate stands of high quality, groves and individual grand trees to be considered for preservation when developing a conceptual site development plan.

STEPS

- 1) Study Aerial Photographs to determine general forest conditions and to make a preliminary determination of vegetation types which are to be verified in the field during step 2.
- 2) Site Visit/Determining Tree Structure - Point sampling is to be used in order to determine the distribution of tree diameter classes in each vegetation type. The BAF-10 (or Basal Area Factor 10) method is a standard among foresters and applied easily to develop a profile of the tree stands found on a site. One sample plot for each five acres of forest type shall be established. In addition to establishing sample plots for an overall profile of the tree stands found on a site, individual grand trees are to be field located and mapped as accurately as possible without the use of surveying equipment.
- 3) Map tree stands and grand trees at a scale equal to that of the conceptual site development plan, which must not be greater than 1"=100' for sites up to 100 acres. 1"=200' is permitted for sites over 100 acres.

Preparing a Tree Stand Delineation

Process 1: Aerial Photography - BAF-10 Study (continued)

3)(continued) Maps shall meet the following checklist:

- a) vicinity map locating the subject site;
- b) north arrow and scale;
- c) existing contours at no greater than 5 foot intervals;
- d) limits of all wetlands and the location of the 100 year floodplain and required setbacks (estimated from FEMA, national inventory maps and field observations);
- e) locations of existing structures;
- f) locations of BAF-10 sampling points, 1 for each 5 acres of forest type;
- g) locations of grand trees along with identification numbers (locations of grand trees within areas to be protected is optional);
- h) limits of all existing tree stands;
- i) locations of all existing roads;
- j) locations of any significant, state-listed champion or rare trees or plants.

4) Prepare a written report describing each tree stand shown on the map. The following items must be shown in tabular form and attached to the narrative description:

- a) acreage of stand;
- b) forest type;
- c) dominant and co-dominant species;
- d) density expressed in trees per acre;
- e) average diameter;
- f) average overstory DBH;
- g) frequency of occurrence for dominant species reflected as a percentage of the total number of trees in the stand);
- h) list of understory species including groundcovers and herbaceous plants (by order of dominance at the time of the field investigation);
- I) apparent health problems of any tree stand or grand tree;
- j) aerial photographs (will be returned to applicant following review).

Process 2: Ocular Estimate (for sites with less than 5 acres of woodland)

The purpose of this method of preparing a tree stand delineation is to delineate specific trees in a wooded area of a site, and list the size, species, condition, age as well as the structure of the roots and canopy for each tree. The information is to be used to isolate individual trees of high quality for protection when developing a conceptual site development plan.

STEPS

- 1) **Site Visit/Mapping** - Every tree over 12" DBH is field located, as accurately as possible, on a map of existing topography along with identification numbers for each tree. Aerial photographs can be used to help locate individual trees. Trees that are not worthy of consideration for preservation, because of poor overall rating, need not be shown individually, but should be generally located and identified as a stand or as a note on the map. The map must meet the following checklist:
 - a) vicinity map locating the subject site;
 - b) north arrow and scale;
 - c) existing contours at no greater than 5 foot intervals;
 - d) limits of all wetlands and the location of the 100 year floodplain and required setbacks (estimated from FEMA, national inventory maps and field observations);
 - e) locations of existing structures;
 - f) locations of all existing roads;
 - g) locations of any significant, state-listed champion or rare trees or plants.

- 2) **Rating Chart** - Each tree identified above is rated for each factor listed below in order to determine which trees should or should not be saved. The International Society of Arboriculture's landscape evaluation methodology can be used. A copy of this manual can be obtained from ISA (PO Box GG, Savoy, IL 61874-9902; Phone (217) 355-9411.)
 - a) **Species** - Based on ability to survive normal construction impacts and its ability to live in a changed environment (silvicultural aspects of the species.)

POOR, FAIR, EXCELLENT

 - b) **DBH** - based on the assumption that generally, the larger the tree, the more valuable.

12 - 18" FAIR
19 - 26" GOOD
>26" EXCELLENT

Process 2: Ocular Estimate

2) Rating Chart (continued)

- c) *Health* - Based on the overall health of the tree at the time of the survey (disease, infestation, and decay)

POOR, FAIR, EXCELLENT

- d) *Structure of the Canopy* - Based on the wholeness of the shape, the ability to selectively prune and ability to regenerate growth (response to release).

POOR, FAIR, EXCELLENT

- e) *Structure of the Root System* - Based on any previous damage to the root system or the type of root system as it relates to normal construction impact.

POOR, FAIR, EXCELLENT

- f) *Other aspects* that may have a positive or negative impact on the preservation of a tree i.e. wind firmness, degree of lean, degree of potential hazard, secondary symptoms, etc.

Guidelines for Using a Tree Stand Delineation

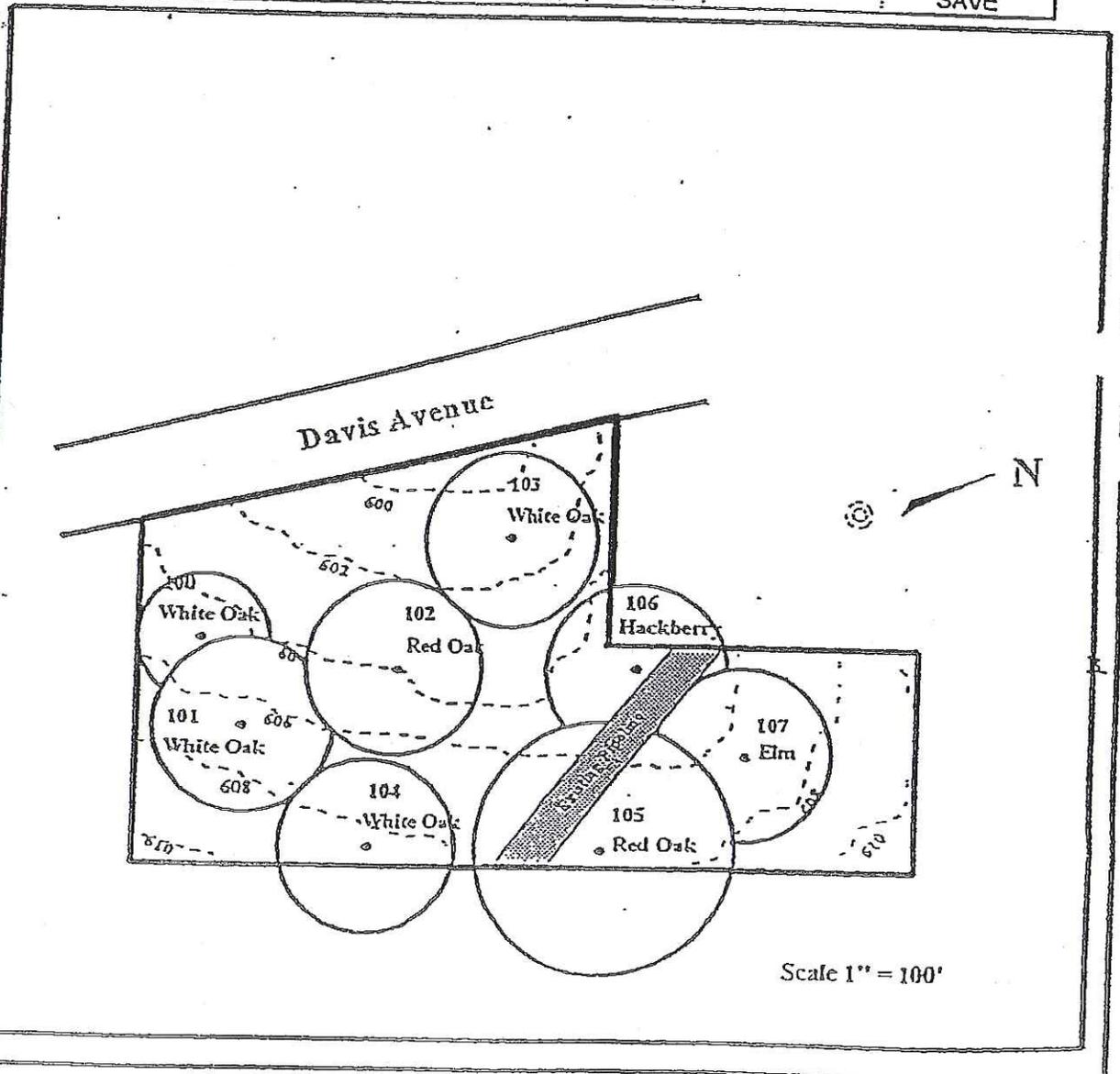
As mentioned in the previous section, the Tree Stand Delineation is to be used DURING the early conceptual design process for a proposed development. The process for using a TSD when developing a concept plan will be more complicated with larger sites that have large amounts of wooded area than with smaller sites that may have only a few trees.

- 1) Identify tree stands or grand trees that are most worthy for preservation.
- 2) Identify areas on the site that have the most potential for disturbance.
- 3) Identify and apply all zoning requirements such as setbacks, parking spaces, tree canopy coverage, roads, etc. and seek optional waivers and/or variances in order to save valuable trees.
- 4) Locate roads, building footprints, parking lots, stormwater structures and utilities so as to minimize their impact on trees worthy of preservation.

SAMPLE TREE STAND DELINEATION MAP
 OCULAR ESTIMATE METHOD

RATING CHART

ID#	SPECIES	DBH	HEALTH	CANOPY	ROOTS	OTHER	COMMENTS
100	White Oak	14	FAIR	GOOD	FAIR		SAVE
101	White Oak	22	FAIR	GOOD	FAIR	TOP BRKN	REMOVE
102	Red Oak	24	GOOD	GOOD	GOOD		SAVE
103	White Oak	22	EXCEL	GOOD	EXCEL		SAVE
104	White Oak	20	EXCEL	EXCEL	GOOD		SAVE
105	Red Oak	30	EXCEL	EXCEL	GOOD	UNDGND PIPE	SAVE
106	Hackberry	22	FAIR	POOR	FAIR	UNDGND PIPE	REMOVE
107	Elm	20	GOOD	FAIR	GOOD		SAVE



TREE PRESERVATION PLANS

A Tree Preservation Plan (TPP) is "a site plan prepared by an approved professional that delineates tree save areas and details measures to be taken to ensure protection and survivability of trees to be saved, prior to and during construction, and also complies with guidelines which are listed in the Wildwood Tree Manual". The purpose of such a plan is stated simply as "to ensure survivability of trees to be saved." Without successful implementation of such a plan, trees that are proposed for preservation will undoubtedly be damaged along with increased mortality during construction activity.

Conceptual Tree Preservation Plan Checklist:

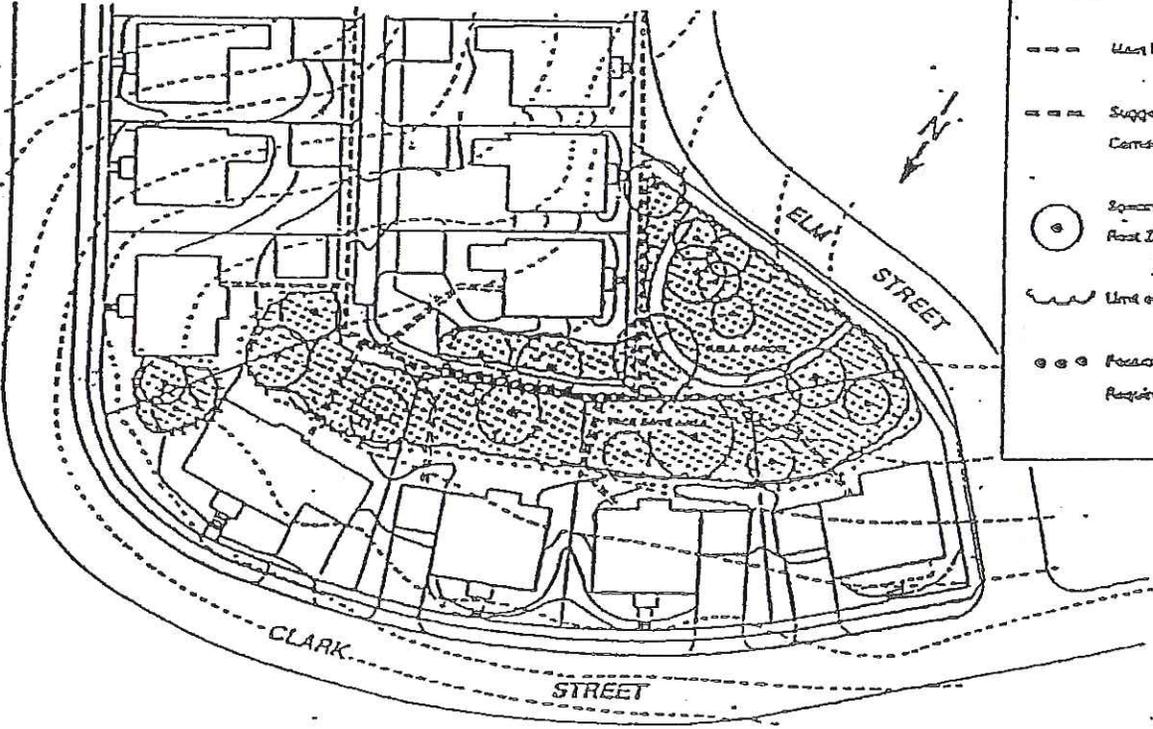
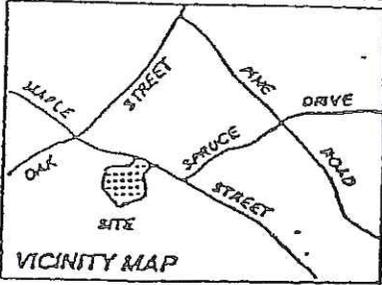
- 1) The limit of disturbance line;
- 2) Plan must be at the same scale as the site development plan or grading plan;
- 3) Table stating the zoning, total site area, square footage and percentage of canopy coverage required and provided;
- 4) Standard general notes and application specific notes;
- 5) Existing contours and proposed contours;
- 6) Locations of all improvements as shown on the site development plan;
- 7) General or conceptual locations of all sediment control devices and structures;
- 8) Locations of proposed utility corridors;
- 9) Clear graphic indication of the tree preservation areas on the plan including the location, type and size of any grand trees as shown on the Tree Stand Delineation and the critical root zone for those trees within fifty feet (50') of the limit of disturbance line.

NOTE: *The site plan can be used as a base plan, and the TPP can be combined with the site plan and/or landscape plan for sites with less than five (5) acres of woodland area.*

SAMPLE CONCEPTUAL TRP

GENERAL NOTES:

Zone:	MXD
Site Area:	1.7849 acres/77,754 sq. ft.
Wooded Area:	same as above
Tree Canopy Required:	30%
Tree Canopy Saved:	17.8% or 13,875 sq. ft.
Tree Canopy Planted:	27.9% or 21,764 sq. ft.
Tree Canopy Provided:	45.8% or 35,639 sq. ft.
Proposed Units:	16 Single Family Detached Units



LEGEND:

- Main Utility Line
- - - Suggested Utility Corridors
- Squamish/Critical Root Zone
- ~ ~ ~ ~ ~ Limit of Disturbance
- ● ● Possible Root Pruning Required

Scale: 1" = 10'

Final Tree Preservation Plan Checklist:

- 1) Include items 1 through 7 required for the conceptual TPP listed above;
- 2) Clear graphic indication of the tree preservation areas on the plan, including the location type and size of any grand trees.
- 3) All of the grand trees must be located using surveying equipment to verify the locations shown on the TSD;
- 4) Critical root zones for all trees to be saved greater than twelve inches (12") DBH and within fifty feet (50') of the limit of disturbance line;
- 5) Root pruning lines for all critical root zones that are encroached upon by the limit of disturbance line;
- 6) Protective devices with details (aeration systems, retaining walls, etc.);
- 7) Reforestation area as required;
- 8) Early maintenance schedule (ie pruning, injection fertilizing, etc.);
- 9) Locations of all utilities and special utility installation procedures;
- 10) Locations of tree preservation signage, construction parking areas, concrete washout areas, and material storage areas;
- 11) Special paving areas with details;
- 12) The following tree protection notes:
 - a) Pre-construction meeting, held on-site to include a presentation of tree protection measures to operators, construction supervisors, developer's representative, and city zoning inspectors;
 - b) Clearing limits shall be rough staked by developer in order to facilitate location for trenching and fencing installation;
 - c) No clearing or grading shall begin in areas where tree treatment and preservation measures have not been completed;
 - d) The sequence of tree treatment and preservation measures shall be:
 - 1) Root pruning trenching;
 - 2) tree protection fencing;
 - 3) Tree pruning and chemical treatment;
 - 4) Aeration systems installed;
 - 5) Sign installation.

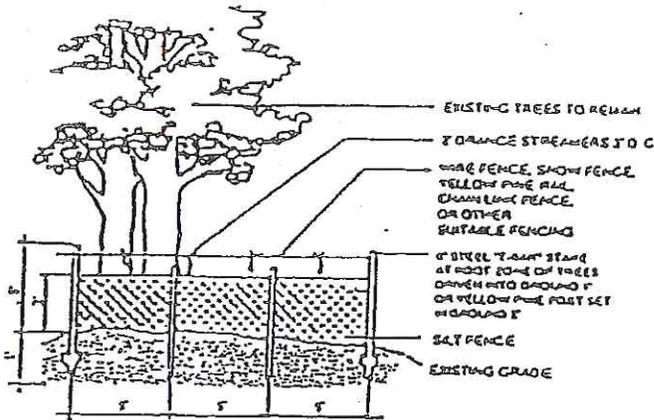
- e) A tree protection action key listing each tree to be preserved and the protective measures it will receive.

Requirements During Grading and Construction

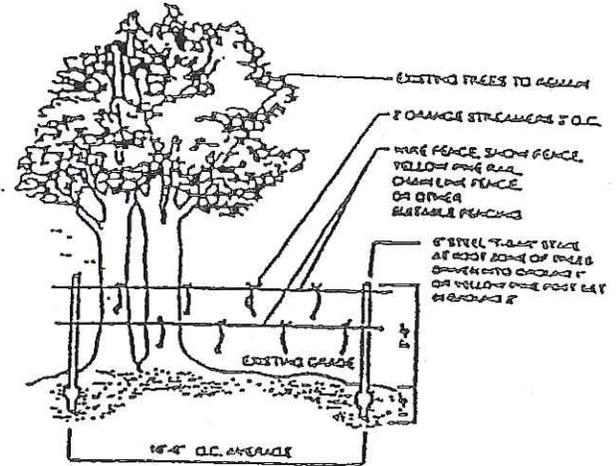
- 1) Above measures shall be directed in the field by the project forester;
- 2) Tree protection fencing shall be maintained and repaired by the developer or contractor for the duration construction and once approved by the city zoning inspector must not be altered without prior approval by the city zoning inspector;
- 3) Access to fenced areas by equipment, materials, or individuals that may cause harm to protected trees will only be permitted with the prior approval of the city zoning inspector;
- 4) Designated aeration zones shall be protected with temporary fencing until final grading;
- 5) Trees, shrubs, or undergrowth shall be removed from protected areas only when necessary and shall be performed with hand tools only;
- 6) Attachment of signage, fencing, etc. to any tree to be saved is prohibited;
- 7) After construction, all temporary barriers, fencing, debris, etc. shall be removed from the site by the contractor.

SAMPLE

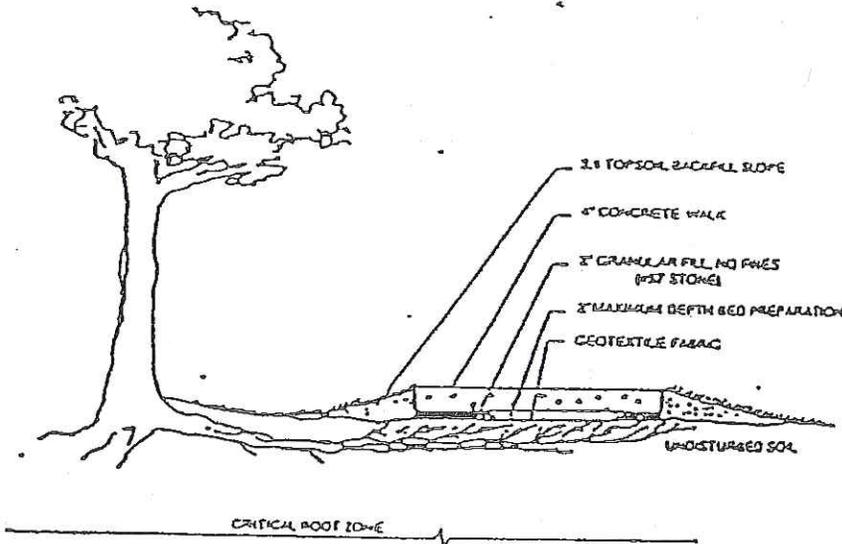
TREE PRESERVATION PLAN
DETAILS



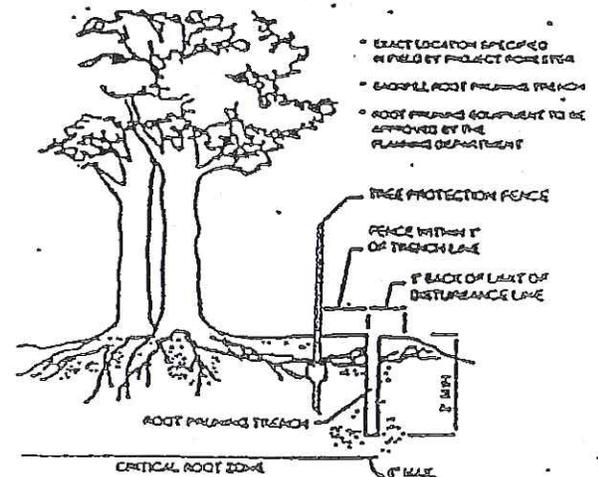
COMBINED SILT AND TREE
PROTECTION FENCE



CONSTRUCTION FENCE
FOR TREE PROTECTION



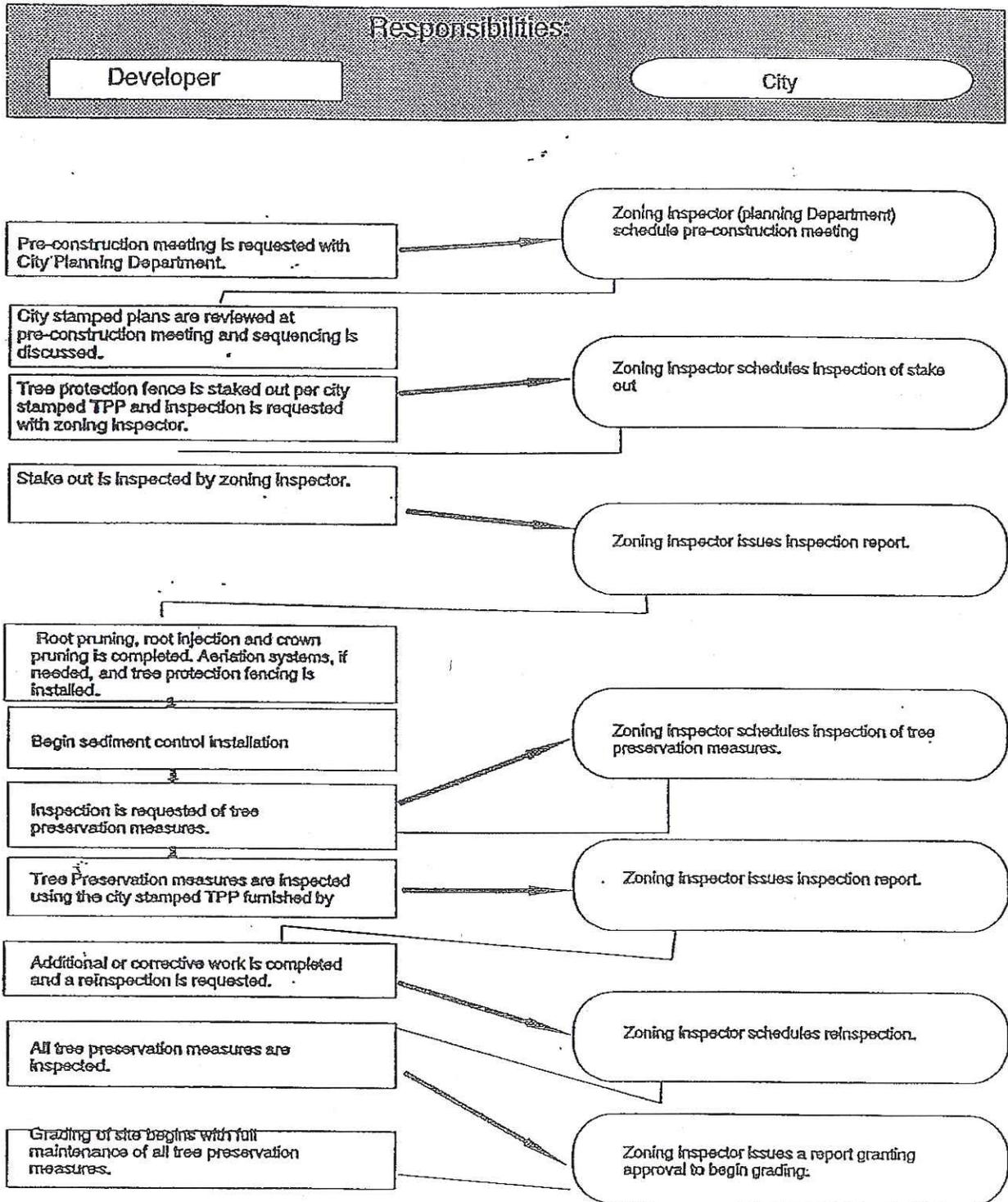
CONCRETE WALK OVER
CRITICAL ROOT ZONE



ROOT PRUNING

Source: Stava Clark & Associates

TREE PRESERVATION INSPECTION PROCESS



LANDSCAPE PLANS

It is the purpose of this portion of the manual to provide guidelines for the development of landscape plans that are required to be submitted to the City for approval. A Conceptual Landscape Plan is required with the preliminary site plan review. A Final Landscape Plan is required with the final site plan review.

Checklist for Conceptual Landscape Plans

- 1) Conceptual site plan is to be used as a base plan;
- 2) Clear graphic representation of the location of each proposed plant as well as existing trees that are shown to be saved on the Tree Preservation Plan;
- 3) Plant Key - establishes a symbol for each general category of proposed plant, ie Large Shade Tree, Medium Shade Tree, Small Flowering Tree, Small Evergreen Tree, Large Evergreen Tree, Shrub Mass, Annual Bed, Ground Cover;
- 4) Ultimate Canopy Sizes - for proposed trees shall be: 1,000 square feet for large shade trees, 700 square feet for medium shade trees and large evergreen trees, and 300 square feet for for small flowering trees and small evergreen trees;
- 5) Data Table - that lists the required and provided canopy coverage and green space that is provided by existing and proposed trees.

Checklist for Final Landscape Plans

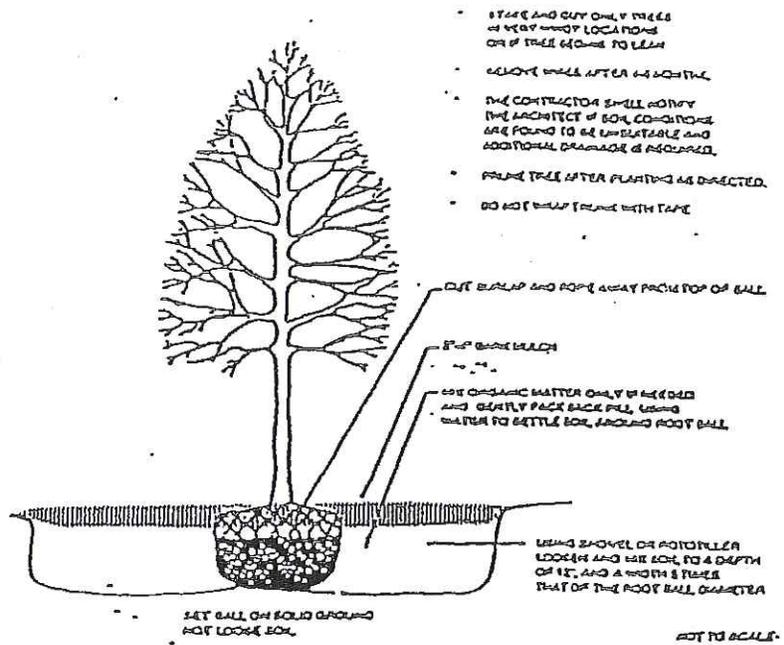
- 1) Numbers 1, 2 and 5 from above checklist;
- 2) Plant List - for each plant, list the quantity, botanical name, common name, size (in accordance with the minimum sizes listed in this manual), container type and any specific comments;
- 3) General Notes - the following general notes must be placed on all landscape plans where relevant:
 - a) Individual homeowners must be notified at least one week prior installation of plants on lots that have an occupied dwelling;
 - b) Unless otherwise stipulated by specific requirements of the City of Wildwood Tree Manual, the landscaping shown on this plan must be planted in accordance with the latest edition of the Tree and Shrub Transplanting Manual published by the International Society of Arboriculture (PO Box GG, Savoy, IL 61874-9902;
 - c) All tree are to be located a minimum distance of 5' from all utility boxes, 5' from a storm drain inlet or manhole, 10' from a fire hydrant, 15' from public street lights, 5' from driveway aprons, 20' from any traffic control sign, and at least 30' from any intersection;

- d) Locations of street trees may be subject to change in order to avoid conflict with street lighting;
 - e) Any planting within a tree preservation area, as designated on the Tree Preservation Plan and shown on this plan, must be done to avoid any adverse impact to the roots of existing trees;
 - f) Plant type substitutions are permitted with verbal or written approval from the City of Wildwood Planning Department;
 - g) All plant material will be reinspected for survival by the City of Wildwood Planning Department one year following installation and again two full growing seasons after planting;
 - h) All plants must meet standards of the latest edition of the American Standards for Nursery Stock sponsored by the Association of American Nurserymen;
 - i) No plant shall be located in areas of obvious poor drainage. If such conditions exist, contact the landscape architect immediately to relocate affected plant material.
 - j) Soil conditions must be tested, verified and adjusted by the landscape contractor to insure that appropriate soil composition and pH levels are suitable for plant material specified for that specific location.
- 4) Conceptual locations of proposed street lights as well as any parking lot lights along with details of any light.
- 5) Planting details and details of any landscape structures that are proposed.

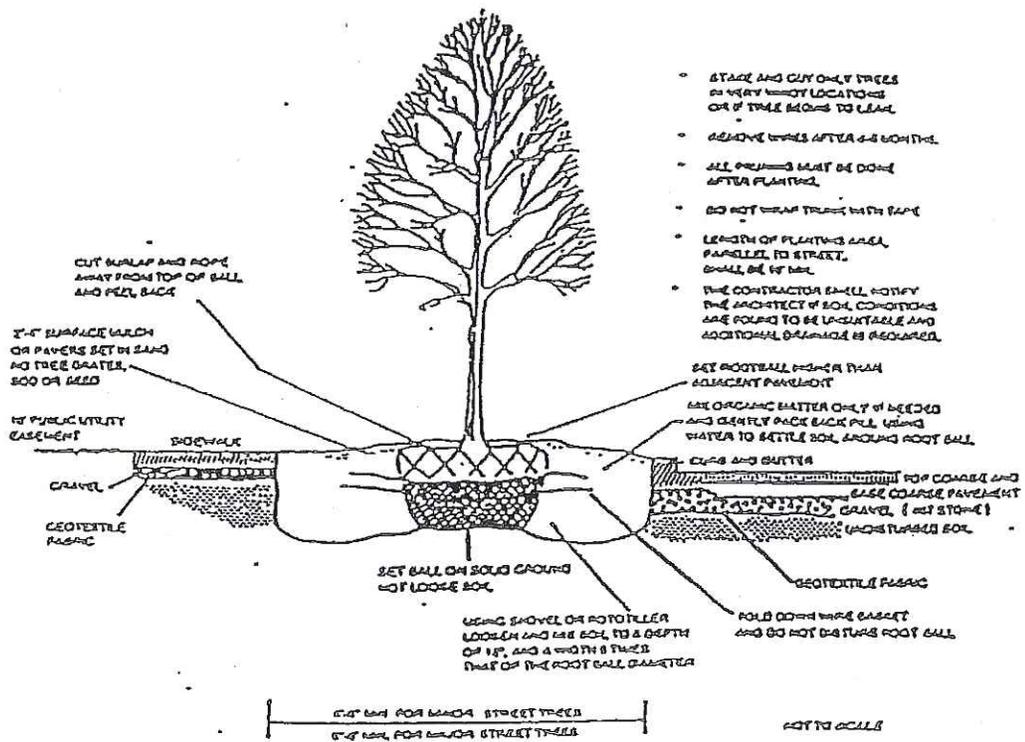
Required Tree Sizes

<u>TREE TYPE</u>	<u>MINIMUM SIZE</u>	<u>MAXIMUM SIZE</u>	<u>USE</u>
Street Trees or Shade Trees	2" - 2 1/2" caliper	4" caliper	Streets, Parking Lots Restoration
Other Deciduous Trees beds, near bldgs, in open areas	1 1/2" - 2" caliper	3" caliper	Planting
Evergreen Buffer Trees	8' in height	12' in height	Screening, buffering
Other Evergreen Trees groupings	5' in height	7' in height	Accents,

LANDSCAPE PLAN DETAILS



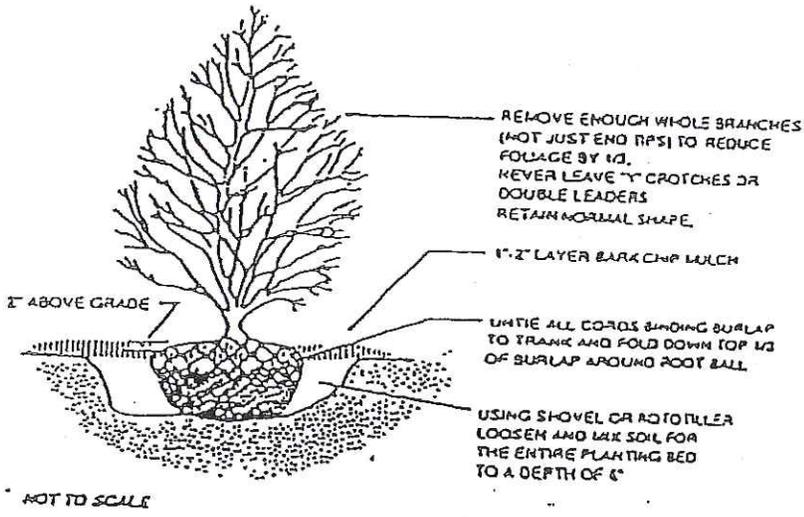
DECIDUOUS TREE PLANTING



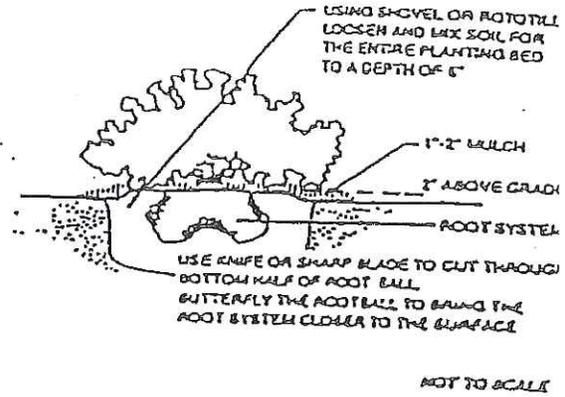
STREET TREE AND PARKING LOT ISLAND PLANTING

Source: American Forestry Association

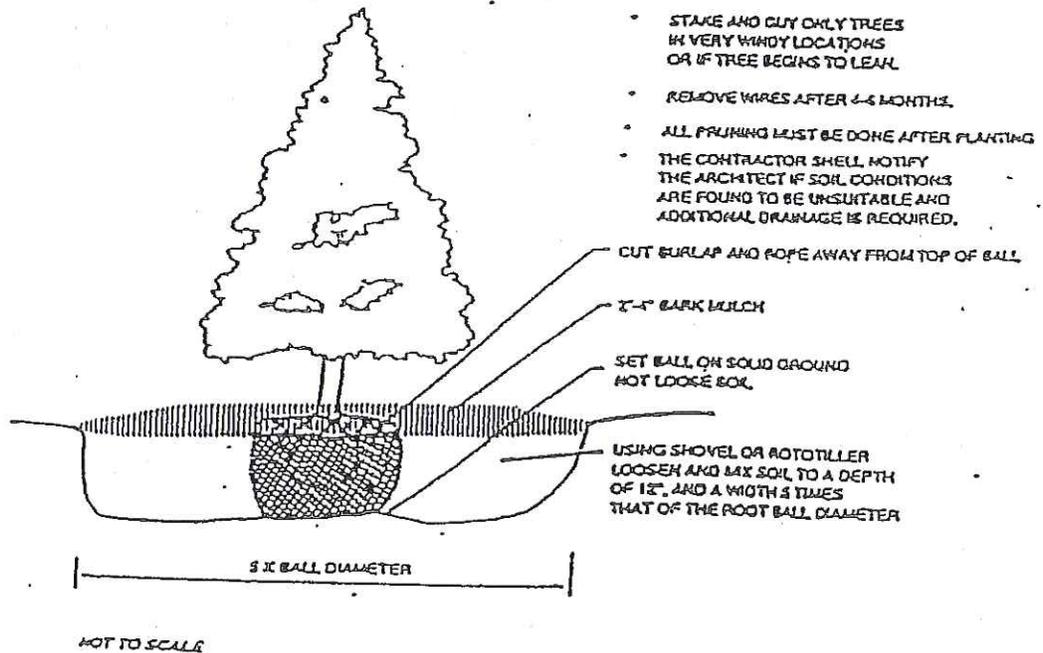
LANDSCAPE PLAN DETAILS



SHRUB PLANTING (B & B)



SHRUB PLANTING (CONTAINER)

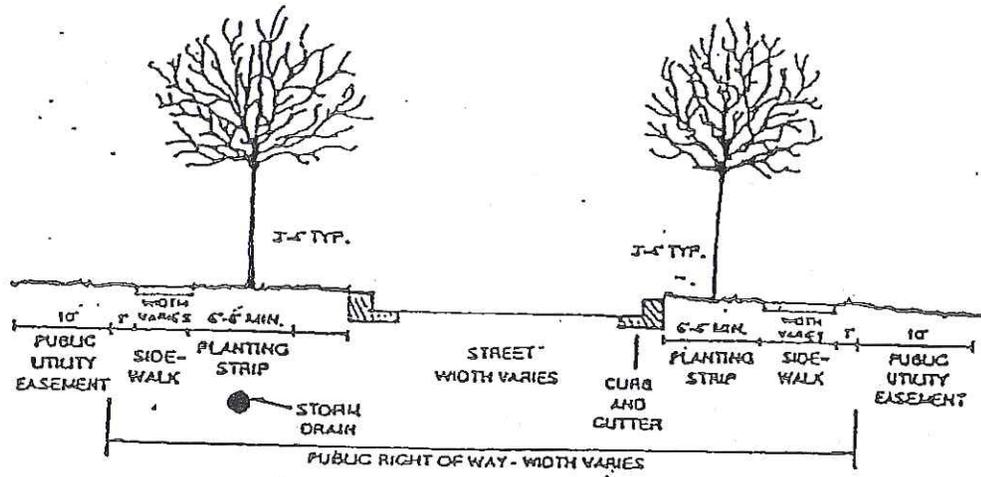


EVERGREEN TREE PLANTING

Source: American Forestry Association

PUBLIC STREET TREE LOCATION REQUIREMENTS

RELATIVE TO STREET, SIDEWALK AND PUBLIC UTILITIES



PRIVATE STREET TREE LOCATION REQUIREMENTS

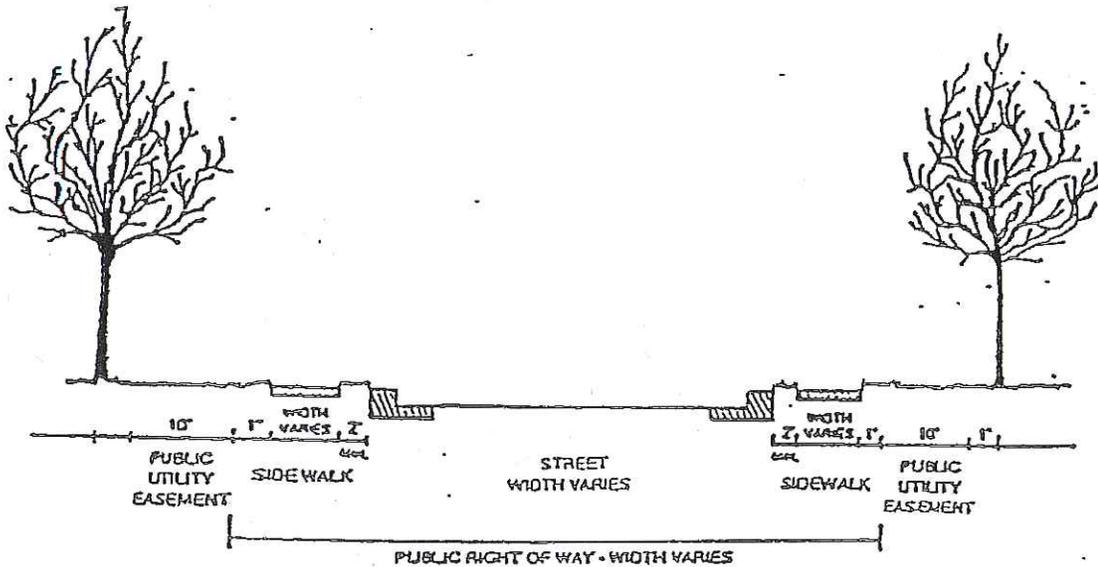
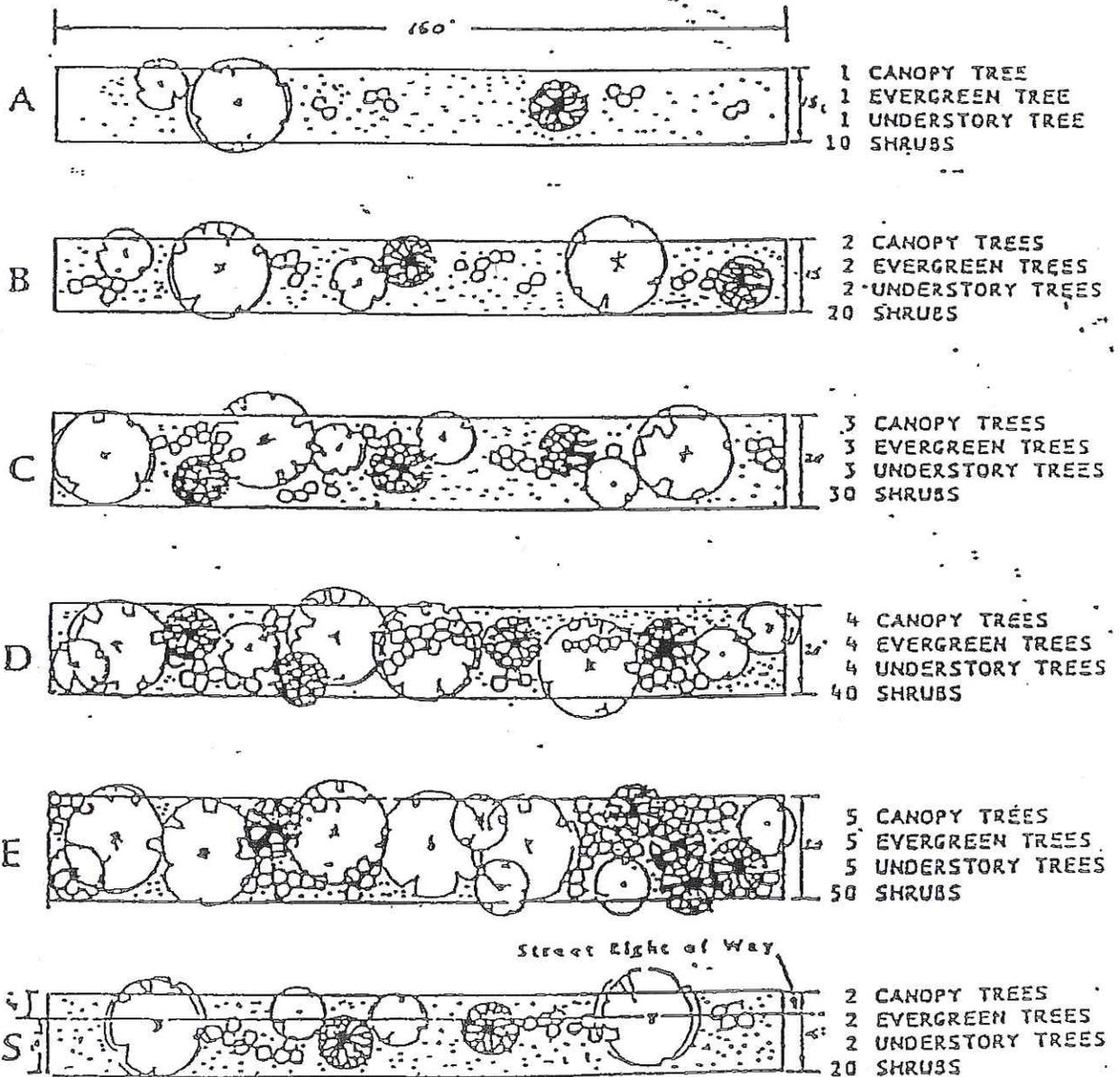


TABLE OF BUFFERYARD STANDARDS

<u>BUFFERYARD</u>	<u>NUMBER OF PLANT UNITS</u>	<u>BUFFERYARD WIDTH</u>
A	1	15 feet
B	2	15 feet
C	3	20 feet
D	4	20 feet
E	5	20 feet
S	2	10 feet

BUFFERYARDS



Each illustration depicts a typical 150 foot Bufferyard.

LANDSCAPE APPLICATIONS

The following design principles shall guide landscaping in special locations:

STREET TREES. Street trees are to be provided for all public streets within and adjacent to any proposed development where insufficient street trees presently exist. Street tree plantings will be no less than 30 feet apart and no greater than 45 feet apart. Species selection must take in to consideration ultimate height of the tree so as not to interfere with overhead utility lines. Street trees will be no less than 2.5 inches in caliper. Planting will conform to industry guidelines described in "Tree and Shrub Transplanting Manual" published by the International Society of Arboriculture (PO Box GG, Savoy, IL, 61874-9902; Phone (217) 355-9411.) and the details shown in this manual. Species selection must be made from the list of approved street trees for Wildwood. Street tree requirements can be waived by the Director.

ROADWAY INTERSECTIONS. Landscape treatment shall not interfere with site line requirements as specified in parking, drives, loading and outdoor storage at street or driveway intersections.

PARKING LOTS. A single "Plant Unit" for non-residential Parking Lot landscaping shall consist of the total plantings designated in one of the columns below:

<u>Type of Plant and Size</u>	<u>Standard Plant Unit</u>	<u>Alternative Unit # 1</u>	<u>Alternative Unit # 2</u>
Canopy Tree 3" caliper	2	2	1
Understory Tree 2" caliper	0	1	1
Shrubs (50% to be evergreen) 2' high	10	5	10

For every eight parking spaces, a parking lot will contain landscape areas with one plant unit as described above. Planting will occur in areas no smaller than 72 square feet with good quality topsoil capable of sustaining landscape plants.

Adjoining entrance drives and circulation drives shall also contain three plant units, as described above, in adjacent landscaped areas aggregating 972 square feet for every 8,000 square feet of drive or road area.

LANDSCAPE APPLICATIONS (continued)

NON-RESIDENTIAL BUILDING SITES. A single "Plant Unit" for non-residential building site landscaping shall consist of the total plantings designated in one of the columns below:

<u>Type of Plant and Size</u>	<u>Standard Plant Unit</u>	<u>Alternative Unit</u>
Canopy Tree 3" Caliper	1	1
Understory Tree 2" Caliper	1	0
Shrubs 2' High	10	9
Evergreen Tree 8' High	1	3

Each acre of non-wooded landscaped surface that exists on a development in those areas not designated as parking lots, roadways or bufferyards shall contain fifteen plant units as defined above. An additional requirement is that one plant unit be planted per each 75 feet of building perimeter.

The Director may, at his discretion, approve any amenities, including but not limited to fountains, waterfalls, lakes, rock features, sculptures, etc. as a replacement for any plantings required herein so long as the amenities generally conform to property standards.

BUFFERYARDS. The bufferyard is a combination of setback and visual buffer or barrier between distinctly different zonings. A bufferyard consists of a unit of land together with the planting required thereon. Both the amount of land and the type and amount of planting specified for each bufferyard requirement of this ordinance are designed to eliminate or minimize conflicts between land uses and to insure a desired character along public and private streets and roads. The planting units required of bufferyards have been calculated to insure that they do, in fact, function as buffers.

- A) Bufferyards shall be required to separate different zonings from each other in order to eliminate or minimize potential nuisances such as dirt, noise, glare of lights, signs, building bulk, parking areas, or to provide spacing to reduce adverse impacts of the above, or danger from fires or explosions.
- B) Bufferyards shall be located on the outer perimeter of the lot or site, extending to the lot or site property line. Bufferyards shall not be located on any portion of an existing public or private street or right-of-way.

LANDSCAPE APPLICATIONS (continued)

- C) To determine the type of bufferyard required on a site or between a site and a street, the following procedure shall be followed:
1. Identify whether any portion of the lot line of the site constitutes a zoning district boundary. If it does, determine the zoning on both sides of the lot or site.
 2. Determine whether the land on the adjoining site is vacant or developed or whether a subdivision plat of the adjoining site has been approved.
 3. Classify any street adjacent to the proposed use as a Arterial, Collector or Access street.
 4. Determine the bufferyard required on each boundary (or segment thereof) of the subject site by referring to the "Table of Bufferyard Standards" and the "Required Bufferyard Matrix" in this manual.
- D) If a bufferyard screen, consisting of different plants than required below, is already in place, the Director may substitute the existing bufferyard screen for the Standard Plant Units required below.
- E) The Table of Bufferyard Standards indicates the specifications of each bufferyard. Bufferyard requirements are stated in terms of the width of the bufferyard and number of Plant Units required per one hundred fifty (150) linear feet of bufferyard.

A single "plant unit" for bufferyards shall consist of the total plantings designated in one the columns below:

TABLE OF STANDARD PLANT UNITS

<u>Type of Plant and Size</u>	<u>Standard Plant Unit</u>	<u>Alternative Unit</u>
Canopy Tree	1	1
Understory Tree	1	0
Shrubs	10	9
Evergreen Tree	1	3

The exact placement of required plants and structures shall be the decision of each user except that the following requirements shall be satisfied:

LANDSCAPE APPLICATIONS (continued)

- a. All bufferyard areas shall be seeded with lawn, ground cover or prairie grass unless a natural ground cover is already established.
- b. Required plant materials for bufferyards shall be planted in the following sizes and percentages:

<u>Canopy Trees</u>	<u>Evergreen Trees</u>	<u>Understory Trees</u>	<u>Shrubs</u>
10% 4" Caliper	10% 10' High	10% 2.5" Caliper	100% 2' High
20% 3" Caliper	20% 8' High	20% 2.0" Caliper	
70% 2" Caliper	70% 6' High	70% 1.5" Caliper	

- c. Where the amount of frontage will require a fractional number of plants, the requirements will be as follows: When the fraction is less than .5, the number required shall be the amount of the next lowest whole number. When the fraction is .5 or greater, the required amount will be the next largest whole number.
- F) A bufferyard may be used for passive recreation. It may contain pedestrian, bike, or jogging trails provided that: (1) no plant material is eliminated, (2) the total width of the bufferyard is maintained, and (3) all other regulations of controlling ordinances are met.
- G) The property owner shall maintain the minimum bufferyard planting requirements of this ordinance and replace as necessary to maintain the required plant units.
- H) The following "bufferyard matrix" identifies the type of bufferyard required to separate different zoning types:

Low Density Residential (LDR)	= NU, R1
Medium Density Residential (MDR)	= R1A, R2
High Density Residential (HDR)	= R3, R4, R6A
Commercial (C)	= C1, C2, C3*, M1, M3*, MXD*

* NOTE: Bufferyard requirements for these Planned Districts shall be established per the site-specific ordinance. However, these requirements shall not be less than those stipulated under Bufferyard E.

REQUIRED BUFFERYARD MATRIX

	<u>LDR</u>	<u>MDR</u>	<u>HDR</u>	<u>C</u>
<u>LDR</u>	--	B	C	E
<u>MDR</u>	B	--	B	D
<u>HDR</u>	C	B	--	C
<u>C</u>	E	D	C	--

D) The following "bufferyard matrix" identifies the type of bufferyards required along streets:

Low Density Residential (LDR)	= NU, R1
Medium Density Residential (MDR)	= R1A, R2
High Density Residential (HDR)	= R3, R4, R6A
Commercial (C)	= C1, C2, C8*, M1, M3*, MXD*

BUFFERYARDS REQUIRED ALONG STREETS

	<u>ARTERIAL</u>	<u>COLLECTOR</u>	<u>ACCESS</u>
<u>LDR</u>	D	C	S
<u>MDR</u>	D	C	S
<u>HDR</u>	D	C	S
<u>C</u>	D	C	E

OTHER LANDSCAPE SPECIFICATIONS

Turf and Ornamental - All non-wooded, undeveloped and unmulched portions of building sites, parking lots, and road right-of-ways will be sodded or seeded with turfgrass or native grasses that are hardy in USDA Zones 5 and 6 within 10 days of the completion of grading.

Sodding and seeding will be performed according to accepted industry standards.

Irrigation - All landscape areas shall be irrigated.

Grading - All grading for landscaped areas will not exceed a slope greater than 3:1. All exposed slopes will be protected from erosion as needed.

Maintenance - The landscape of all undeveloped and developed property will be properly maintained in a sightly and well-kept manner.

Replacement - Replanting and replacement of existing plant materials will be executed on an annual basis as needed by the property owner.

TIMBER SALE PERMITS

A timber sale permit will be required of anyone wanting to conduct a timber sale that will remove greater than five thousand square feet (5000 ft²) of canopy coverage. Permit applications shall be submitted with a timber management plan from a forester indicating that the cutting of trees will be a thinning or harvest that insures the continued health and existence of the woodland. The timber management plan shall specify an acceptable method of regeneration for the area to be harvested. Unless waived by the Director, any parcel of land may qualify for a timber sale permit only once every ten years.

REQUIRED BONDS

Tree Bond - In determining the amount of bond to be submitted to secure a grading permit, the Director of Planning shall include such amount as to ensure the restoration of trees and compensate for such other losses as may occur from trees destroyed, removed, or lost in violation of this ordinance or an approved Tree Preservation Plan or six thousand dollars (\$6000.00) per acre of trees to be retained, whichever is greater. The value of trees lost shall be determined by use of the International Society of Arboriculture's tree valuation methodology. The bond will be used to complete restoration plantings required by the City of Wildwood but not completed by the developer.

Landscape Bond - A bond equal to two hundred dollars (\$200.00) per woody plant shown on the landscape plan shall be required. The bond will be used to complete plantings required by the City of Wildwood but not completed by the developer.

APPENDIX A.

SOURCES OF DETAILED INFORMATION

Tree City USA Bulletins

Available from: National Arbor Day Foundation
100 Arbor Avenue
Nebraska City, NE 68410

Living With Urban Soils (Bulletin #5)
How to Save Trees During Construction (Bulletin #7)
Trees for Wildlife (Bulletin #13)
How to Kill A Tree (Bulletin #14)
A Systematic Approach to Building With Trees (Bulletin #20)
Trees and Parking Lots (Bulletin #24)
Placing a Value on Trees (Bulletin #28)
The Way Trees Work (Bulletin #38)

Trenching and Tunnelling Near Trees -

A booklet developed by Dr. James R. Fazio that addresses standards for excavation near trees. Available from the National Arbor Day Foundation.

Arboriculture -

an excellent technical reference by Richard W. Harris and published by Prentice Hall. Available at the Missouri Botanical Garden bookstore and most college bookstores including Meramec Community College. 674pp.

Tree Maintenance -

another technical reference. Written by P.P. Pirone and published by Oxford University Press. Available at the Missouri Botanical Garden bookstore. 514pp.

Protecting Trees from

Construction Damage -

A booklet developed by the University of Minnesota Extension Service.

(#NR-FO-6135-S) Available from: Minnesota Extension Service
Distribution Center
20 Coffey Hall
1420 Eckles Avenue
St. Paul, MN 55108-6064
FAX # (612) 625-2207

Tree and Shrub

Transplanting Manual -

A booklet containing standards practiced by the nursery industry in the planting of trees and shrubs. Available from International Society of Arboriculture, PO Box GG, Savoy, IL 61874-9902. (Phone 217-355-9411.)

Construction Damage to Trees -

A 13 minute video available from International Society of Arboriculture at the address provided above.

Avoidance of Construction

Damage to Trees -

A 22 minute video available from International Society of Arboriculture at the address provided above.

APPENDIX B.

NATIVE SPECIES SELECTION LIST

<u>Scientific Name</u>	<u>Common Name</u>
<i>Acer rubrum</i>	Red Maple (L)
<i>Acer saccharinum</i>	Silver Maple (L)
<i>Acer saccharum</i>	Sugar Maple (L)
<i>Aesculus glabra</i>	Ohio Buckeye (M)
<i>Betula nigra</i>	River Birch (L)
<i>Carya</i> spp.	Hickories (L)
<i>Catalpa speciosa</i>	Catalpa (L)
<i>Celtis laevigata</i>	Sugarberry (L)
<i>Celtis occidentalis</i>	Hackberry (L)
<i>Cercis canadensis</i>	Redbud (S)
<i>Cornus florida</i>	Flowering Dogwood (S)
<i>Fraxinus americana</i>	White Ash (L)
<i>Fraxinus pennsylvanica</i>	Green Ash (L)
<i>Gleditsia triacanthos</i>	Honeylocust (M)
<i>Gymnocladus dioica</i>	Kentucky Coffeetree (L)
<i>Juglans cinerea</i>	Butternut (L)
<i>Juglans nigra</i>	Black Walnut (L)
<i>Juniperus virginiana</i>	Eastern Redcedar (M)
<i>Liquidambar styraciflua</i>	Sweetgum (L)
<i>Maclura pomifera</i>	Osage Orange (M)
<i>Morus rubra</i>	Red Mulberry (M)
<i>Nyssa sylvatica</i>	Black Gum (M)
<i>Pinus echinata</i>	Shortleaf Pine (M)

<u>Scientific Name</u>	<u>Common Name</u>
<i>Platanus occidentalis</i>	Sycamore (L)
<i>Prunus serotina</i>	Black Cherry (M)
<i>Quercus alba</i>	White Oak (L)
<i>Quercus macrocarpa</i>	Bur Oak (L)
<i>Quercus stellata</i>	Post Oak (L)
<i>Quercus lyrata</i>	Overcup Oak (L)
<i>Quercus bicolor</i>	Swamp White Oak (L)
<i>Quercus imbricaria</i>	Shingle Oak (L)
<i>Quercus meuhlenbergii</i>	Chinkapin Oak (L)
<i>Quercus palustris</i>	Pin Oak (L)
<i>Quercus phellos</i>	Willow Oak (L)
<i>Quercus rubra</i>	Red Oak (L)
<i>Quercus shumardii</i>	Shumard Oak (L)
<i>Quercus velutina</i>	Black Oak (L)
<i>Robinia pseudoacacia</i>	Black Locust (M)
<i>Salix nigra</i>	Black Willow (M)
<i>Sassafras albidum</i>	Sassafras (M)
<i>Tilia americana</i>	Basswood (L)
<i>Ulmus rubra</i>	Slippery Elm (L)

This list is a partial list. Other native trees may be approved on a case by case basis.

ULTIMATE TREE CANOPY COVERAGE

- L = Large (1000 ft²)
- M = Medium (700 ft²)
- S = Small (300 ft²).

APPENDIX C.

GENERAL LIST OF ACCEPTABLE SPECIES FOR
LANDSCAPE PLANTINGS

<u>Scientific Name</u>	<u>Common Name</u>	<u>Scientific Name</u>	<u>Common Name</u>
<i>Abies concolor</i>	White Fir (M)	<i>Gleditsia triacanthos</i> var. <i>Inermis</i>	Honeylocust, Thorns (M)
<i>Acer ginnala</i>	Amur Maple (S)	<i>Gymnocladus dioica</i>	Kentucky Coffeetree (L)
<i>Acer rubrum</i> cv. 'Red Sunset'	Red Maple (L)	<i>Juglans nigra</i>	Black Walnut (L)
<i>Acer saccharum</i>	Sugar Maple (L)	<i>Juniperus virginiana</i>	Eastern Redcedar (M)
<i>Alnus glutinosa</i>	Black Alder (S)	<i>Liriodendron tulipifera</i>	Tuliptree (L)
<i>Amelanchier arborea</i>	Serviceberry (S)	<i>Magnolia acuminata</i>	Cucumbertree (L)
<i>Betula nigra</i>	River Birch (L)	<i>Magnolia x soulangiana</i>	Saucer Magnolia (M)
<i>Carpinus betula</i>	European Hornbeam (M)	<i>Magnolia virginiana</i>	Sweetbay Magnolia (M)
<i>Celtis laevigata</i>	Sugarberry (L)	<i>Nyssa sylvatica</i>	Black Gum (M)
<i>Celtis occidentalis</i>	Hackberry (L)	<i>Picea abies</i>	Norway Spruce (L)
<i>Cercidiphyllum japonicum</i>	Katsuratree (M)	<i>Picea pungens</i>	Blue Spruce (M)
<i>Cercis canadensis</i>	Redbud (S)	<i>Pinus strobus</i>	White Pine (L)
<i>Cladrastus lutea</i>	Yellowwood (M)	<i>Pyrus calleryana</i> cv 'Aristocrat' cv 'Cleveland Select' (No 'Bradford')	Callery Pear (M)
<i>Cornus florida</i>	Flowering Dogwood (S)	<i>Phellodendron amurense</i>	Corktree (M)
<i>Cornus kousa</i>	Kousa Dogwood (S)	<i>Platanus occidentalis</i>	Sycamore (L)
<i>Crataegus crus-galli</i>	Cockspur Hawthorn (S)	<i>Pseudotsuga menziesii</i>	Douglasfir (M)
<i>Crataegus phaenopyrum</i>	Wash'ton Hawthorn (S)	<i>Quercus alba</i>	White Oak (L)
<i>Crataegus viridis</i> 'Winter King'	Winter King H'thorn (S)	<i>Quercus macrocarpa</i>	Bur Oak (L)
<i>Fraxinus americana</i>	White Ash (L)	<i>Quercus stellata</i>	Post Oak (L)
<i>Fraxinus pennsylvanica</i>	Green Ash (L)	<i>Quercus lyrata</i>	Overcup Oak (L)
<i>Ginkgo biloba</i> (male cultivars only)	Ginkgo (M)		

APPENDIX C.

GENERAL LIST OF ACCEPTABLE SPECIES FOR
LANDSCAPE PLANTINGS (CONTINUED)

<u>Scientific Name</u>	<u>Common Name</u>
<i>Quercus bicolor</i>	Swamp White Oak (L)
<i>Quercus imbricaria</i>	Shingle Oak (L)
<i>Quercus meuhlenbergii</i>	Chinkapin Oak (L)
<i>Quercus palustris</i>	Pin Oak (L)
<i>Quercus phellos</i>	Willow Oak (L)
<i>Quercus rubra</i>	Red Oak (L)
<i>Quercus shumardii</i>	Shumard Oak (L)
<i>Sophora japonica</i>	Japanese Pagoda (M)
<i>Sassafras albidum</i>	Sassafras (M)
<i>Taxodium distichum</i>	Baldcypress (M)
<i>Tilia cordata</i>	Littleleaf Linden (M)
<i>Tsuga canadensis</i>	Hemlock (M)
<i>Ulmus parvifolia</i>	Lacebark Elm (L)
<i>Zelkova serrata</i>	Zelkova (M)

Trees in Bold Print are acceptable for use in street tree plantings. All others are not to be used as street trees. Species not on the list may be used with approval from the Director of Planning.

ULTIMATE TREE CANOPY COVERAGE

- L = Large (1000 ft²)
M = Medium (700 ft²)
S = Small (300 ft²).

UNDESIRABLE TREES FOR STREET USE

Box-Elder	<i>Acer negundo</i> (Breakage and insect pests)
Silver Maple	<i>Acer saccharinum</i> (Breakage; too large when mature; root system clogs sewers and drains)
Horsechestnut	<i>Aesculus hippocastanum</i> (Leaf blight and burn; messy)
Catalpa	<i>Catalpa speciosa</i> (Coarse; insect pests)
Tulip Tree	<i>Liriodendron tulipifera</i> (Difficult to transplant; insect pests; leaves turn yellow and drop during dry periods; wood is brittle and breaks easily)
Apple	<i>Malus pumila</i> (Fruit objectionable on street; numerous insect pests and diseases; requires too much spraying)
Mulberry	<i>Morus alba</i> (Fruit objectionable)
Poplars (all kinds)	<i>Populus</i> (Very subject to breakage; disease and insects; roots clog sewers and drains)
Black Locust	<i>Robinia pseudoacacia</i> (Insects, borers and leaf miners)
Willows (all kinds)	<i>Salix</i> (Breakage; disease and insects; roots clog sewers and drains)
Moline Elm	<i>Ulmus americana moline</i> (Subject to breakage)
Siberian Elm	<i>Ulmus pumila</i> (Commonly known as Chinese elm; subject to bad breakage)
Tree-of-Heaven	<i>Ailanthus altissima</i> (Coarse; breakage)

Subdivisions which do NOT need a Tree Preservation Plan

Ashford Oaks
Babler Parks Estates
Brentmoor Place
Candletree
Carriage Crossing Estates
Caulks Creek Estates
Chatham Place
Cherry Hill Farm
Chesterfield Shores
Chesterfield Valley (Valley View)
Clayton Woods
Clay-Val
Copper Lakes
Courtyards at West Park
Cove at Lake Chesterfield
Crown Pointe
Dartmouth
Estates of Lake Chesterfield
Evergreen
Harbors at Lake Chesterfield
Herbert Valley Estates
Hickory Manor
Highlands at Chesterfield
Highland Summit
Hunters Run
Kingstowne Estates
Lafayette Trails
Lake Chesterfield
Lakeshore Meadows (Fairhaven)
Landings at Lake Chesterfield
Meadows at Cherry Hills
Nantucket
Oak Ridge Trails
Old Grover Estates
Pine Creek
Pleasant Valley Addition
Pleasant Valley Meadows
Pointe Clayton
Powders Mill
Prestwick Place
Rockwood Pointe
Sandalwood Creek
Seven Hills Estates
Seven Hills South
Seven Hills South Addition
Shepherd Estates
Strecker Farms
Strecker Ridge
Strecker Woods
Tall Oaks at Winding Trails
Tartan Green
Timber Ridge Estates
Turnberry Place
Valley Estates
Valley Oak Estates
Valley View
Villages of Cherry Hills
Arlington Terrace
Carriage Crossing
Hunters Crossing
Lancaster Woods Estates
Oak Park
Victoria Crossing
Willow Green
Villages of Lake Chesterfield
Village of Winding Trails
Westglen Farms
Westglen Meadows
Westhampton Woods
Westridge Oaks
West Park Estates
Wildhorse
Wilderness Trails
Winding Trails

STREET TREESDrought Tolerant Species

Trident Maple	Acer buergeranum
Hedge Maple	A. campestre
Tree of Heaven (also wet)	Ailanthus altissima
Shagbark Hickory	Carya ovata
Kousa Dogwood	Cornus kousa
Turkish Filbert	Corylus colurna
Ginkgo (male only)	Ginkgo biloba
Kentucky Coffeetree (male only)	Gymnocladus dioicus
Goldenraintree	Koelreutaria paniculata
Black Gum	Nyssa sylvatica
White Oak	Quercus alba
Bur Oak	Q. macrocarpa
Black Locust	Robinia pseudoacacia
Japanese Pagodatree	Sophora japonica

High Clay/Low Oxygen Soils

Hedge Maple	Acer campestre
Paperbark Maple	A. griseum
Norway Maple	A. platanoides
Red Maple	A. rubrum
Common Horsechestnut	Aesculus hippocastanum
Tree of Heaven	Ailanthus altissima
European Alder	Alnus glutinosa
River Birch	B. nigra
American Hornbeam	Carpinus caroliniana
Common Hackberry	Celtis occidentalis
Katsuratree	Cercidiphyllum japonicum
hawthorn	Crataegus spp.
White Ash	Fraxinus americana
Green Ash	F. pennsylvanica
Thornless Common Honeylocust	Gleditsia triacanthos inermis
Kentucky Coffeetree	Gymnocladus dioicus
Carolina Silverbell	Halesia carolina
Black gum	Nyssa sylvatica
American Hophornbeam	Ostrya virginiana
London Planetree	Platanus acerifolia
American Planetree	P. occidentalis
Swamp White Oak	Quercus bicolor
Scarlet Oak	Q. coccinea
Shingle Oak	Q. imbricaria
Pin Oak	Q. palustris
English Oak	Q. robur
Red Oak	Q. rubra
Basswood	Tilia americana

Right of Way

*has been Revised

GENERAL LIST OF ACCEPTABLE SPECIES FOR STREET TREE PLANTINGS

Baldcypress	Pin Oak
Callery Pear (No Bradford)	Red Maple
Corktree	Red Oak
Flowering Dogwood	Redbud
Green Ash	Sugar Maple
Ginko	Sugarberry
Hackberry	Swamp White Oak
Honeylocust, Thornis	Yellowwood
Japanese Pagoda	Washington Hawthorn
Katsuratree	White Ash
Kentucky Coffeetree	Willow Oak
Kousa Dogwood	Winter King Hawthorn
Littleleaf Linden	Zelkova

Species not on the list may be used with approval from the Director of Planning

Must be 10' off. pavement in rural areas $\frac{1}{2}$ between sidewalk
& street in Suburban areas



WILDWOOD

STREET TREE SELECTION LIST

The following list identifies City-approved street trees in the order of their preference. A mixture of these trees is also preferred over planting a monoculture within an entire subdivision in order to reduce the possibility of disease and loss. Please contact the Department of Planning at (636) 458-0440 regarding any questions or requests for species substitutions.

- | | |
|-----------------------------------|------------------------------------|
| 1. Winter King Hawthorn | <i>Crataegus viridis</i> |
| 2. Autumn Brilliance Serviceberry | <i>Amelanchier grandiflora</i> |
| 3. Spring Snow Crabapple | <i>Malus</i> (fruitless cultivars) |
| 4. Eastern Redbud | <i>Cercis canadensis</i> |
| 5. Paperbark Maple | <i>Acer griseum</i> |
| 6. Trident Maple | <i>Acer buergerianum</i> |
| 7. Kwanzan Oriental Cherry | <i>Prunus serrulata sekigania</i> |
| 8. Hedge Maple | <i>Acer campestre</i> |

Drought-tolerant species: 1, 3, 4, 6, 8

Species tolerant of high clay/low oxygen soils: 1, 2, 3, 4, 5, 7, 8

EXPLOSIVES CODE



WILDWOOD
Department of Public Works

Memo

To: Mayor Edward L. Marshall
Wildwood City Council

From: Ryan S. Thomas, Director of Public Works^{RST}

Date: February 29, 2008

Re: Review of Explosives Code

A few months ago, several residents attended a City Council Meeting to voice concerns over the use of explosives within the Wardenburg Farms development for the purpose of breaking rock for sewers and building foundations. Several nearby homeowners experienced differing levels of impacts from this blasting, ranging from feeling or hearing blasts to actual damage to their homes. Amazingly, these impacts were experienced from residents no closer than 400 feet and as much as 1,500 feet away from the blasting site – under the current code provisions, none of these residents would even be required to be notified or have pre-blast surveys conducted at their homes.

Any damage caused from blasting is handled as an insurance claim, with no real assurance to residents that claims will be approved given the uncertainty of proof of damage from the blasting. The Departments of Planning and Public Works both feel it is unfair to place this burden on the residents for construction activity not even associated with improving their property.

The Departments have investigated how other municipalities address this issue, and found that most have very similar regulations, with some variety of notification requirements and blasting level limits. Only one municipality was identified that prohibits the use of explosives, that being the City of Town & Country. The prohibition in the City of Town & Country is premised on the belief that *“it would be detrimental to the public welfare to allow blasting within the City Limits of the City of Town and Country.”* Based on our recent and past experience with blasting within the City of Wildwood, this statement is very relevant. Therefore, both the Departments of Planning and Public Works recommend passage of an Ordinance equivalent to that of the City of Town and Country, prohibiting the use of explosives within the City of Wildwood.

Planning Tomorrow Today

16962 Manchester Road ♦ Wildwood, Missouri 63040 ♦ 636-458-0440 phone ♦ 636-458-6969 fax

February 29, 2008

Attached for your reference is a copy of the City of Town and Country Ordinance and a table comparing the other municipalities that were researched.

Please be prepared to discuss this item at the March 4, 2008 Meeting of the Administration/Public Works Committee.

RST

Introduced by Aldermen Clayton

BILL NO. 95-101

ORDINANCE NO. 1903

AN ORDINANCE PROHIBITING BLASTING
IN THE CITY OF TOWN AND COUNTRY

WHEREAS, Ordinance No. 1858, passed and approved on June 29, 1995, prohibited blasting operations in the City of Town and Country for a period of 90 days to allow time for the preparation of an Explosives Code; and

WHEREAS, on Ordinance No. 1879, passed and approved on September 11, 1995, prohibited blasting operations in the City of Town and Country until November 15, 1995; and

WHEREAS, it has become apparent that it would be detrimental to the public welfare to allow blasting within the city limits of the City of Town and Country.

NOW, THEREFORE, BE IT ORDAINED, BY THE BOARD OF ALDERMEN OF THE CITY OF TOWN AND COUNTRY, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. All blasting operations and use of explosives and explosives materials shall be prohibited within the City of Town and Country, Missouri.

Section 2. This Ordinance shall be in full force and effect from and after its passage and approval as required by law.

Passed and approved this 13th day of November, 1995.

Diane Hertlein
Diane Hertlein, Mayor

Attest:

Joan Klinghammer
Joan Klinghammer, City Clerk

Legislative Area/Intent	Municipality - Wildwood, Missouri (Adopted from St. Louis County - adopted by St. Louis County c. 1985)
Purpose	Explosives Code Details
Definitions	<p><u>Explosives and explosive materials</u> - gunpowder used for blasting, all forms of high explosives, fuses, detonators and other detonating agents, smokeless powders, and any chemical compounds or mechanical mixture that is commonly used or intended for the purpose of producing an explosion containing any oxidizing and combustible units or other ingredients in such proportions, quantities, or packing, that ignition by fire, friction, by concussion, by percussion, by detonation of, by any part of the compound mixture may cause such a sudden generation of highly heated gasses that the resultant gas pressures are capable of producing destructive effects on contiguous objects or of destroying life or limb; but explosives shall not include small arms ammunition, gasoline, kerosene, or oils, greases, or other petroleum products intended for lubrication purposes.</p> <p><u>Director</u>. Shall mean the Director of Public Works of the City of Wildwood, Missouri and shall include his authorized agents.</p>
Classes of Explosives	<p><u>Class A, high explosives</u>. Those possessing detonating qualities such as dynamite, nitroglycerin, picric acid, lead azide, fulminate of mercury, smokeless powder, blasting caps, and detonating primers.</p> <p><u>Class B, low explosives</u>. Those explosives not otherwise specified herein as Class A explosives, but not limited to, explosives presenting a flammable hazard such as propellant explosives and photographic flash powder.</p> <p><u>Uncontrolled structures</u>. Shall mean any building not owned or controlled by the explosives user.</p>
Restrictions	Unlawful for any person to explode, or cause to be exploded any gunpowder, dynamite, giant powder, gun cotton, or other explosives between the hours of 6 PM to 8AM
Getting a Blasting Permit	A permit is required from the Director, a valid blasting license (which takes into consideration: age, training, education, and experience in the knowledge and use of explosives, and a written examination. A certificate of liability insurance in the amount \$500,000.00 for injury to persons and property resulting for the blasting operations.
Insurance	\$500,000.00 - Certificate of liability insurance for injury to persons and property resulting from the blasting operations. Such insurance shall be carried in a firm or corporation which has been duly licensed or permitted to carry on such business in the State of Missouri and shall be kept and maintained continuously in force and effect for the duration of the blasting permit.
Fees	The fee for an annual blaster's license shall be \$50.00.
Rules and Regulations	Director shall have the power and it shall be his duty to revoke the blasting permit issued in connection with the operation, revoke the license

	<p>of the blaster in charge, and violators may be punished for violations thereof:</p> <ul style="list-style-type: none"> • Blasting shall be carried on with the smallest number of persons present. • When the point of explosion is within three hundred (300) feet of a roadway, the blaster shall, just prior to the blast, designate a sufficient number of employees, each carrying a red warning flag, to stop all vehicular and pedestrian traffic on each possible route of travel within three hundred fifty (350) feet of the point of explosion until the blast has been fired. • Immediately following the blast the area shall be examined for evidence of misfired charges. • A complete record shall be kept by the blaster showing all misfires and method of disposal. • Seismographic instrumentation shall be required on any blast site where the nearest uncontrolled structure or public utility is located within a scaled distance of sixty-five (65) feet or at the request of the Director. The seismograph shall be placed at or near the closes uncontrolled structure(s).
<p>Reporting Requirements</p>	<p>A record known as a log shall be kept for every primary blast in an approved manner and for such other blasting the Director may require. This log shall be made available to the Director or his authorized agents upon demand. This record shall be maintained and available for inspection for a period of six (6) months after such blasting operations are completed.</p> <p>Minimum recorded data shall be as follows:</p> <ul style="list-style-type: none"> • Plan of the involved portion of the blasting site showing location of holes and spacing of holes. • Cross-section of each hole. • Drilling record showing unusual joint of seam conditions in the rock. • Amount of explosives used (weight). • Kind of blasting caps. • Comments by blaster regarding character of breakage; height of breakage; length of throw; effectiveness of shot; unusual results or effects. • Weather conditions - velocity of wind, temperature, humidity, cloud coverage. • Date and time of firing blast. • Name and location of blasting site. • Signature and title of person making report.
<p>Violation of Inspection</p>	<p>If upon inspection by the Director, a violation of the Explosives Code is found to exist, the Director shall file with the person holding the permit a notice citing the violation and ordering its correction. The Director may suspend any permit or license issued. Immediately after the suspension of the permit, the Director shall give the permitted written notice of the complaint or charge and shall fix the date for a hearing to be held within five (5) days of said notice, at which hearing the permittee shall have the right to counsel and to produce witnesses and other evidence on his behalf.</p>

Penalties	Any person in violation of the provisions of this chapter shall, upon conviction thereof, be punished by a fine not to exceed five hundred (500) dollars or imprisoned in the County Jail not to exceed one year or both and each such violation shall constitute a separate offense.
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Legislative Area/Intent	Municipality - Town and Country, Missouri
Purpose	Explosives Code Details
Definitions	N/A
Classes of Explosives	N/A
Restrictions	As of November 15, 1995 it was determined that it would be detrimental to the public welfare to allow blasting within the city limits of the City of Town and Country.
Getting a Blasting Permit	N/A
Insurance	N/A
Fees	N/A
Rules and Regulations	N/A
Reporting Requirements	N/A
Violation of Inspection	N/A
Penalties	N/A

Legislative Area/Intent	Municipality - St. Peters, Missouri (Ordinance 4827 - Approved July, 2007)
Purpose	Explosives Code Details
Definitions	<p><u>Explosive:</u> Any chemical compound, mixture or device, the primary or common purpose of which is to function by explosion</p> <p><u>Uncontrolled structures:</u> Any building not blasting site owner or blasting user controlled</p> <p><u>Structure:</u> Any permanent, manmade building or other improvement including, but not limited to, any dwelling, building, office, school, church, bridge, culvert, dam, tower, utility; lines and pipes or roadway.</p>
Classes of Explosives	N/A
Restrictions	N/A
Insurance (Indemnity Bond Required)	<p>Before any permit is issued to do blasting, the applicant for such permit shall file evidence of sufficient comprehensive general liability insurance to indemnify the City, and its inhabitants against any damages arising from blasting; said liability insurance shall be provided by a responsible company licensed to do business in the State of Missouri and shall have minimum coverage of five hundred thousand dollars (\$500,000.00) per person, one million dollars (\$1,000,000.00) per occurrence, five hundred thousand dollars (\$500,000.00) property damage, with an umbrella coverage of two million dollars (\$2,000,000.00). The insurance certificate, including a rider specifically covering the insured for doing blasting (blasting collapse and underground), shall be required with the permit application. In specific cases where blasting is being proposed within one thousand (1,000) feet of any dam, and additional rider with an endorsement of increased limits for specific job shall be required at the sole discretion of the Building Commissioner.</p>
Getting a Blasting Permit (Application Requirements)	<p>The permit application shall be submitted in a manner satisfactory to the Building Commissioner and shall contain:</p> <ul style="list-style-type: none"> • Name and address of the permit applicant • A statement of whether the applicant, or any Persons controlled by or under common control with the applicant has ever held a blasting permit in any State of political subdivision within the five (5) year period prior to the date of submission of the application that has been suspended or revoked • A legal description of the land which the applicant has the right to enter and commence blasting and a copy of the documents upon which the applicant bases its legal right to enter and commence blasting on the area affected • Accurate maps, generally to a scale of one (1) inch to two hundred (200) feet, clearly showing: • The Land to be affected by the blasting during the period of the permit, including all boundaries of the land to be affected; and locations of all structures within the permit area, in all directions

	<p>for a distance of one thousand (1,000) feet.</p> <ul style="list-style-type: none"> • A restoration statement to be approved by the Building Commissioner that includes an estimated schedule of the restoration of the permit area to its original state and topography or to a state and topography agreed upon by the Building Commissioner and permittee
Fees	The fee for a blaster's permit shall be \$75.00
Rules and Regulations	<p>All blasting shall be conducted so as to prevent injury to persons and damage to public or private property outside the permit area.</p> <p>Before firing any blast, all means of access to the danger zone (the extent of which shall be determined by the blaster, but in no case to be closer to the explosion than the blaster himself/herself or three hundred (300) feet, whichever is more) shall be effectively guarded to exclude all unauthorized personnel.</p> <ul style="list-style-type: none"> • When the point of explosion is within three hundred (300) feet of a roadway, the blaster shall, just prior to the blast, designate a sufficient number of employees of the operator, each carrying a red warning flag, to stop all vehicular and pedestrian traffic on each possible route of travel within three hundred fifty (350) feet of the point of explosion until the blast has been fired. • Immediately following the blast, the area shall be examined by the blaster for evidence of misfired charges
Reporting Requirements	<p>A complete record shall be kept by the blaster showing the number of holes, the amount of explosive used per hole, amount of explosive used per delay, length of delay, all misfires and method of disposal or misfires.</p> <p>A summary of the records for each blast, including seismograph reports, shall be submitted to the Building Commissioner at weekly intervals for blasts occurring during the previous week. The record shall contain the following for each blast:</p> <ul style="list-style-type: none"> • Name of permittee conducting the blast • Location, date and time of blast • Testing locations • Affidavit of company monitoring the blast certifying the accuracy and truth of the reading obtained from the seismograph
Notification Requirements	<p><u>Abutter Notification:</u> The applicant shall notify all landowners and owners of public water and sewer facilities within one thousand (1,000) feet of the proposed blasting operation. Notice shall be sent by the United States Postal Service Certified Mail at least ten (10) calendar days prior to the intended date of the commencement of blasting operations. Notice shall also be published in a newspaper of general circulation at least ten (10) calendar days prior to the date of blasting operations.</p> <p><u>Abutter Notice Contents:</u> The abutter notice shall include blasting schedule, a description of the blasting signals to be used during operation, an address and telephone number where property owners may request further information and additional notification, information about the no cost per-blast survey required below, and the offer to provide further information upon written request by the affected party, with copy of such request to the City of St. Peters.</p> <p><u>Newspaper Notice Contents:</u> The newspaper notice shall include the</p>

	<p>blasting schedule, a description of the blasting signals to be used during operation, an address and telephone number where property owners may request further information and additional notification.</p>
<p>Pre-Blast Survey Requirements</p>	<p>Prior to blasting, and in conjunction with abutter notification, the applicant shall agree to compensate the qualified person retained by the City perform pre-blast surveys on all structures within one thousand (1,000) feet of the blasting area. The survey shall include view documentation of any pre-existing conditions of the inside and the outside of each structure. At least three documented attempts via the United States Postal Service shall be made; the first via first class mail, with the second and third attempts via certified mail - return receipt requested , prior to the abutter being deemed non-responsive</p>
<p>Penalties/ Violations</p>	<p>Any permittee who violates any other provision of this Section may be assessed a penalty and/or have his/her permit revoked and future permits refused. Such penalty shall not exceed five hundred dollars (\$500.00) and/or thirty (30) days imprisonment of reach violation. Each blast may be deemed a separation violation for purposes of penalty assessments.</p> <p>The Building Commissioner shall have the power to suspend or revoke any permit granted under the terms and conditions of this section for any of the following causes:</p> <ul style="list-style-type: none"> • Any fraud, misrepresentation or false statement contained in the application for permit or blast records and any violation of this section <p>The Mayor and Board of Alderman shall have the power to:</p> <ul style="list-style-type: none"> • Hear appeals from any decision of the Building Commissioner • Issue subpoenas and all necessary processes • Require the production of papers • Administer oaths • Take testimony • Make findings thereon <p>The Mayor and Board of Alderman shall conduct a hearing prior to considering the appeal of any revocation or suspension by the Building Commissioner.</p> <p>A notice of the suspension or revocation of a permit shall be given by the Building Commissioner in writing, setting forth specific reasons for the suspension or revocation of the permit. Such notice shall be mailed, by certified mail, return receipt requested to the permittee at their last known address. Permittee shall have thirty (30) days from the date of mailing of such notice to appeal the decision of the Building Commission to the Mayor and Board of Alderman. The Mayor and Board of Alderman shall notify permittee of the hearing thereon at least ten (10) calendar days prior to the date set for such hearing. As an alternative, all notices hereunder may be delivered to the permittee by personal service. All decisions of the Mayor and Board of Alderman shall be final.</p> <p>Upon the revocation or suspension of a permit, no refund of any portion of the permit fee will be made to the permittee, and the permittee shall cease all blasting operations immediately.</p>

Legislative Area/Intent	Municipality - St. Charles County, Missouri (Approved February 1998)
Purpose	Explosives Code Details
Definitions	<p><u>Explosives and explosive materials</u> - when used herein shall mean gunpowder used for blasting, all forms of high explosives, fuses, detonators and other detonating agents, smokeless powders, and any chemical compounds or mechanical mixture that is commonly used or intended for the purpose of producing an explosion containing any oxidizing and combustible units or other ingredients in such proportions, quantities, or packing, that ignition by fire, friction, by concussion, by percussion, by detonation of, by any part of the compound mixture may cause such a sudden generation of highly heated gasses that the resultant gas pressures are capable of producing destructive effects on contiguous objects or of destroying life or limb; but explosives shall not include small arms ammunition, gasoline, kerosene, or oils, greases, or other petroleum products intended for lubrication purposes.</p> <p><u>Director</u>: Shall mean the Director of the Buildings Department of St. Charles County, Missouri, and shall include authorized agents of the County Building Department.</p>
Classes of Explosives	<p><u>Class A, high explosives</u>: those possessing detonating qualities such as dynamite, nitroglycerin, picric acid, lead azide, and fulminate of mercury, smokeless powder, blasting caps, and detonating primers.</p> <p><u>Class B, low explosives</u>: those explosives not otherwise specified herein as Class A explosives, but not limited to, explosives presenting a flammable hazard such as propellant.</p> <p><u>Uncontrolled structures</u>: shall mean any building not owned or controlled by the explosives user.</p>
Restrictions	Unlawful for any person to explode, or cause to be exploded any gunpowder, dynamite, giant powder, gun cotton, or other explosives between the hours of 6 PM to 8AM
Getting a Blasting Permit	<p>A permit is required from the Director, to explode or cause to be exploded, any gunpowder, dynamite, giant powder, gun cotton or other explosive for the purpose of blasting out rock, gravel, earth, or other like substance within the County.</p> <ul style="list-style-type: none"> • No person shall use or detonate explosives unless he/she is in possession of a valid license, obtained for the Director, to use explosives for blasting purposes. This license shall be known as a blasters license. Such qualifications shall take into consideration age, training, education, and experience in the knowledge and use of explosives and shall include a written examination. • The handling of explosives may be performed by other employees proved the work is done under the direct supervision of the person hold the permit to use explosives and provided in such employees are at least twenty-one (21) years of age. <p>Application for blasting permit shall include: name, address, place of business, occupation, age, location of where the blasting is to be done, the type of blasting materials to be used in each charge, the maximum charge</p>

	with the required delay, and approximate location of charges and the manner in which the material is to be detonated, the approximate times and dates of blasting, and blasters license number. A blasting permit shall only be valid for a period not to exceed 90 days, unless it is an on-going mining operation.
Insurance	\$1,000,000.00 - minimum amount of certificate of liability insurance for injury to persons and property resulting for the blasting operations. Such insurance shall be carried in a firm or corporation which has been duly licensed or permitted to carry on such business in the State of Missouri and shall be kept and maintained continuously in force and effect of the duration of the blasting permit
Fees	The fee for an annual blaster's license shall be \$100.00 Blasting permit, per location: \$100.00
Rules and Regulations	Director shall have the power and it shall be his duty to revoke the blasting permit issued in connection with the operation, revoke the license of the blaster in charge, and violators may be punished for violations thereof: <ul style="list-style-type: none"> • Blasting shall be carried on with the smallest number of persons present • When the point of explosion is within three hundred (300) feet of a roadway, the blaster shall, just prior to the blast, designate a sufficient number of employees, each carrying a red warning flag, to stop all vehicular and pedestrian traffic on each possible route of travel within three hundred (350) feet of the point of explosion until the blast has been fired • Immediately following the blast the area shall be examined for evidence of misfired charges • A complete record shall be kept by the blaster showing all misfires and method of disposal • Seismographic instrumentation shall be required on any blast site where the nearest uncontrolled structure or public utility is located within a scaled distance of sixty-five (65) feet. The seismograph shall be place at or near the closest uncontrolled structure(s)
Reporting Requirements	A record known as a log shall be kept for every blast. This log shall be made available to the Director or his authorized agents upon demand. This record shall be maintained and available for inspection for a period of six (6) months after such blasting operations are completed. Minimum recorded data shall be as follows: <ul style="list-style-type: none"> • Amount of explosives used (weight). • Kind of blasting caps • Weather conditions • Date and time of firing blast • Name of person responsible charge of loading and firing • Name and location of blasting site Any falsification, alteration or misrepresentations of any records of blasting operations will be cause for suspension or revocation of blasting permits and blaster's license.

Violation of Inspection	If upon inspection a violation of this chapter is found to exist, the Director shall file with the person holding the permit a notice citing the violation and ordering its correction. If such order is not complied with within the timer period specified in the notice, which may require immediate compliance, the Director may suspend any permit or license issued to the person involved. Nothing herein relating to revocation of permits shall be construed to abrogate or suspend any proceedings against or persecution of the violator which may be instituted against the violator under the provisions of the Explosives Code
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Legislative Area/Intent	Municipality - O' Fallon, Missouri (Adopted and Approved from St. Charles County, June 2004)
Purpose	Explosives Code Details
Definitions	<p><u>Explosives and explosive materials</u> - when used herein shall mean gunpowder used for blasting, all forms of high explosives, fuses, detonators and other detonating agents, smokeless powders, and any chemical compounds or mechanical mixture that is commonly used or intended for the purpose of producing an explosion containing any oxidizing and combustible units or other ingredients in such proportions, quantities, or packing, that ignition by fire, friction, by concussion, by percussion, by detonation of, by any part of the compound mixture may cause such a sudden generation of highly heated gasses that the resultant gas pressures are capable of producing destructive effects on contiguous objects or of destroying life or limb; but explosives shall not include small arms ammunition, gasoline, kerosene, or oils, greases, or other petroleum products intended for lubrication purposes.</p> <p><u>Director</u>. Shall mean the Director of the Buildings Department of St. Charles County, Missouri, and shall include authorized agents of the County Building Department.</p>
Classes of Explosives	<p><u>Class A, high explosives</u>: those possessing detonating qualities such as dynamite, nitroglycerin, picric acid, lead azide, and fulminate of mercury, smokeless powder, blasting caps, and detonating primers.</p> <p><u>Class B, low explosives</u>: those explosives not otherwise specified herein as Class A explosives, but not limited to, explosives presenting a flammable hazard such as propellant.</p> <p><u>Uncontrolled structures</u>: shall mean any building not owned or controlled by the explosives user.</p>
Restrictions	Unlawful for any person to explode, or cause to be exploded any gunpowder, dynamite, giant powder, gun cotton, or other explosives between the hours of 6 PM to 8AM
Getting a Blasting Permit	<p>A permit is required from the Director, to explode or cause to be exploded, any gunpowder, dynamite, giant powder, gun cotton or other explosive for the purpose of blasting out rock, gravel, earth, or other like substance within the County.</p> <ul style="list-style-type: none"> • No person shall use or detonate explosives unless he/she is in possession of a valid license, obtained from the Director, to use explosives for blasting purposes. This license shall be known as a blasters license. Such qualifications shall take into consideration age, training, education, and experience in the knowledge and use of explosives and shall include a written examination. • The handling of explosives may be performed by other employees provided the work is done under the direct supervision of the person hold the permit to use explosives and provided in such employees are at least twenty-one (21) years of age. <p>Application for blasting permit shall include: name, address, place of business, occupation, age, location of where the blasting is to be done, the type of blasting materials to be used in each charge, the maximum charge</p>

	with the required delay, and approximate location of charges and the manner in which the material is to be detonated, the approximate times and dates of blasting, and blasters license number. A blasting permit shall only be valid for a period not to exceed 90 days, unless it is an on-going mining operation.
Insurance	\$1,000,000.00 - minimum amount of certificate of liability insurance for injury to persons and property resulting for the blasting operations. Such insurance shall be carried in a firm or corporation which has been duly licensed or permitted to carry on such business in the State of Missouri and shall be kept and maintained continuously in force and effect of the duration of the blasting permit
Fees	The fee for an annual blaster's license shall be \$100.00 Blasting permit, per location: \$100.00
Rules and Regulations	Director shall have the power and it shall be his duty to revoke the blasting permit issued in connection with the operation, revoke the license of the blaster in charge, and violators may be punished for violations thereof: <ul style="list-style-type: none"> • Blasting shall be carried on with the smallest number of persons present • When the point of explosion is within three hundred (300) feet of a roadway, the blaster shall, just prior to the blast, designate a sufficient number of employees, each carrying a red warning flag, to stop all vehicular and pedestrian traffic on each possible route of travel within three hundred (350) feet of the point of explosion until the blast has been fired • Immediately following the blast the area shall be examined for evidence of misfired charges • A complete record shall be kept by the blaster showing all misfires and method of disposal • Seismographic instrumentation shall be required on any blast site where the nearest uncontrolled structure or public utility is located within a scaled distance of sixty-five (65) feet. The seismograph shall be place at or near the closest uncontrolled structure(s)
Reporting Requirements	A record known as a log shall be kept for every blast. This log shall be made available to the Director or his authorized agents upon demand. This record shall be maintained and available for inspection for a period of six (6) months after such blasting operations are completed. Minimum recorded data shall be as follows: <ul style="list-style-type: none"> • Amount of explosives used (weight). • Kind of blasting caps • Weather conditions • Date and time of firing blast • Name of person responsible charge of loading and firing • Name and location of blasting site Any falsification, alteration or misrepresentations of any records of blasting operations will be cause for suspension or revocation of blasting permits and blaster's license.

Violation of Inspection	If upon inspection a violation of this chapter is found to exist, the Director shall file with the person holding the permit a notice citing the violation and ordering its correction. If such order is not complied with within the timer period specified in the notice, which may require immediate compliance, the Director may suspend any permit or license issued to the person involved. Nothing herein relating to revocation of permits shall be construed to abrogate or suspend any proceedings against or persecution of the violator which may be instituted against the violator under the provisions of the Explosives Code
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June 21, 2016

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members

From: Department of Planning and Parks

Re: **Park and Stormwater Sales Tax**

Cc: The Honorable James R. Bowlin, Mayor
Administration/Public Works Committee Members of the City of Wildwood
Ryan S. Thomas, P.E., City Administrator
John A. Young, City Attorney
Rick Brown, P.E. and P.T.O.E., Director of Public Works
Kathy Arnett, Assistant Director of Planning and Parks
Gary Crews, Superintendent of Parks and Recreation

Introduction ♦♦♦

As the City approaches its twenty-first anniversary, a great deal has changed in terms of the number of park facilities and the amount of recreation programming available within this community. In the early years of the City, Wildwood had no park properties of its own, and offered only a Summer Concert Series for its residents. With each year, and under the direction of the City Council, the number of park facilities has increased to a total of twelve (12) separate holdings and over ninety (90) recreation events, tailored to the residents of Wildwood, have been developed and implemented. As the facilities and programs have increased, so has the budget for maintaining these items and conducting this range of programs. With 2017 rapidly approaching, the need to address the funding of park facilities and recreation activities was determined by the City Council to be a priority. In fact, one of the main goals established by the City Council in 2015, as part of its five (5) year strategic planning session, was to 'Implement the Parks and Recreation Action Plan.' This goal includes the Objective 'Determine Means for Funding Future Parks and Trails.'

This funding issue was originally identified by the City Council in 2007, as part of the budgeting process that is undertaken annually. Although funding existed for all programs and budgeted items during this process for 2008, the City Council, in response to the then recently adopted Action Plan from the Citizens Committee for Park Progress, expressed a desire to undertake an expanded effort in the area of parks and recreation to meet the four (4) major goals of the aforementioned plan. This decision led to a discussion on how best to fund this desired growth and also meet the goals of the Action Plan in this same regard. After discussion and further review of the survey information completed as part of the development of the Action Plan, a decision was made to present a sales tax proposal to Wildwood residents in 2008. In support of this effort, money was set-aside in the 2008 Budget for the election to be held.

Through the work of the City Council and staff and a volunteer promotion effort by a group of residents not affiliated with the City, this item was placed on the November 2008 General Election, which was also a Presidential Election. A number of other funding requests were on this ballot (six), and with the beginning of

The Great Recession, voters did not support this sales tax at that time. The vote was very close [9,226 yes votes (47.2%) to 10,317 no votes (52.8%)] and, now with the improvement in the economy and the development of the Community Park, the time has come to again determine if this sales tax should be placed on an upcoming ballot. Due to the upcoming Presidential Election to be held in November 2016, and the lack of success on a similar ballot eight (8) years ago, if the Committee wishes to pursue this tax, staff is recommending placing this item on the ballot no earlier than April 2017.

To move forward with this election issue relating to a local parks sales tax, the Department has prepared this memorandum for the Committee's review and comment regarding the key components of this initiative and the steps that must be undertaken for a 2017 election date. These components are certainly not the complete list, but are several areas of consideration at this stage in the process.

Justification for the Request ♦♦

The development of a sustainable and substantial revenue source for parks and recreation purposes is a goal of many communities, including the City of Wildwood. With this type of revenue source, parks and recreation facilities, programs, and general operation and maintenance costs associated with them are not competing with other public services for limited revenues. Therefore, to move forward with ambitious plans for the development of facilities and increases in programming, this type of revenue source is essential. Acknowledging this situation, the City can develop program facilities and programs commensurate with its resources.

This goal of finding a sustainable and substantial revenue source for parks and recreation has been discussed for years, starting with the Citizens Committee for Park Progress. This committee was charged by the City Council to develop a set of implementation strategies from the 2001 Parks and Recreation Plan's goals and objectives. The Committee, utilizing a random, scientifically-based survey, noted that a sales tax for park and recreation purposes received the highest level of support in the community. Additionally, other communities in this same area of western St. Louis County had successfully implemented this sales tax and, in most likelihood, Wildwood residents who shop in Chesterfield, Ballwin, and Ellisville are already funding portions of our neighbors' respective park systems. Accordingly, the Citizens Committee for Park Progress endorsed the sales tax as the major funding initiative the City should pursue immediately. Given the direction of the Committee and the adoption of the Action Plan, the presentation of a sales tax to voters in Wildwood was keeping with this process.

The Citizens Committee, in discussing this sales tax option, noted several key characteristics that should be incorporated into a proposal, when submitted to residents. These characteristics included the following: the tax would contain no sunset provision for its removal; the revenues would be directed to parks only, not stormwater projects (a capital improvements tax is currently in place for such); the amount of the tax would be one half of one (1) percent; and the revenues would be used to achieve the goals of the Action Plan. The members of the Committee agreed such characteristics were essential to the submittal of this sales tax to the voters of Wildwood for it to be received successfully at an upcoming election.

The City Council has continually supported the Action Plan, which was adopted in 2007. Following the failure of the first attempt at having the sales tax passed in 2008, the City Council has continued to budget money each year to increase the City's park holdings, develop their level of improvements, and offer additional and expanded programs. In March 2015, the City Council held a strategic planning session to create its 5-Year Strategic Goals and Objectives (2015-2019). This full day session culminated in the creation of five (5) goals the members wished to attain over the next five (5) years. As mentioned previously, one of these goals was

the implementation of the Action Plan, including determining a means of funding future parks and trails. This sales tax could be the funds the City Council is seeking.

Sales Tax Language ♦♦♦

State Statute authorizes cities to place a sales tax proposal for local parks and stormwater projects before their voters. Additionally, this same legislation contains the specific phrase that must be included as part of the official ballot, which is: “Shall the municipality (county) of impose a sales tax of (insert amount) for the purposes of providing funding for (insert storm water control, or local parks, or storm water and local parks) for the municipality (county)?” Therefore, the City can submit such a request to voters and will follow all requirements of that statute.

The City can include additional information, as part of the ballot language, but this phrase minimally has to be retained as part of it. Many municipalities, particularly those having successfully received voter approval of a sales tax for local parks, provide additional language that appears to ensure a minimum level of information for voters is available on the ballot. This approach would appear to be best for the City as well, given its size and on-going concerns about reaching residents with important information. An example of the language the ballot could include would be as follows:

Shall the City of Wildwood, Missouri impose a sales tax of one-half of one (1) percent (½ of 1%) for the purpose of providing funding for local parks within the City of Wildwood, Missouri?

The approval of this sales tax will authorize the levy of one-half of one (1) percent (½ of 1%), in addition to other sales tax in the City of Wildwood, Missouri provided for by law, on all retail sales conducted within the City, which are subject to taxation. One hundred (100) percent of the tax that is collected within the City of Wildwood will remain here and no funds will be shared with other municipalities located within St. Louis County, Missouri. If the sales tax is approved, the City may apply these revenues to the following projects: (1.) further development of its community-size park with active recreation facilities; (2.) development of additional neighborhood parks; (3.) development of additional trail corridors; and (4.) development of additional recreation programs. This sales tax authorization would have no sunset provision.

Process ♦♦♦

The Missouri Park and Recreation Association has developed a handbook called “Missouri’s ½ Cent Parks/Stormwater Sales Tax” and within this document an article was provided addressing how to successfully pass a sales tax initiative in your community. The author of this article was Dave Ostland, who at that time (1997) was the Executive Director of the Missouri Park and Recreation Association. In this article, the author describes the minimum necessary steps to achieve a successful outcome for a sales tax proposal for parks and recreation. These steps, with the Department’s commentary, include the following:

Step(s)	Commentary
Determine the percentage of sales tax paid by non-residents.	Will be completed by Department of Planning and Parks
Consider “rolling back” a portion of your property tax.	City of Wildwood has no property tax. Not applicable to the City, in this case.
Carefully weigh the pros and cons of including a sunset provision.	Citizens Committee for Park Progress recommended in <u>Action Plan</u> no sunset provision be included on a sales tax proposal.

Step(s)	Commentary
Be forthright with your voters.	Agreed.
Form a citizen committee.	See discussion below.
Neutralize the opposition.	Agreed.
Use the media.	Agreed.
Communicate to your voters how little they will pay per year.	Agreed.
Use all of the effective arguments you can.	Agreed.
Avoid being on the ballot with other tax issues.	Citizens Committee for Park Progress recommended in Action Plan the November 2008 Election be chosen for submittal of the request. With the failure of this vote, Department is recommending scheduling at a municipal election no earlier than April 2017.
Get an early start.	Agreed.

According to the author, if communities can complete these steps, where applicable, a successful outcome becomes more of a reality.

All of these steps should be considered and, where determined appropriate, implemented. Again, of these steps, the Department would note the critical need for a group of citizens to lead this process is the most important. This group would be ambassadors of the proposal and advocate the benefits of the tax to fellow residents. This role is critical, since the City is limited in what it can do, given it can only provide information; but not promote it.

Since the completion of the [Action Plan](#) by the Citizens Committee for Park Progress, many in the group have talked about the need to assist in the presentation of this tax issue to the community of Wildwood. This group of residents that formed the Committee would be an excellent resource and could fill this role as well. Additionally, Citizens for Wildwood, the group who led the 2008 effort, which has been an effective advocacy group on other City issues, could also be asked to undertake this role or assist with other groups. Other entities, like church groups, school groups, fraternal orders, and recreation associations, could all have a major role in promoting this effort to residents in the City of Wildwood. Discussions would need to be held with these individuals and groups to determine their support in and, if agreeable, prepare a common message for presentation by them to the community at large. Again, the City could provide information for the preparation of these materials to any participating groups.

Next Steps ♦♦♦

The Committee needs to identify those major components described herein in terms of support, but of them all, the most important may be how the funds would be used for the purposes of parks and recreation. Once consensus is reached on this matter, ballot language can be finalized and information relating to these items can be prepared. The next step is to form the committee of residents to promote the sales tax issue and begin regular meetings with them to prepare materials and the overall message for the community. Much of this work should be completed no later than by the end of 2016, so the ballot issue can be filed with the St. Louis County Board of Election Commissioners, in compliance with its date. Therefore, much work needs to be accomplished over the next few months.

Other ♦♦♦

The Department can provide more background on this matter at tonight's meeting, if members have specific questions in this regard. If any of the Committee Members should have other questions or comments before tonight's meeting about this information, please feel free to contact the Department of Planning and Parks

at (636) 458-0440. A presentation is planned on this matter at tonight's meeting. Thank you for your review of this information and participation in tonight's discussion.



June 21, 2016

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members

From: Department of Planning and Parks

Re: **KOHN PARK SIGNAGE DESIGN**

Cc: The Honorable James R. Bowlin, Mayor
Administration/Public Works Committee Members of the City of Wildwood
Ryan S. Thomas, P.E., City Administrator
John A. Young, City Attorney
Rick Brown, P.E. and P.T.O.E., Director of Public Works
Kathy Arnett, Assistant Director of Planning and Parks
Gary Crews, Superintendent of Parks and Recreation

On December 23, 1996, the City of Wildwood accepted a donation of a property for a future park from Edward R. Kohn, Mark Adolphus, and Paul Londe, which was located at the foot of the bluff in the Wildwood portion of the Chesterfield Valley. This property was, and is, bordered by North Eatherton Road and Centaur Road on three (3) sides, while a set of railroad tracks also traverse along the property's entire northern boundary. Additionally, the property is also located in the Chesterfield-Monarch Levee District. Although the eastern tip of the property is very narrow, it has an overall size of approximately three (3) acres, with the western one-third of the site being heavily wooded.

The City accepted this donation for a number of reasons and received a grant from the State of Missouri to add a picnic table, trash receptacle, and bicycle rack within it for the purposes of the riding community that utilizes these area's roadways for recreation. Unfortunately, shortly after the equipment was installed, the trash receptacle and bicycle rack were stolen, and the City removed the picnic table and relocated it to Old Pond School. As part of this project, the City also installed the required monument sign at the property, which recognized the donation of the property in honor of Louis T. Kohn – Edward Kohn's father.

The sign was retained for a number of years, but began to deteriorate badly and had to be removed. When the sign was removed, the Planning/Economic Development/Parks Committee was

in the process of developing a palette of signs for its public park holdings, so an immediate replacement was not installed. Over time, the sign remained missing from the park, given decisions regarding its future development and where best to place it. Accordingly, the sign now has not been in place for many years and, more recently, an opportunity has presented itself via the Historic Preservation Commission that might address this matter at this park property. It is important to note the City recently installed the historic marker for the Monarch Historic Community in Kohn Park (April 2016).

At the April meeting of the Historic Preservation Commission, one of the members noted the Historic Community Marker planned for the Centaur Area might be considered for a different design than the other ten (10) historic locations, more so designed to reference the long history of the railroad in this area. The design would use a rail from the historic KATY railroad that is available and, with some metalworking and blacksmithing, form the post to hold the sign from this material. A design sketch of this proposal is included with this memorandum. The Commission considered this information further at its May 2016 meeting and decided not to utilize this design for the Centaur Historic Community Marker, but noted its uniqueness and desire to recognize the thought provided in creating it.

While discussing the matter at this May 2016 meeting, an idea was offered to use this design for the sign at Kohn Park. The railroad right-of-way is the same at both of these historic locations and the design would fit at this park location well. The Department did note to the Historic Preservation Commission the need to address the signage aspect at this park property and, with the cost estimate for the design and fabrication of the post to be less than two thousand dollars (\$2,000.00), this approach might be an excellent solution for the area. Before any decision could be made, the Department advised the Historic Preservation Commission members the matter must first be presented to the Planning/Economic Development/Parks Committee for consideration and recommendation.

Accordingly, the Department is presenting this design option to the Committee for its consideration and input. Again, the sign for Kohn Park would be different than any other in the City of Wildwood, but reflect a very historic approach for the post for any future sign. The sign would have to be almost identical, at least in size and shape to the City's historic community markers, but the Department does believe certain changes to the character of it can be made to better distinguish it from the others. It is the opinion of the Department that, with appropriate design and placement, a post of this nature, with sign, would be uniquely Wildwood in this area of the City and cost approximately five thousand dollars (\$5,000.00) for all components, including installation. Therefore, the Department is seeking the direction of the Committee in this regard.

If any of the Committee Members have questions or comments about this information, please feel free to contact the Department of Planning and Parks at (636) 458-0440. A presentation of this information is planned on this item at tonight's meeting. Thank you for your consideration of this information and providing direction on the same.



June 21, 2016

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members

From: Department of Planning and Parks

Re: **Community Park - Phase Three**

Cc: The Honorable James R. Bowlin, Mayor
Administration/Public Works Committee Members of the City of Wildwood
Ryan S. Thomas, P.E., City Administrator
John A. Young, City Attorney
Rick Brown, P.E. and P.T.O.E., Director of Public Works
Kathy Arnett, Assistant Director of Planning and Parks
Gary Crews, Superintendent of Parks and Recreation

Although progress on the completion of Phase Two of the Community Park has slowed due to utility-related issues relative to the interior roadway's planned location and connection to the Pond-Grover Loop Road, the Department continues to identify next steps in the overall building process for this one-of-a-kind facility. It is important to note these utility issues are under discussion with the appropriate parties, but, as has been noted, will delay construction beyond the anticipated completion of summer's end. Despite this delay, the Department has begun the planning for Phase Three of the project, which is funded in 2016 for design and engineering services, so bidding could conceivably begin in 2017 for construction in that same year or 2018.

In preparing to discuss this next phase of the Community Park's development, the Department would first note that the Planning and Zoning Commission and City Council have approved a comprehensive Concept Plan in 2011 for this type of guidance. The planning process used to create this plan included a citizen committee that studied the matter for almost one (1) year and produced a report, which included the aforementioned plan. The outcome of this process was the acknowledgement that Community Park would have to be developed in phases, given the size of the property, the desired and identified improvements, and the overall cost with them.

The Concept Plan for Community Park indicates a total of seven (7) phases, of which the next for consideration is Phase Three. Phase Three of the overall development of this facility, according to

the plan, is another pavilion area, similar to Phase One in the Glade Area, but located within the north end of the site, and including the following items:

1. Electrical services and other utilities
2. Restrooms
3. Parking improvements
4. Work in the Great Meadow Area

Subsequent phases then are identified with further improvements away from the central area of the property.

The Department is certainly not advocating a direction from the Concept Plan; however, in this next phase, it would like to reorder them to allow for this work to include a perimeter, multiple use trail that would include additional parking facilities and the on-going work in the Great Meadow Area, which started in the current Phase Two project. These components have been studied over the last few months and the Department has a preliminary design, along with a proposal for its design/engineering services from Oates Associates. The availability of this information would also allow the City to apply for potential grant funding from the St. Louis County Municipal Park Commission, which is providing part of the funds for the aforementioned Phase Two Project at this time. Grant funding is one (1) of the methods the Action Plan - Parks and Recreation Plan 2007 identifies as preferable for the City to pursue and use, whenever possible.

The benefits of this project are many-fold, but for the Department, it believes the most important of them all is this trail which will provide a window into the remainder of the park, which few people know exists, given the lack of access to it. Therefore, by providing a functional and safe trail system, which will ultimately link to Phase One of the park to the existing trail system that connects to surrounding areas to the east. Along with this benefit, the completion of the preparatory work in the Great Meadow Area will provide several acres of passive green space for informal play. These additional use areas will be supported by new parking facilities, so need spaces can be accommodated in the locations of high use and need. Collectively, these improvements, when completed, will provide the first full access, via on foot, to the entire park site.

The Department is seeking direction from the Committee on this next phase of development in Community Park. Again, to support this discussion at tonight's meeting, the Department is providing the final deliverable from the consulting firm that completed the Concept Plan for this park. This final deliverable from Oates Associates provided the details needed to understand all of the phases and the financial considerations associated with them as well. If any of the Committee Members have questions or comments about this information, please feel free to contact the Department of Planning and Parks at (636) 458-0440. A presentation of this information is planned on this item at tonight's meeting. Thank you for your consideration of this information and providing direction on the same.



ILLINOIS
Eastport Business Center 1
100 Lanter Court, Suite 1
Collinsville, IL 62234
tel 618.345.2200
fax 618.345.7233

MISSOURI
Laclede Gas Building
720 Olive, Suite 700
St. Louis, MO 63101
tel 314.588.8381
fax 314.588.9605

www.oatesassociates.com

November 18, 2015

Joe Vujnich
City of Wildwood
Director of Planning and Parks
183 Plaza Drive
Wildwood, MO 63040

Re: Phase 3 - Community Park
Great Meadow and Multi-Use Path

Dear Mr. Vujnich:

We propose to render professional design services in connection with Phase 3 of the Community Park, which involves the multi-use path from the Pond Grove Loop Road extension to the parking lot and developing the Great Meadow (hereinafter called the "Project").

Our Basic Services will consist of providing a topographic survey, preliminary design, construction documents, part-time construction administration, and permit applications, all as set forth in the attached "Exhibit A: Scope of Work and Estimated Schedule". Oates Associates will manage and perform all the work in this proposal, with Nelson Byrd Woltz will providing landscape architecture and DJM Ecological Services, Inc. providing site specific weed eradication, seed mixes, and stewardship programs for the Great Meadow.

You agree to pay us for our Basic Services and any authorized Additional Services at the hourly rates set forth on Exhibit B. Billings for Basic Services are estimated at \$136,000.

If Additional Services are requested to address an unforeseen condition or to address a City initiated design change, we will provide the service for an additional fee and bill for the time on an hourly basis using the rates shown in Exhibit B. We will not provide any Additional Services that increases the contract amount without prior approval from the City.

If this proposal and Scope of Work satisfactorily sets forth your understanding of our agreement, we'll incorporate it into the City's "Consultant/ Services Agreement" using this letter as an attachment. This proposal will be open for acceptance until February 29, 2016, unless changed by us in writing.

Sincerely,

OATES ASSOCIATES, INC.

Thomas L. Cissell III, PE, LEED AP
Project Manager

David M. Oates, PE
Project Principal

Accepted this _____ day of _____, 2015.

By: _____

Title: _____

EXHIBIT A
HOURLY RATE SCHEDULE

Principal Engineer	205.00
Senior Professional II	175.00
Senior Professional I	155.00
Professional IV	145.00
Professional III	135.00
Professional II	120.00
Professional I	105.00
Junior Professional	85.00
Technician III	115.00
Technician II	100.00
Technician I	80.00
Technician Intern	50.00

The above hourly rates are effective as of July 1, 2015 and are subject to adjustment annually.

GENERAL CONDITIONS

EXHIBIT A

Scope of Work and Estimated Schedule

Task 1: Field Survey - 3,100' long road trail, 12-acre Great Meadow (est. \$24,000 - starting in February).

- Task 1.1: Call in utility locates and review the utility marks in the field
- Task 1.2: Walk the potential trail alignment to set creek crossing location and survey limits.
- Task 1.3: Set horizontal and vertical control points for the survey.
- Task 1.4: Tie in existing topography along 3,100'-long multi-use path, at the Bonhomme Creek crossing, and in the 12-acre meadow.
- Task 1.5: Create the design background drawing by drawing the existing survey data in CAD.
- Task 1.6: Field review the survey drawing, identify specimen trees, and edit the drawing accordingly. NBWLA will tag trees to save and flag the meadow boundary.

Task 2: Design Development (est. \$44,000 starting in March)

- Task 2.1: Kick-off/ coordination meeting with client to confirm goals and expectations
- Task 2.2: Create an existing conditions/ removal plan along the path and meadow using specimen trees.
- Task 2.3: Develop pavement structures and typical sections for the multi-use path.
- Task 2.4: Set multi-use path alignments – horizontal and vertical.
- Task 2.5: Using the alignments, cut cross sections along the path to determine earthwork and clearing limits.
- Task 2.6: Coordinate Great Meadow concept plans with our subconsultants – NBWLA and DJM Ecological
- Task 2.7: Incorporate concept plans into a grading plan for the meadow to determine seeding limits, estimate earthwork, and identify clearing limits.
- Task 2.8: Perform storm water conveyance computations including:
 - Design of six cross-trail pipe culverts
 - Design trailside ditches and swales across the meadow.
 - Design storm water dissipation pads (stone rip rap) at culvert outfalls.
- Task 2.9: Perform a floodplain study to ensure the floodplain elevation is not affected by the creek crossing.
- Task 2.10: Develop erosion control plans.
- Task 2.11: Develop preliminary creek crossing plans for hydraulic models and City meeting (Task 2.14).
- Task 2.12: Develop preliminary construction cost estimates.
- Task 2.13: Submit the preliminary plans and concepts to the City for review and approval.
- Task 2.14: Review the creek crossing structure with the Architecture Review Board (ARB) at one meeting. The crossing type will be confirmed before moving into the Construction Document phase.

Task 3: Construction Documents (est. \$35,000 starting in May)

- Task 3.1: Develop construction documents including:
 - Cover and general notes sheets.
 - Existing conditions and demo plans.
 - Tree protection plans.
 - Typical sections for the multi-use path.
 - Multi-use path plan and profile sheets.
 - Multi-use path cross sections.
 - Great Meadow site plans.
 - Great Meadow grading plans.
 - Structural plans and details for the creek crossing.
 - Landscaping and planting plans for the Great Meadow.
 - Construction Details.
 - Storm Water Pollution Prevention Plans.
- Task 3.2: Prepare permit applications for a MDNR Land Disturbance Permit.
- Task 3.3: Prepare a Corps of Engineers 404 permit application.
- Task 3.4: Prepare permit applications for St. Louis County.
- Task 3.5: Develop project specific specifications.
- Task 3.6: Edit the City's front-end and proposal documents to be specific for this project.

- Task 3.7: Finalize construction quantities and develop final construction cost estimates
- Task 3.8: Submit the pre-final and final plans to the City for review and approval.

Task 4: Bid Assistance (est. \$4,000 starting in August)

- Task 4.1: Upload the construction documents to the plan holder room for distribution.
- Task 4.2: Prepare for, attend, and conduct a pre-bid meeting.
- Task 4.3: Review questions during the bid process.
- Task 4.4: Prepare and issue an addendum to clarify the construction documents as needed during bidding.
- Task 4.5: Review the bids and recommend award.

Task 5: Construction Administration (\$29,000 starting in September and ending in December)

- Task 5.1: Prepare for and conduct a pre-construction meeting. Minutes will be provided.
- Task 5.2: Prepare for and conduct bi-weekly pay/ progress meetings. Minutes will be provided.
- Task 5.3: Review and respond to contractor questions during construction operations.
- Task 5.4: Review material submittals for seed mixes, pavement mixes, top soil, trees, aggregate suppliers, lime dosage rates, the bridge structure, bridge rebar, bridge railing, and other miscellaneous elements.
- Task 5.5: Perform weekly site visits to review progress, document construction operations, help ensure the project is being built according to the plans, and coordinate construction.

The following activities will be part of the site visits:

- Perform quality assurance material testing on concrete, rock, and asphalt.
 - Review the site for construction activity erosion and conduct storm water erosion control inspections.
 - Document construction activities in daily field reports.
 - DJM will review meadow installation proposals and review site preparation.
 - If required, we will document design changes in the plans and specifications. At the end of the project, we will submit as-built drawings and specifications to the City.
- Task 5.6: Conduct a final walk-thru and prepare a punchlist of deficient items for the contractor to address.
 - Task 5.7: Review warranties and provide a certificate of completion to the contractor.

November 11, 2015

Tom Cissell
Oates Associates
100 Lanter Court, Suite 1
Collinsville, IL 62234

Re: Wildwood Community Park, Phase 2- Great Meadow Design Services

Dear Tom,

We are very excited to submit this proposal for design services related to the preparation of the Great Meadow at Wildwood Community Park. We feel a great sense of pride in the design effort to date and believe that the additional phases will only expand the public's capacity to explore and appreciate this remarkable place.

Per our previous conversations, we understand that this phase will not include full implementation of the entire path network for this area, but will incorporate the clearing and meadow establishment and some lawn areas necessary for the eventual design completion. As such, we have kept our proposal focused on the meadow establishment process.

We hope this meets the expectations of both you and the City of Wildwood, please do not hesitate to call with any questions. Should this be agreeable, we presume that we will sign a prepared subconsultant agreement with Oates.

Sincerely,



Breck Gastinger, Senior Associate
Nelson Byrd Woltz Landscape Architects

Community Park Phase II - Meadow Clearing and Preparation

Proposed Duration - 8 weeks

The NBW team will be led by Senior Associate Breck Gastinger, with supporting design staff as needed. Outlined below are anticipated services and projected time frame based on our experience with similar projects and our understanding of the project scope, schedule and budget.

Scope

- Identify meadow extent and layout and identify any trees to remain.
- Review road layout by Oates & Associates.
- Provide conceptual grading plan information for Oates to incorporate into site grading strategy.
- Prepare plan of lawn and meadow areas and layouts of mown paths.
- Review meadow specification, installation strategy, seed mix, and management recommendations by ecological consultant.
- Provide Lawn installation specification and seed mix(es).
- Provide planting plan of any other trees, shrubs, or planting areas within the project bounds.

Permits or presentations to regulatory agencies are not part of the scope of work.

For coordination purposes, we foresee the following scope for DJM Ecological Services:

- Provide guidance on the sequence and process for clearing and meadow planting preparation.
- Prepare meadow specification, installation strategy, seed mix, and management recommendations.
- Review materials prepared by NBW (layout plans, planting plans, and lawn specification) related to success of NWSG meadow.
- Review meadow installation proposals, review site preparation and guide seeding.

Deliverables

- Cad plan of Meadow and lawn extents and path layout
- Conceptual grading strategy
- Planting plan, specification and details

Site Visit, Meetings, and Presentations

- One (1) site visit to tag trees to save and to flag meadow boundary, or, alternatively, to review site staking prior to installation.

Fee

We propose to bill hourly for this project (current rates attached) with a not-to-exceed amount of \$12,940 for these services plus expenses, to be invoiced monthly.

2015 Schedule of Hourly Rates

Nelson Byrd Woltz Landscape Architects

Principal	\$350
Senior Associate	\$200
Associate II	\$180
Associate I	\$160
Designer III	\$140
Designer II	\$120
Designer I	\$100
Technical/Research	\$ 80

Fees for professional services are calculated using the hourly rates listed above.

Travel time is billed at 50% of the regular hourly rate. Expenses are marked up 10% to cover administrative costs.

Rates are subject to change annually.



Ecological Consulting
 Environmental Contracting
 Natural Areas Management
 Custom Seed &
 Plant Propagation
 Prescribed Burning

DJM Ecological Services, Inc.
 2205 Ebert Lane
 Wentzville, Missouri 63385
 djmecological.com
 314.478.2388 Doug
 314.974.4282 Jon
 636.332.9600 Fax

Project:	Wildwood Community Park - Phase 2 Pond Grover Loop Road Extension
Client:	Oates & Associates – Tom Cissell
Location:	Wildwood, MO (109 @ 100)

DJM Ecological Services, Inc. proposes to provide professional consulting services to further the development and deployment of site specific protocols, construction timelines, restoration techniques, seed mixes, installation details, stewardship technique details and unit cost budgetary thresholds.

ENGAGEMENT FEE SCHEDULE:

ITEM	QUANTITY	UNIT	EACH	EXTENDED
Principal / Senior Ecologist	20	Hours	\$125	\$2,500
Project Ecologist	15	Hours	\$95	\$1,425
Administrative Report Writing & Exhibit Development	10	Hours	\$55	\$550
Materials & Supplies – Cost + 10% NOT-TO-EXCEED	1	Lump Sum	\$250	\$250
TOTAL – NOT-TO-EXCEED				\$4,725

Fee Breakdown: \$3,300 Design & \$1,425 Construction Oversight

Engagement specifically addresses the following professional services:

- Provide guidance on the sequence and process for clearing existing vegetation, preparing the planting matrix and installing native seed utilizing appropriate methods
- Prepare meadow specification, installation strategy, seed mix, and management recommendations
- Review materials including layout plans, planting plans, and specifications pertinent to the success of the NWSG meadow planting
- Review meadow installation proposals, review site preparation and oversee construction
 - If DJM is not the selected contractor
- As requested, coordinate the development of visual collateral to communicate expectations for the development of the meadow planting
 - This line item can include the development of interpretive signage
- All services will be provided collaboratively with NBW-LA’s representative, Breck Gastinger





WILDWOOD
COMMUNITY PARK

THE CONCEPTUAL MASTER PLAN



Goals & Overview

Site Photos & Site Analysis

Program

Comparable Projects

Public Participation

Development Frameworks & Conceptual Ideas

The Master Plan (final adoption 10.24.11)

Strategies, Phasing & Costs

Goals & Overview

Site Photos & Site Analysis

Program

Comparable Projects

Public Participation

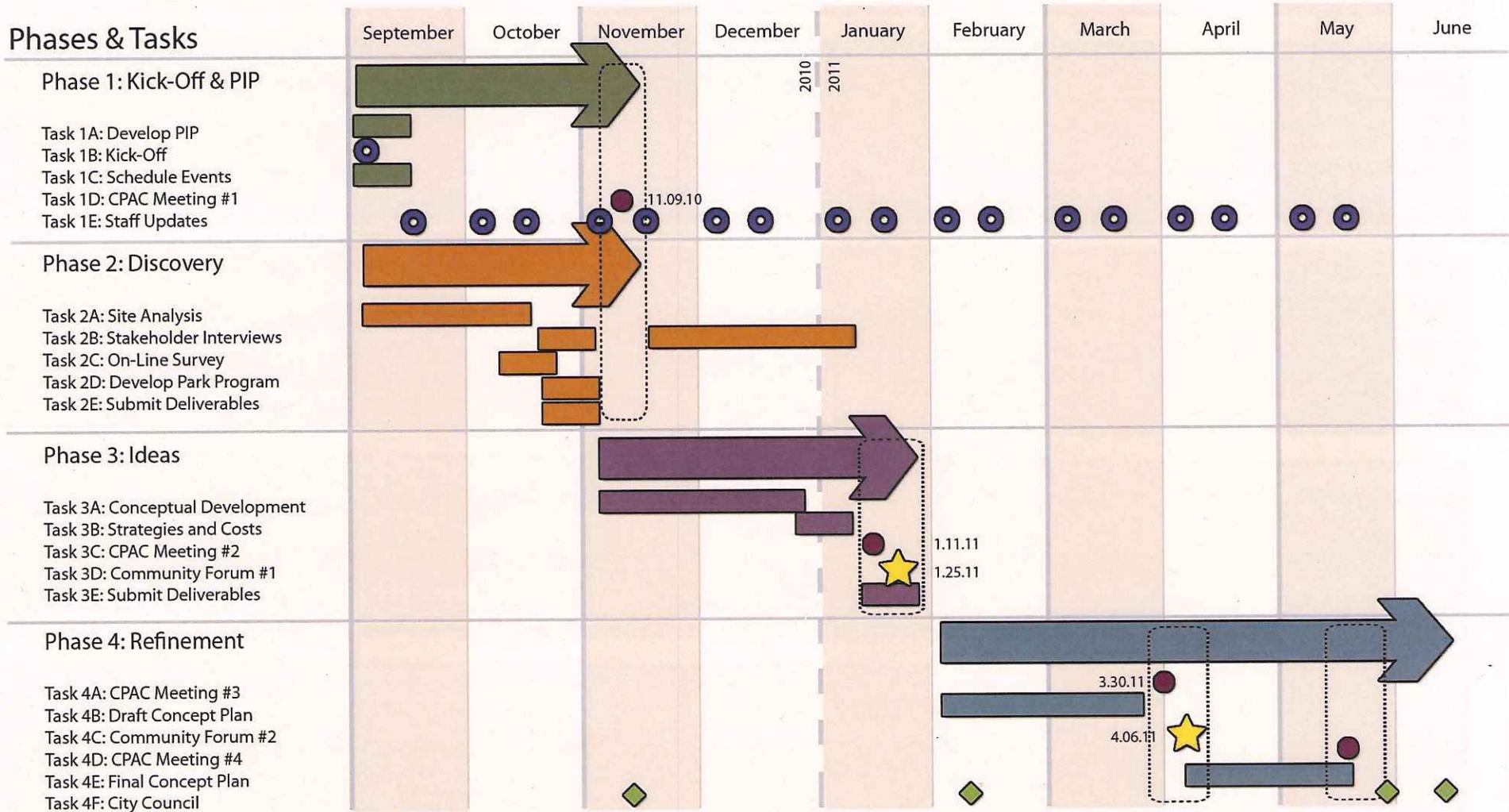
Development Frameworks & Conceptual Ideas

The Master Plan

Strategies, Phasing & Costs

PROJECT OVERVIEW

Conduct a two step planning program beginning with 1.) a public engagement process to obtain opinions, recommendations and input from residents of Wildwood and 2.) interpret that information for the purposes of developing a conceptual plan for the property.



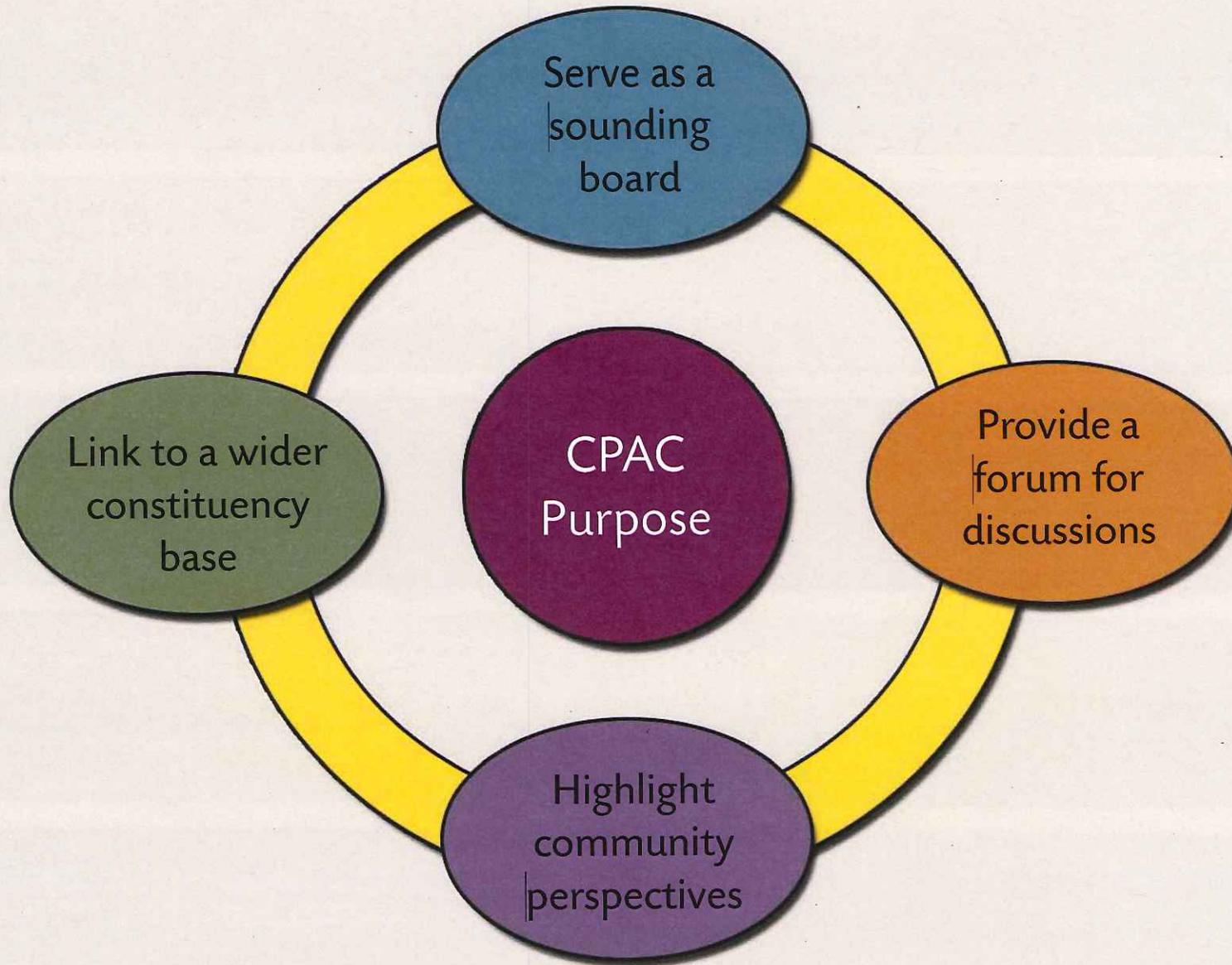
DESIGN GOALS

- Restore, celebrate local ecologies – meadow, forest, and stream
- Create a cohesive series of park elements
- Create memorable places and spaces
- Design for all 4 seasons
- Design for low and high use (weekday, weekend, event)
- Flexible Structure for future adaptation
- Consider phasing opportunities
- Accessibility

PLANNING PRINCIPLES (per Wildwood Survey)

- Connectivity to Wildwood Trails
- Protect and enhance existing streams
- Create space for community activities
- Protect wildlife
- Low maintenance
- Minimize stormwater runoff
- Protect and restore native ecologies
- Connect to surrounding neighborhoods
- Mitigate effects of park lighting and noise

Roles & Responsibilities



Roles & Responsibilities

What is the Community Park Advisory Committee or CPAC?

Consist of 18-20 Wildwood residents representing demographic attributes, such as gender, age, family orientation and recreational interests; and formed to assist the technical team (consultants and city administrators) as it develops the community park master plan.

What is the CPAC's purpose?

- Serve as a sounding board for the community by providing feedback on study information and choices;
- Provide a forum for collaborative discussions regarding specific project issues;
- Help the consulting team and client prepare for public meetings by highlighting community issues, concerns and perspectives; and
- Link the consulting team to a wider constituency base by transmitting information about the project to groups that they represent.

What will be my roles and responsibilities as a CPAC member and for how long?

- Represent the various perspectives of residents by sharing preferences, desires and concerns openly regarding the new community park;
- Serve in an advisory capacity by recommending ideas to the project team;
- Attend and prepare for CPAC meetings.
- Identify key subdivision, neighborhood and community organizations as conduits for information dissemination;
- Facilitate ongoing, two-way communication between citizens and the consulting team; and
- Assist the consulting team in tracking local community feedback and providing citizens with updates regarding how their input and ideas are being incorporated into the master plan.

What can I expect from the technical team?

- Provide information, in a timely manner;
- Answer questions and provide information, so that you can be a productive CPAC member;
- Listen to your desires, issues and concerns and consider them as the master plan is developed and discussed with the Wildwood residents; and
- Host meetings in a prompt fashion (within stated timeframe) with light refreshments.

COMMUNITY PARK ADVISORY COMMITTEE (CPAC) 17 members

Ward One

Veronica Leach
17152 Windsor Crest Boulevard
Wildwood, MO 63038
(636) 590-2063 - home
markveronicaparentsof3@yahoo.com

Mary Kenny
17166 Lafayette Trails Court
Wildwood, MO 63038
(636) 458-4370 - home
moekenny@att.net

Ward Two

Mikel Garrett
1509 Englebrook Drive
Wildwood, MO 63011
(636) 458-8091 - home
mikel.garrett.jytb@statefarm.com

Darren Dunkle
16256 Berry View Court
Wildwood, MO 63011
(314) 288-4129 - home
ddunkle1@gmail.com

Ward Three

Samuel Visintine
17801 Wellington Crest Court
Wildwood, MO 63005
(636) 458-1181 - home
savisintine@hotmail.com

Mark Perez
1655 Garden Valley Court
Wildwood, Missouri 63038
(636) 405-2991
Mspar15@aol.com

Ward Four

Katie Dodwell
1655 Timber Hollow Drive
Wildwood, MO 63011
(636) 458-5301 - home
katiedodwell@att.net

Kerry Barban Huffines
1602 Englebrook Court
Wildwood, MO 63011
(314) 220-2727 - home
kerrybarban@msn.com

Ward Five

Julie McMillen
16473 Forest Pine Drive
Wildwood, MO 63011
(636) 273-6280 - home
julieandmike@charter.net

Katie Palmquist
2508 Rain Forest Drive
Wildwood, MO 63011
(636) 273-4301 - home
gigandgus01@yahoo.com

Ward Six

John Graas
18880 Model Realty Road
Wildwood, MO 63069
(636) 271-6671 - home
jggstl@aol.com

Carol Dean
4739 Chateau Lane
Wildwood, MO 63069
(314) 393-4157 - home
caruediger@yahoo.com

Ward Seven

John Valenti
138 Windjammer Lane
Wildwood, Mo 63040
(636) 273-5588 - home
john.valenti@sanofi-aventis.com

Charissa Fisher
16156 Copper Lantern Drive
Wildwood, MO 63040
(636) 394-8231 - home
charissafisher@yahoo.com

Ward Eight

Andrea Ellebrecht
2547 Viola Gill Lane
Wildwood, MO 63040
(636) 821-3300 - home
andrea.ellebrecht@gmail.com

Doug Carlson
180 Cherry Hills Meadows Drive
Wildwood, MO 63040
(636) 465-3962 - home
dcarlson@centrichealthresources.com

Member At-Large

Judy Hartz
111 Harbour Point
Wildwood, MO 63040
(636) 236-9650 - home
Judy.Hartz@usbank.com



COMMUNITY PARK ADVISORY COMMITTEE

Council Liaisons

Tammy Shea (Ward Three)
18132 Sunnytop Court
Wildwood, MO 63038
636-458-5026 – home
bellaframing@sbcglobal.net

Michele Bauer (Ward Eight)
16943 Westridge Oaks Drive
Wildwood, MO 63040
636-458-3336 - home
mbauer@cityofwildwood.com

Staff

Wildwood City Hall
183 Plaza Drive
Wildwood, MO 63040
(636) 458-0440
(636) 458-6969 – fax
www.cityofwildwood.com

Gary Crews
Ext. 126
gary@cityofwildwood.com

Joe Vujnich
Ext. 115
joe@cityofwildwood.com

Design Team

Bill Burke, RLA
Project Manager
Oates Associates, Inc.
Laclede Gas building
720 Olive, Suite 1660
St. Louis, MO 63101

618.530.5947 cell
314.588.8381 x15 office
bill.burke@oatesassociates.com

Jessica Perkins
Vector Communications

Breck Gastinger
Nelson Byrd Woltz

Oates Associates
Barb Anderson, RA
Jeff Rensing, PE
Phil Murphy, PE
Sam Wrigley

Goals & Background

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Phasing & Costs



shale rock in borhenne creek looking downstream



creek view



shale rock in borhenne creek looking upstream



old road on west hillside



forest edge of west hillside

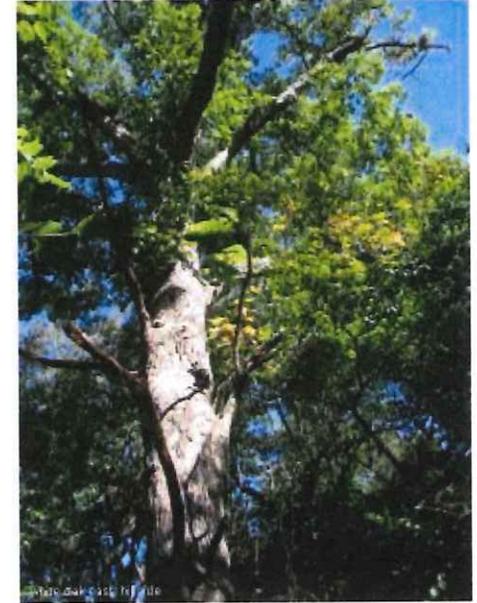


old road on west hillside

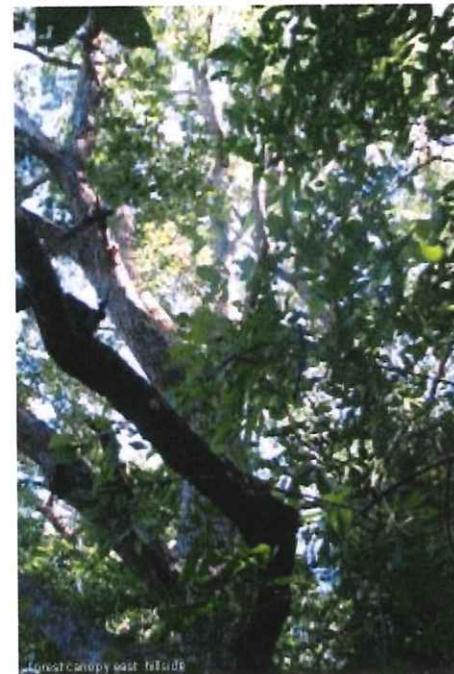
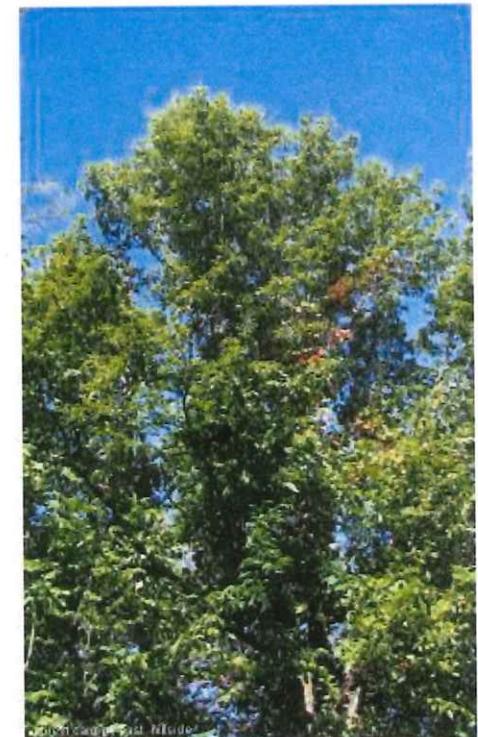


wooded area on west hillside







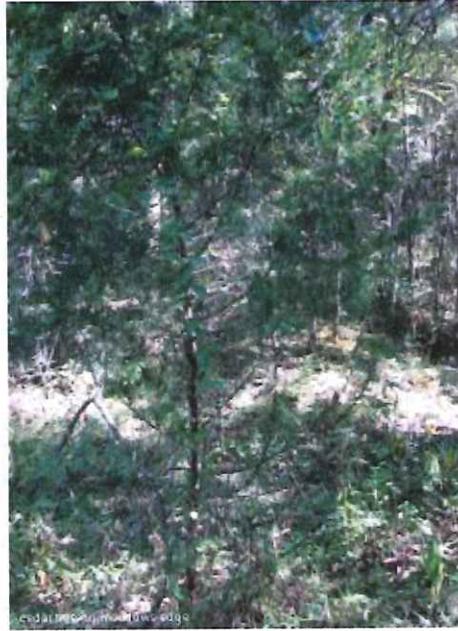




maple woods along east side



alder woods on meadows edge



cedar trees on meadows edge



utility corridor near retention pond



wet trail area near retention pond



cedar trees on meadows edge



meadow view looking south



meadow edge near creek bank



meadow close up



meadow wildflowers



meadow view looking south



meadow view looking south



view south from old road entry at Hwy 100



view east from old road entry at Hwy 100



view east from old road entry at Hwy 100



pond groove loop road looking west



pond groove loop road looking west



utility corridor northeast corner of site



bike trail at frey 100 and 105



neighborhood path at windsor crest



bike trail on windsor meadow blvd



view east on la parral drive



view north on lafayette trails drive



windsor meadow blvd



old road on west side



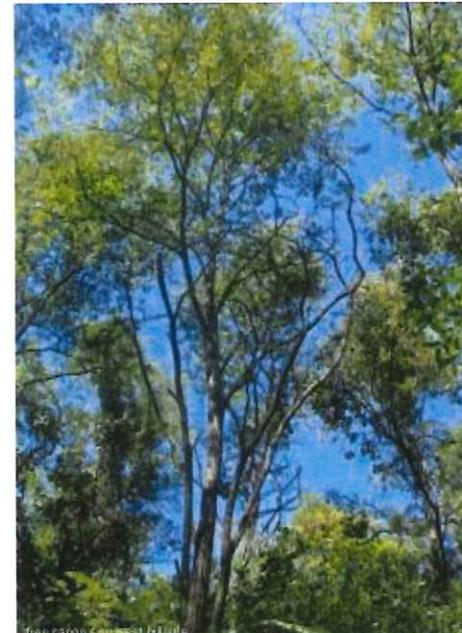
cedar trees on west side



old road on west side



forest clearing on west side

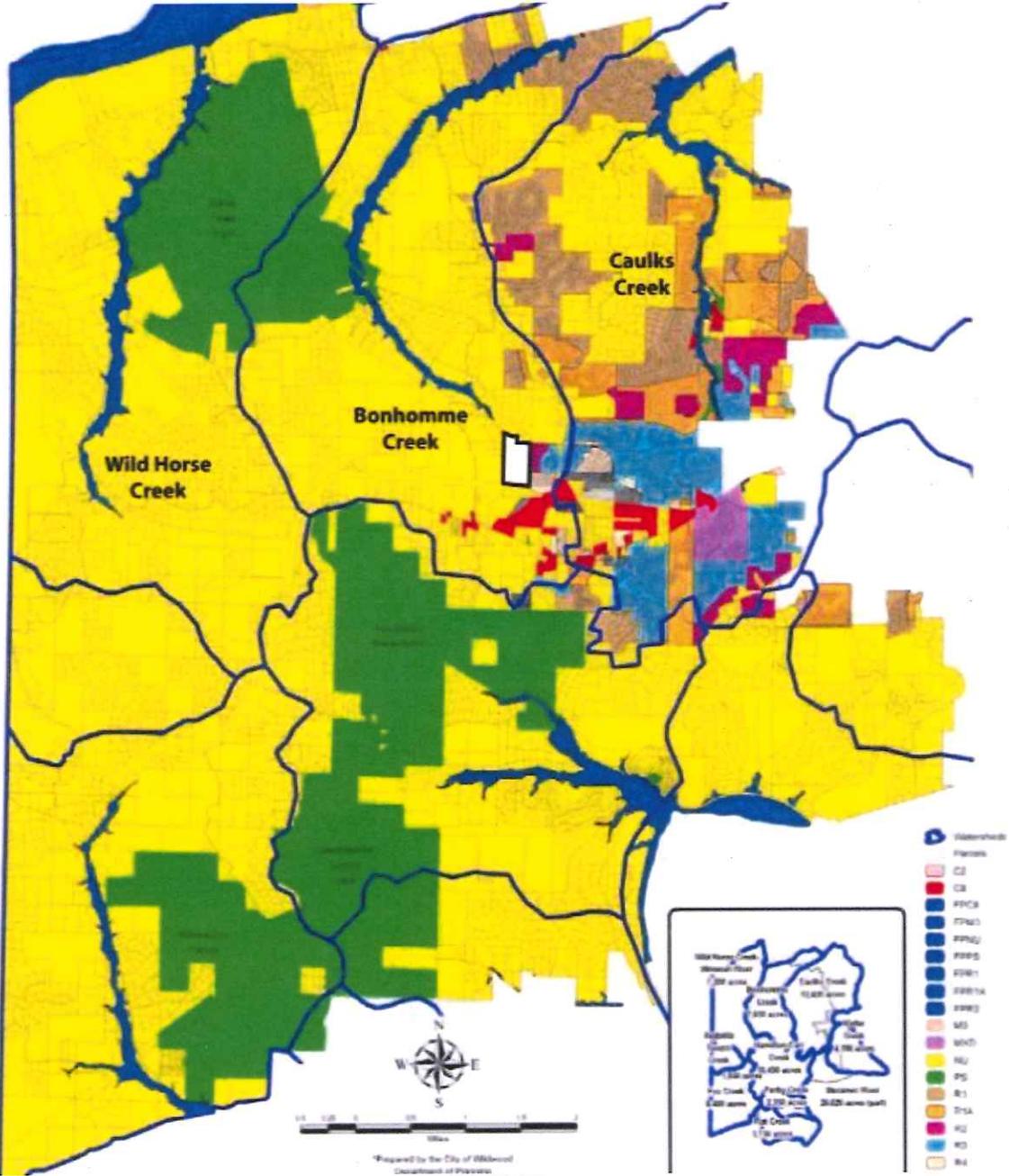


tree canopy on west side

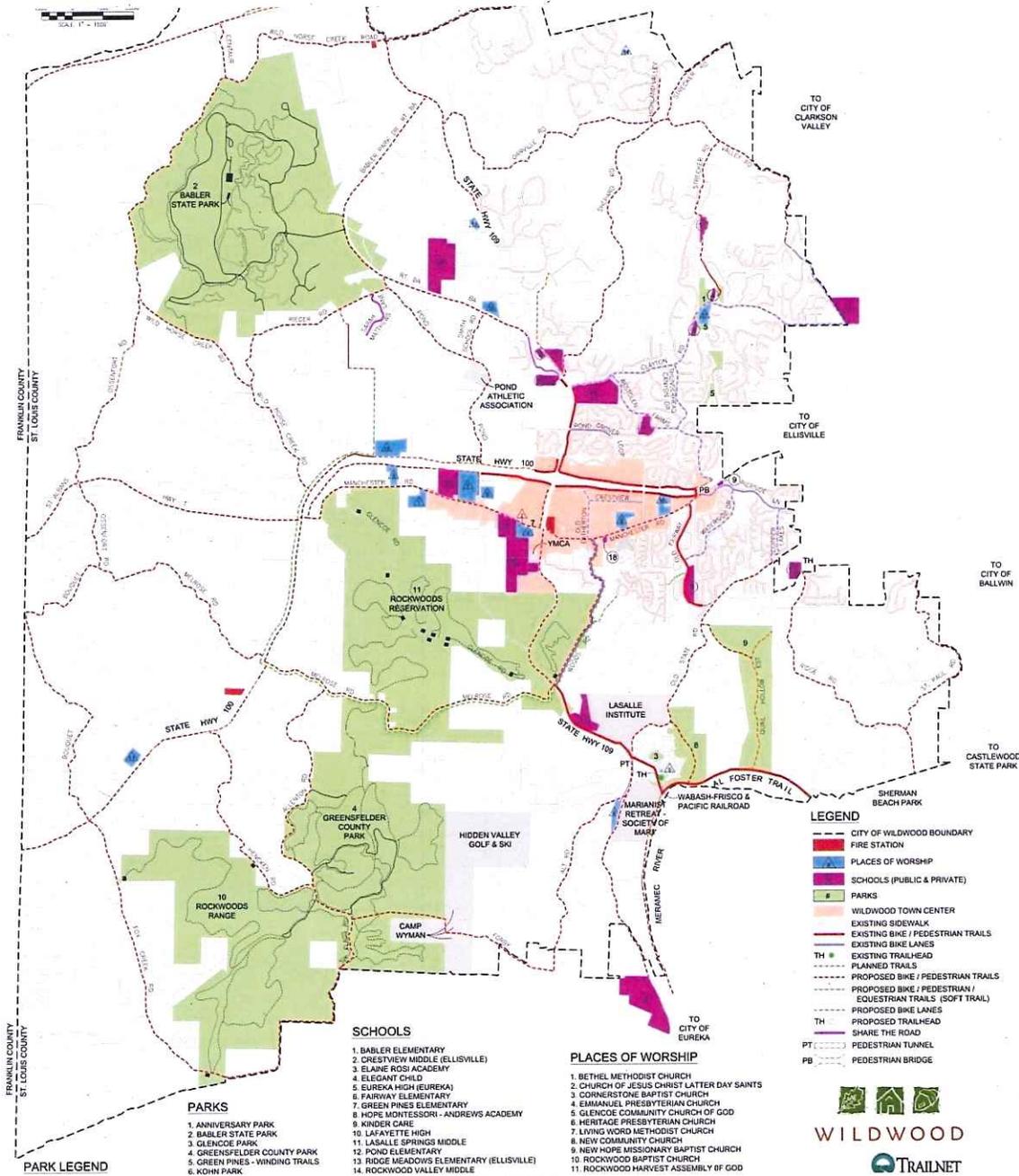


trail over drainage pipe near creek and retention pond

REGIONAL CONTEXT



TRAILS MASTER PLAN



PARKS

1. ANNIVERSARY PARK
2. BABLER STATE PARK
3. GLENCE PARK
4. GREENSFELDER COUNTY PARK
5. GREEN PINES - WINDING TRAILS
6. KOHN PARK

SCHOOLS

1. BABLER ELEMENTARY
2. CRESTVIEW MIDDLE (ELLISVILLE)
3. ELAINE ROSI ACADEMY
4. ELEGANT CHILD
5. EUREKA HIGH (EUREKA)
6. FAIRWAY ELEMENTARY
7. GREEN PINES ELEMENTARY
8. HOPE MONTESSORI - ANDREWS ACADEMY
9. KINDER CARE
10. LAFAYETTE HIGH
11. LASALLE SPRINGS MIDDLE
12. POND ELEMENTARY
13. RIDGE MEADOWS ELEMENTARY (ELLISVILLE)
14. ROCKWOOD VALLEY MIDDLE

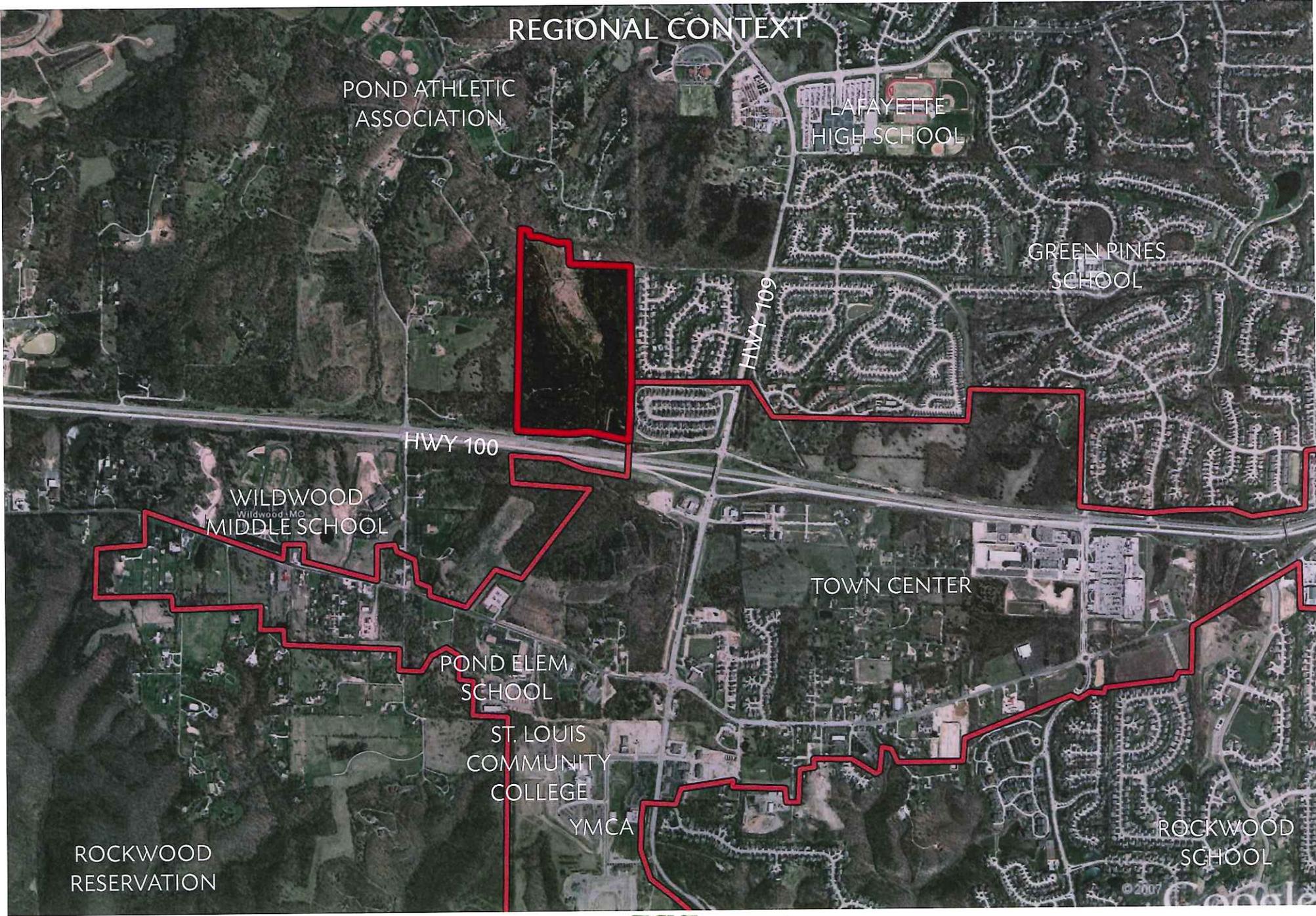
PLACES OF WORSHIP

1. BETHEL METHODIST CHURCH
2. CHURCH OF JESUS CHRIST LATTER DAY SAINTS
3. CORNERSTONE BAPTIST CHURCH
4. EMMANUEL PRESBYTERIAN CHURCH
5. GLENCE COMMUNITY CHURCH OF GOD
6. HERITAGE PRESBYTERIAN CHURCH
7. LIVING WORD METHODIST CHURCH
8. NEW COMMUNITY CHURCH
9. NEW HOPE MISSIONARY BAPTIST CHURCH
10. ROCKWOOD BAPTIST CHURCH
11. ROCKWOOD HARVEST ASSEMBLY OF GOD

- LEGEND**
- - - - - CITY OF WILDWOOD BOUNDARY
 - FIRE STATION
 - PLACES OF WORSHIP
 - SCHOOLS (PUBLIC & PRIVATE)
 - PARKS
 - WILDWOOD TOWN CENTER
 - EXISTING SIDEWALK
 - EXISTING BIKE / PEDESTRIAN TRAILS
 - EXISTING BIKE LANES
 - TH # EXISTING TRAILHEAD
 - PLANNED TRAILS
 - PROPOSED BIKE / PEDESTRIAN TRAILS
 - PROPOSED BIKE / PEDESTRIAN / EQUESTRIAN TRAILS (SOFT TRAIL)
 - PROPOSED BIKE LANES
 - TH # PROPOSED TRAILHEAD
 - PT # PEDESTRIAN TUNNEL
 - PB # PEDESTRIAN BRIDGE

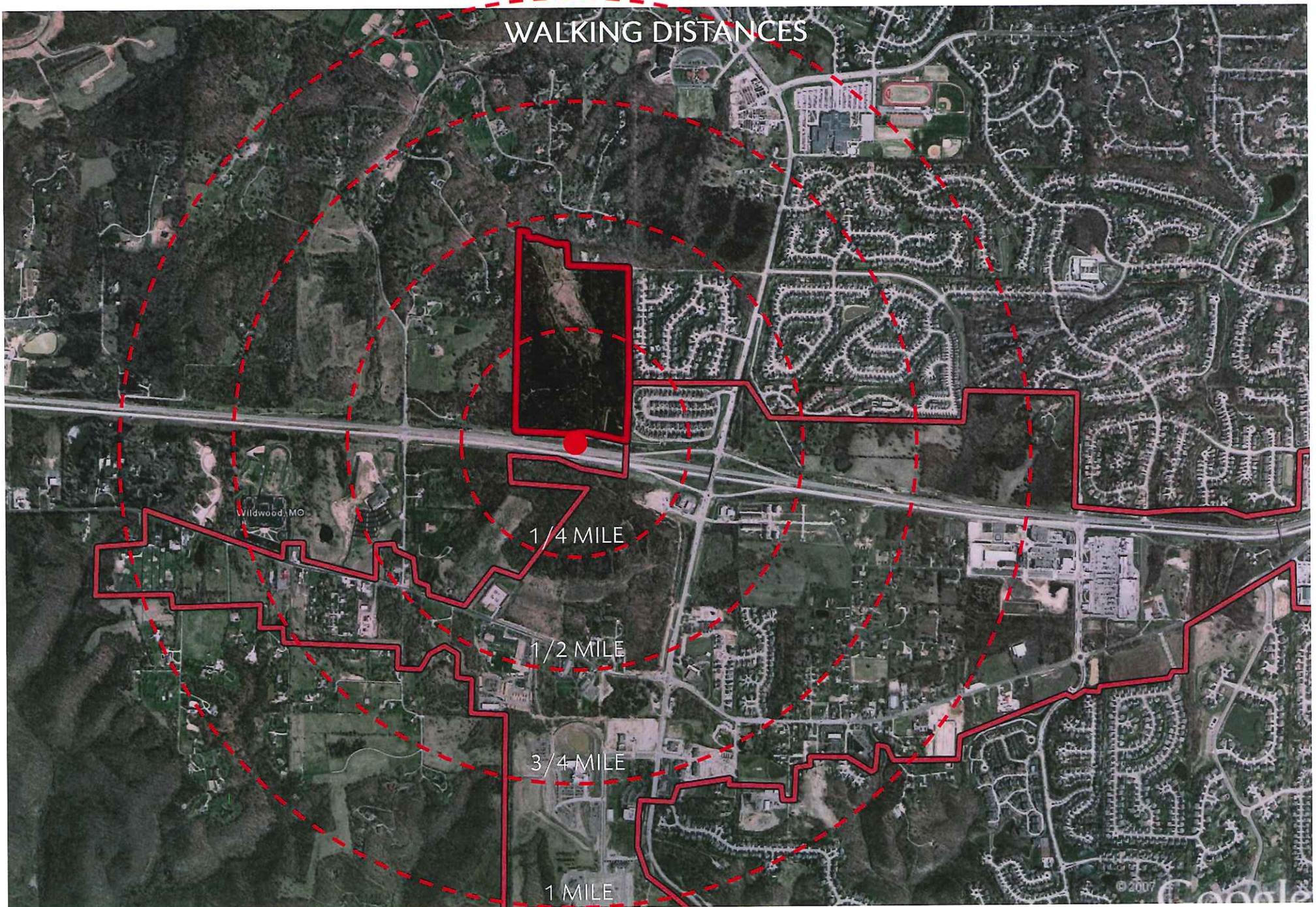


REGIONAL CONTEXT





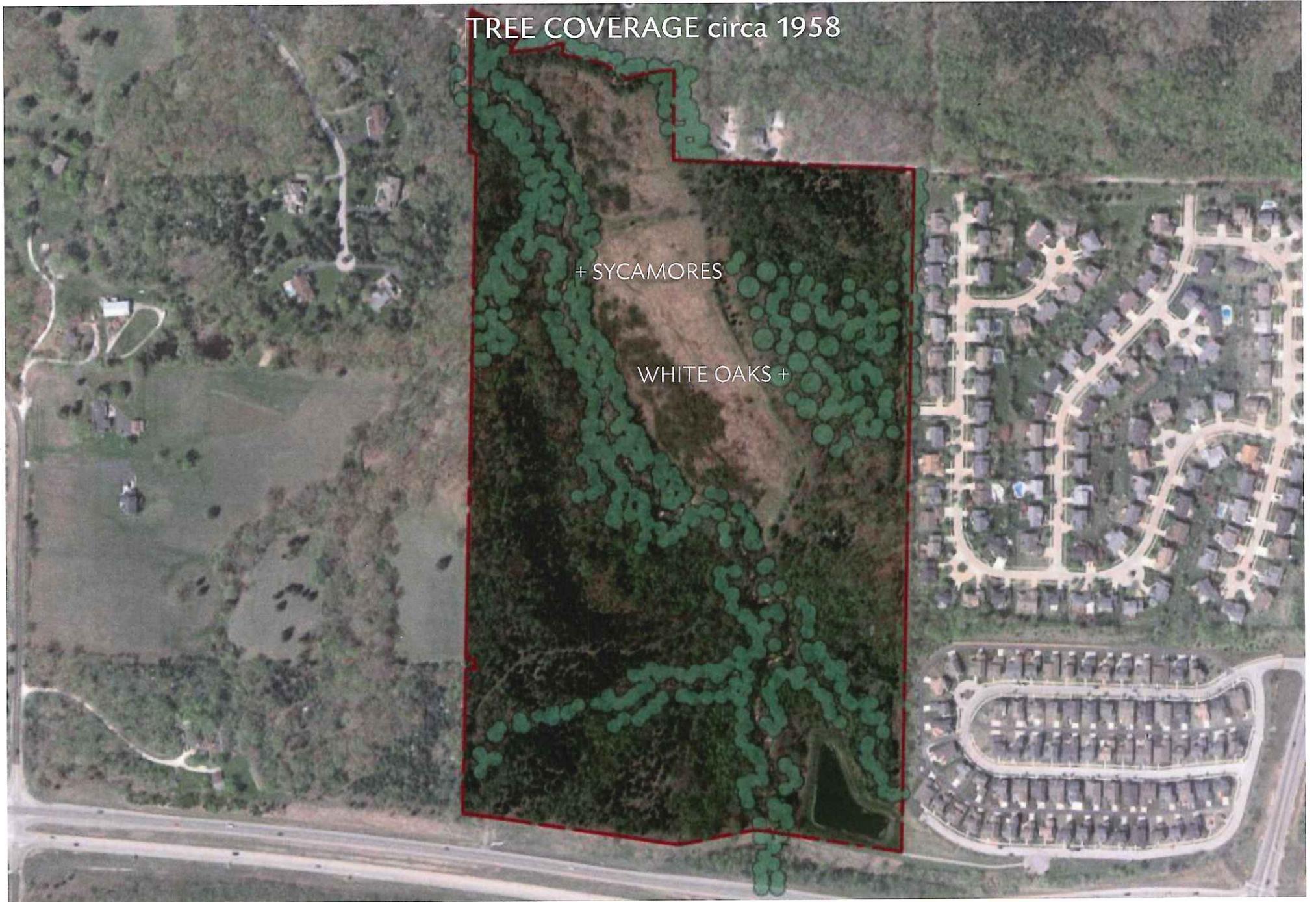
WALKING DISTANCES



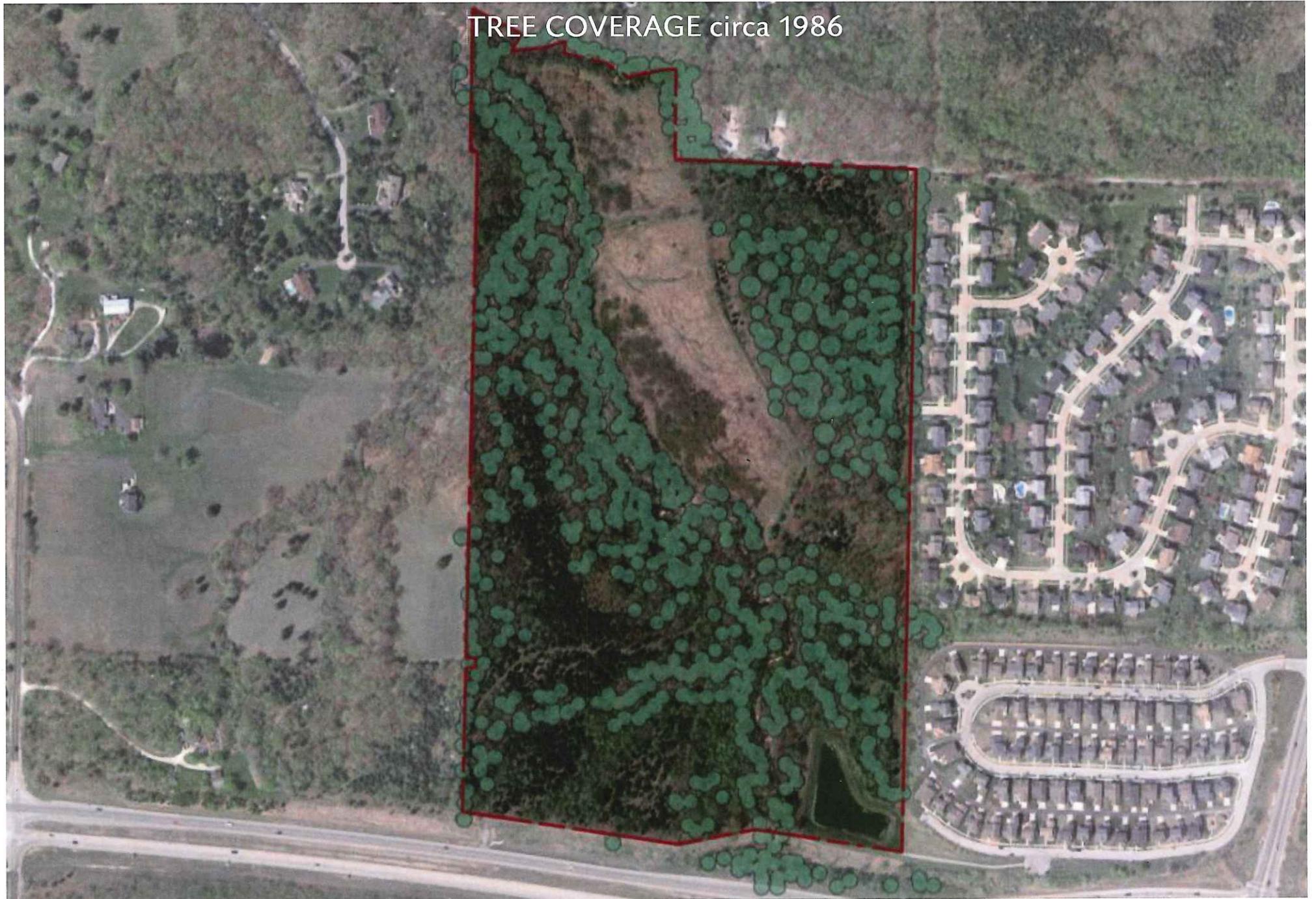
TREE COVERAGE circa 1958

+ SYCAMORES

WHITE OAKS +



TREE COVERAGE circa 1986



DECIDUOUS TREE COVERAGE 2010



EVERGREEN TREE COVERAGE 2010

+ EASTERN RED CEDAR



TREE COVERAGE 2010



SITE AERIAL PHOTOGRAPH

PORTLAND COVE

POND GROVER LOOP ROAD

LAFAYETTE TRAILS

WINDSOR CREST

HWY 100

HWY 109



66 ACRES... SCALING GRID 208 x 208

SITE DIMENSIONS
1/4 MILE X 1/2 MILE
1,320' X 2,640' (roughly)
ACRE: 43,560 SF 208 X 2

ACRE



BonHomme Creek and Site Drainage

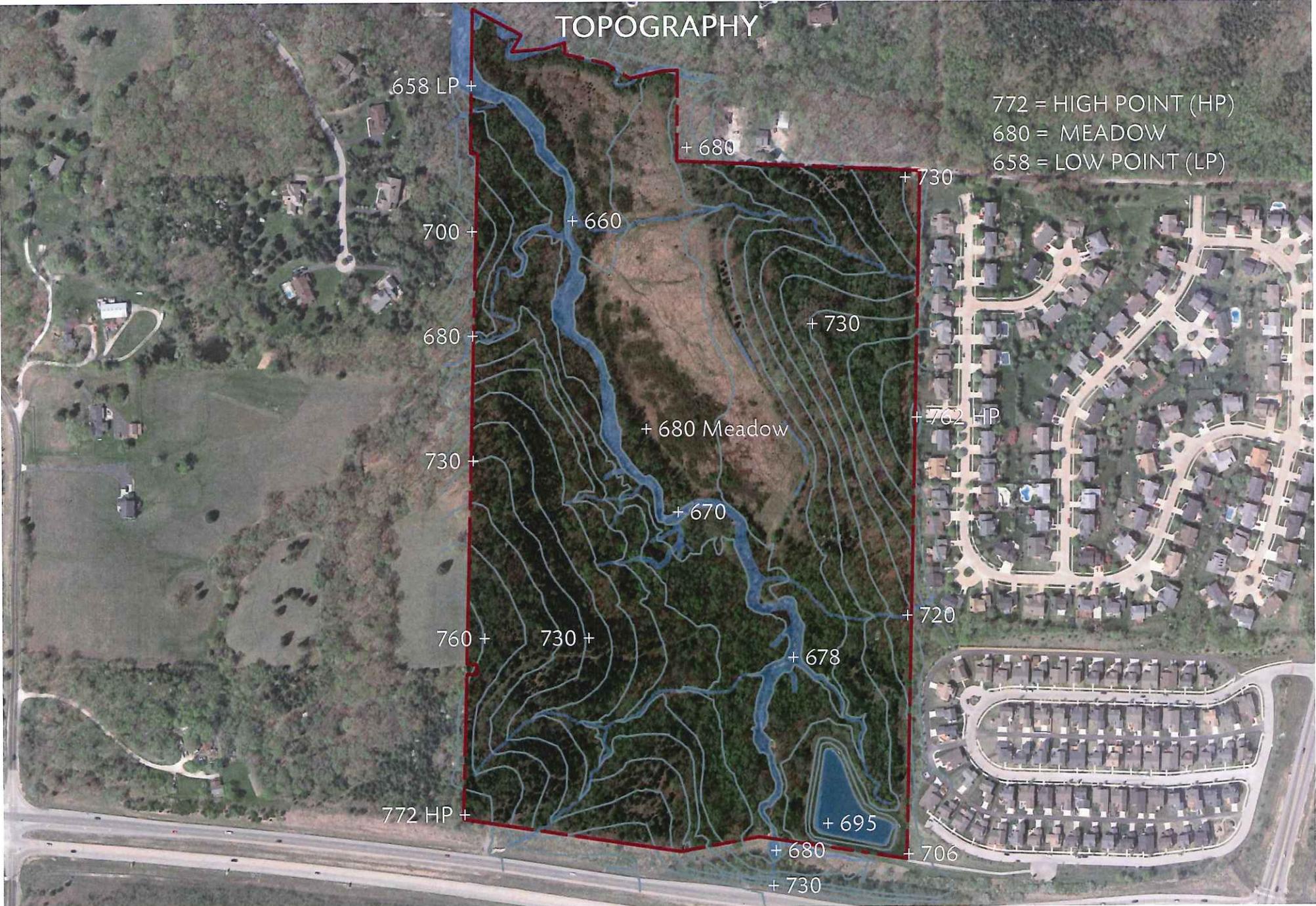
3/4 ACRE POND
3/4 + MILE LONG CREEK

+ SHELF ROCK

POND

TOPOGRAPHY

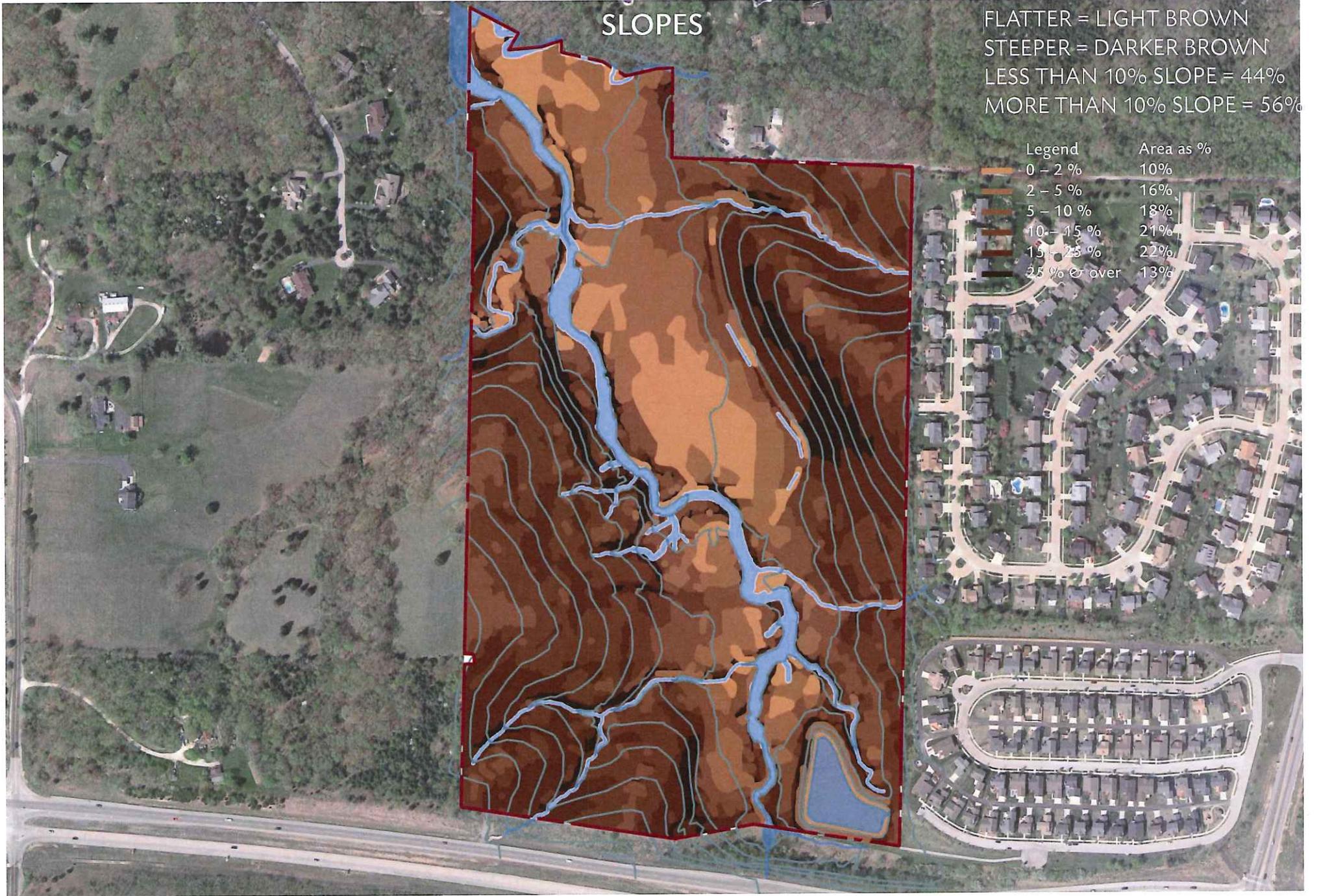
772 = HIGH POINT (HP)
680 = MEADOW
658 = LOW POINT (LP)



SLOPES

FLATTER = LIGHT BROWN
STEEPER = DARKER BROWN
LESS THAN 10% SLOPE = 44%
MORE THAN 10% SLOPE = 56%

Legend	Area as %
0 - 2 %	10%
2 - 5 %	16%
5 - 10 %	18%
10 - 15 %	21%
15 - 25 %	22%
25 % & over	13%



TREE HABITAT & COVERAGE

+ SYCAMORES
MEADOW

WHITE OAKS +

+ EASTERN RED CEDAR



CIRCULATION, ENTRIES, & TRAILS



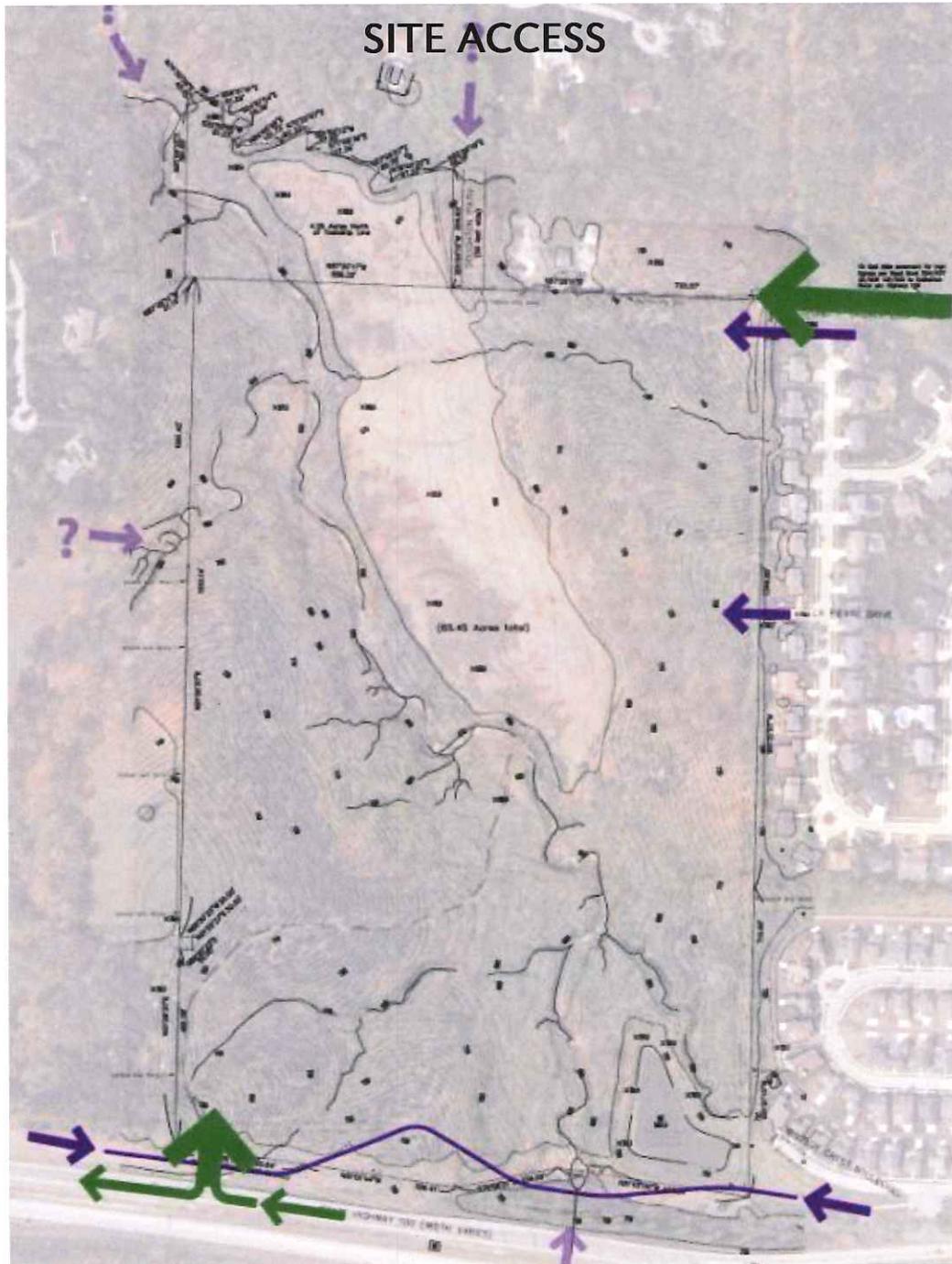
SITE ACCESS



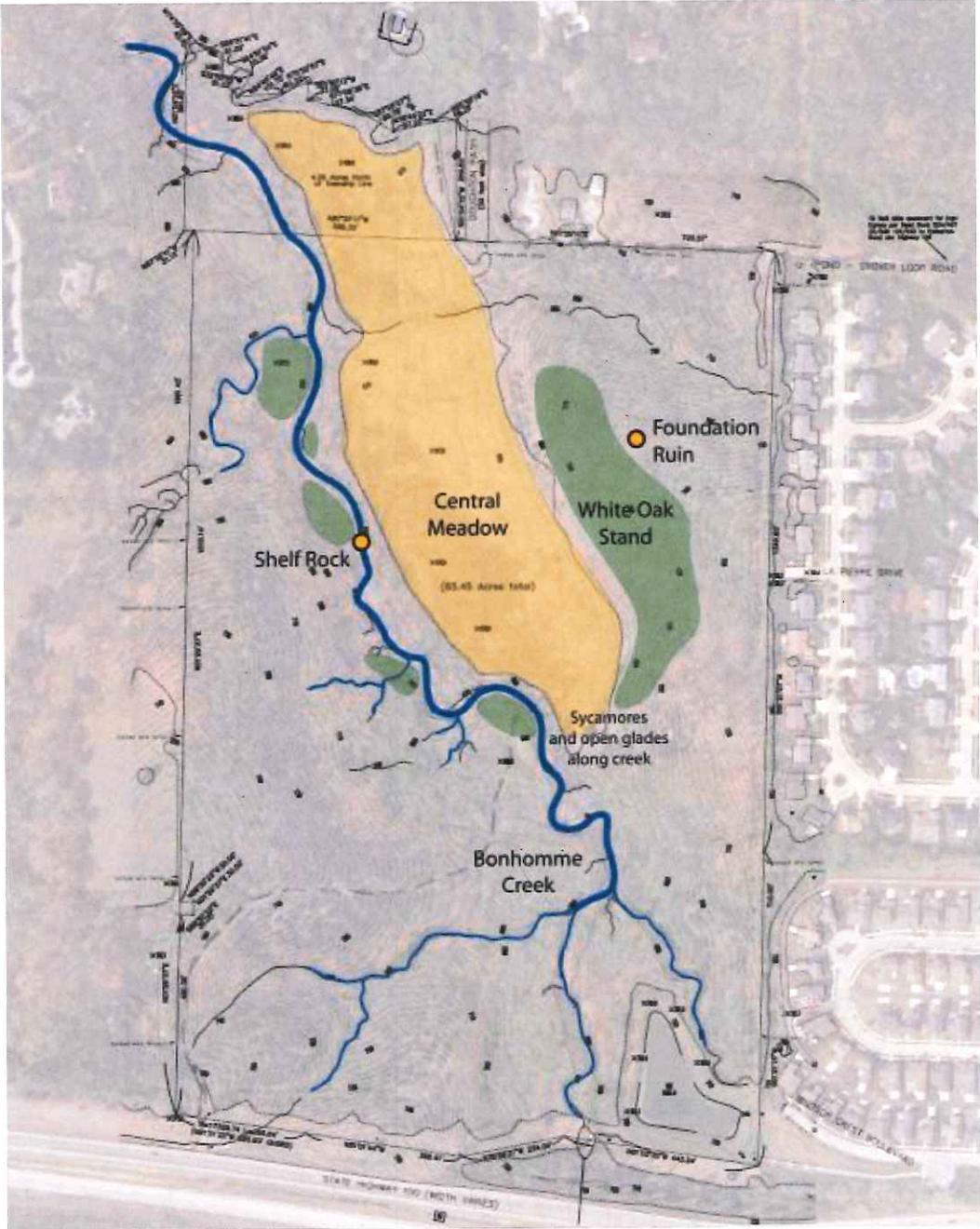
Site Access

Wildwood Community Park Conceptual Plan

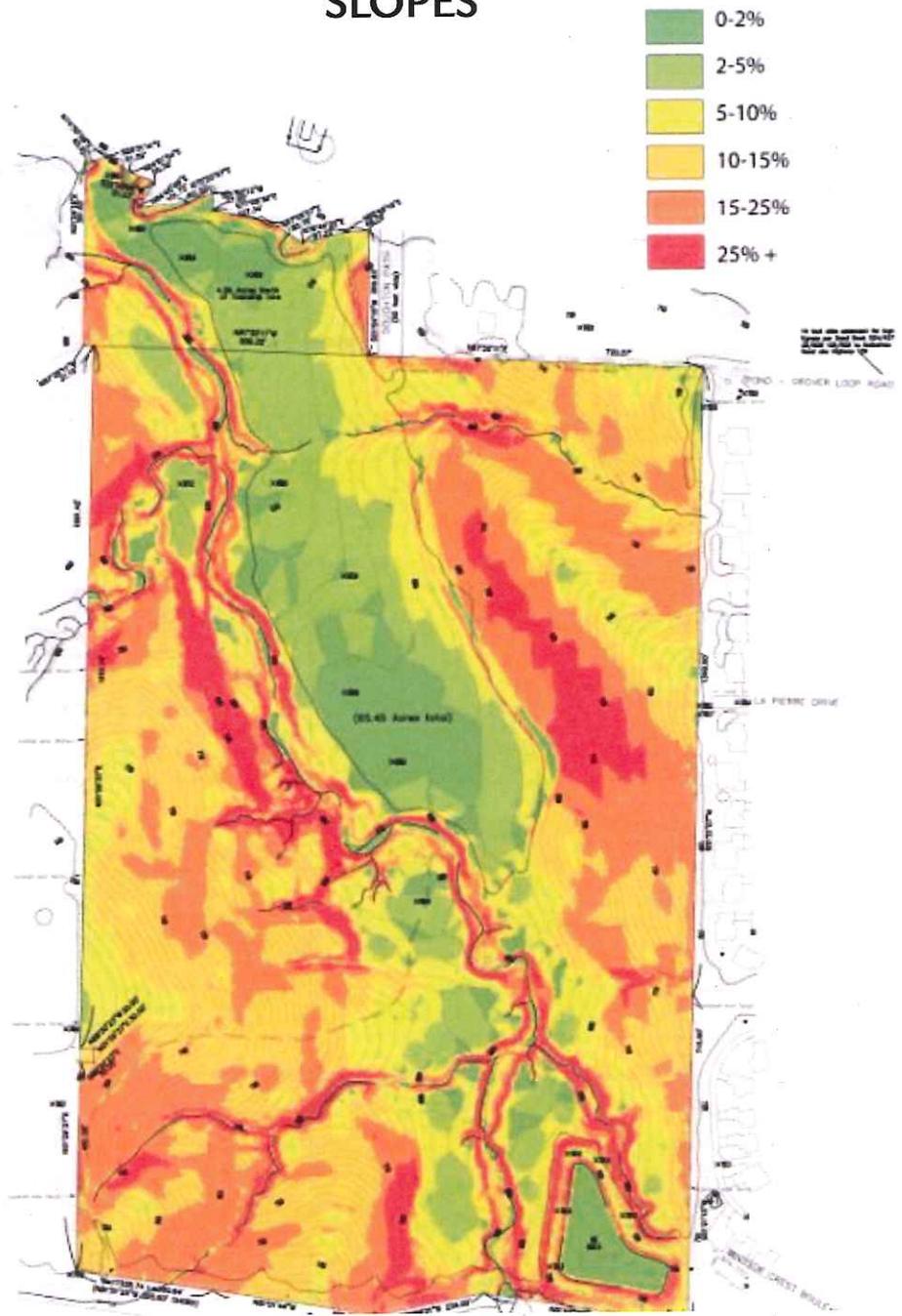
SITE ACCESS



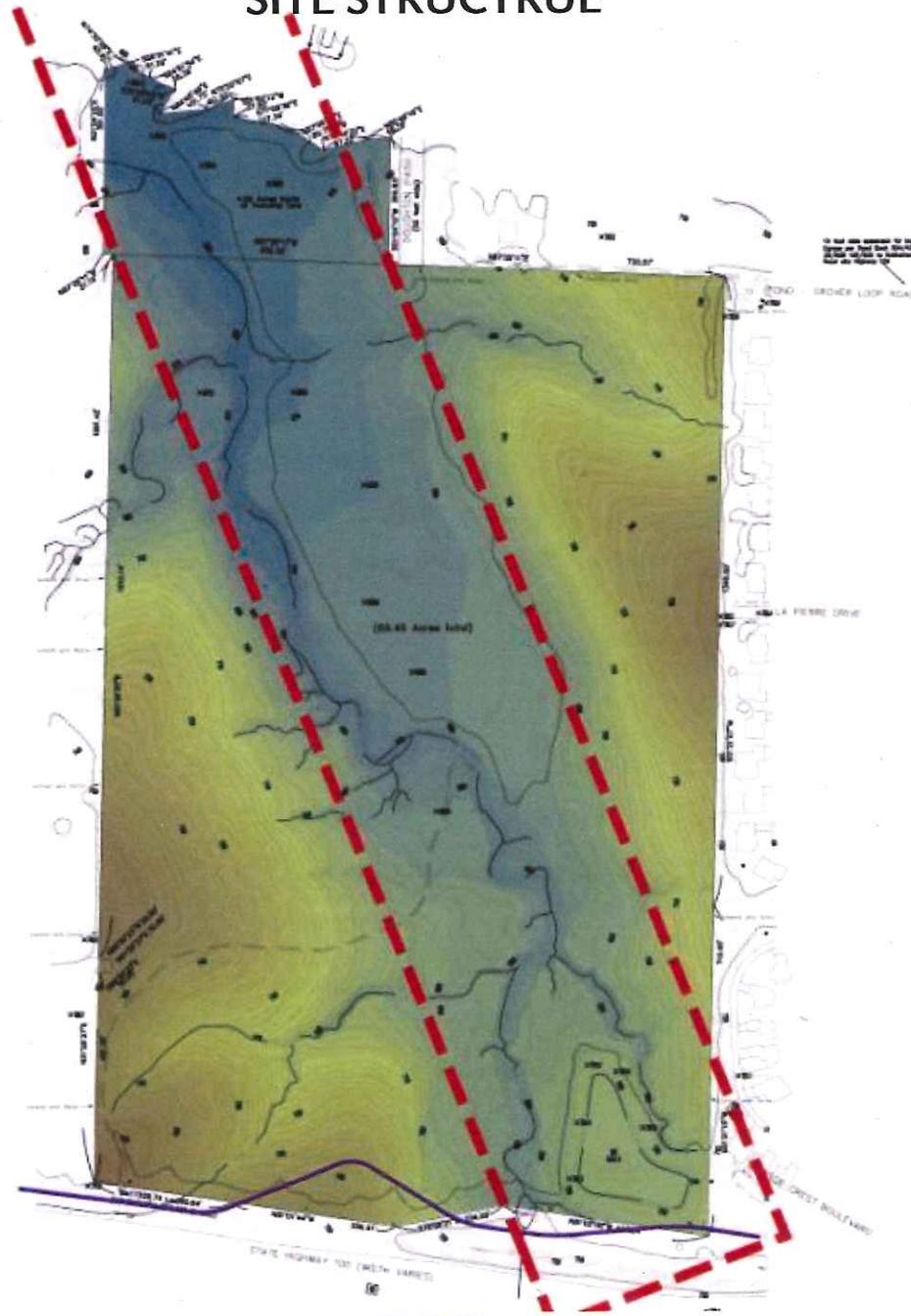
SITE HIGHLIGHTS & ASSETS



SLOPES



SITE STRUCTURE



Goals & Background

Site Photos & Site Analysis

Program

Comparable Projects

Public Participation

Development Frameworks & Conceptual Ideas

The Master Plan

Phasing & Costs

INITIAL PARK PROGRAM IDEAS

- Playgrounds
- Open Space Play Areas
- Natural Environment
- Community Gathering Place
- Multi-Use Trails
- Pavilions & Picnic Areas
- Fishing Lake
- Sledding Hills



ACTIVE AMENITIES – PRIMARY ELEMENTS

DECISION MAKING CRITERIA

ACTIVE AMENITIES PRIMARY ELEMENTS

 Multi-Use Trails pedestrians & cyclists

 Sledding Hill

 School-age Playground

 Open Play Lawn

 Stocked Fishing Lake

 Single-Use Trails pedestrians

 Toddler Playground

PASSIVE AMENITIES PRIMARY ELEMENTS

 Park Pavilions

 Trail Connections

to Major Destinations

 Amphitheater

 Natural Open Play Lawn

 BBQ Pits

 Trail Connections

to Neighborhoods

ACTIVE AMENITIES – RESPONSES AT-A-GLANCE

GREAT IMPORTANCE PRIMARY ELEMENTS

 Multi-Use Trails pedestrians & cyclists

 Sledding Hill

 School-age Playground

 Open Play Lawn

 Stocked Fishing Lake

 Single-Use Trails pedestrians

 Toddler Playground

AVERAGE MODERATELY PREFERRED

Swimming Pool

Basketball Courts

Tennis Courts

Soccer Fields

Special Needs Playgrounds

Baseball Fields

Single-Use Trails cyclists

Softball Fields

LEAST PREFERRED

Volleyball Courts

Rock Climbing Wall

Fitness Stations

Frisbee Golf

Ropes Course

Horseshoe Pits

Skateboard Park

Equestrian Trails

PASSIVE AMENITIES – RESPONSES AT-A-GLANCE

GREAT IMPORTANCE PRIMARY ELEMENTS

 Park Pavilions

 Trail Connections
to Major Destinations

 Amphitheater

 Natural Open Play Lawn

 BBQ Pits

 Trail Connections
to Neighborhoods

AVERAGE MODERATELY PREFERRED

Water Features

Space for Farmer's Market

Natural Wildflower Garden

Dog Park

Botanical Labeling of Plants

LEAST PREFERRED

Public Art Sculptures

Interpretive Signage of Features

Butterfly Garden

Rain Garden

Vegetable Garden

Goals & Background

Site Photos & Site Analysis

Program

Comparable Projects

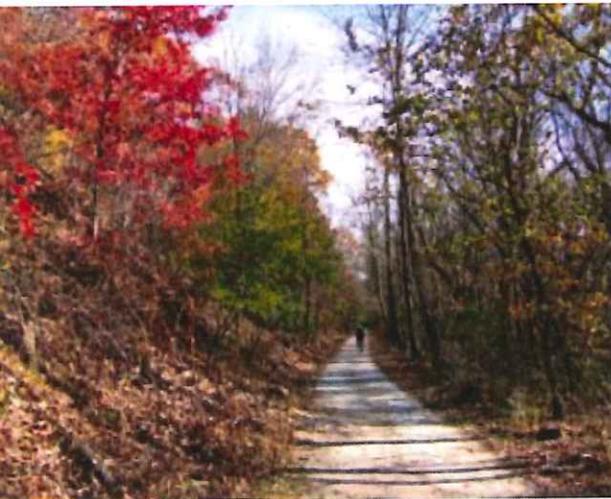
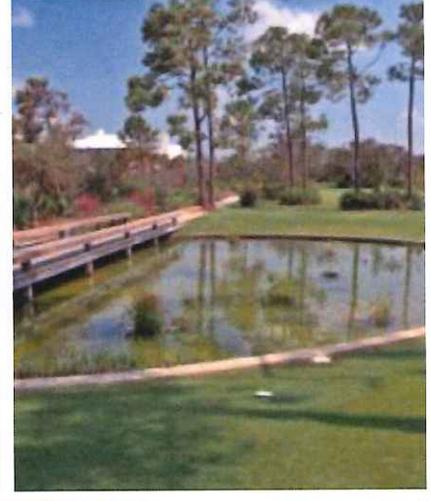
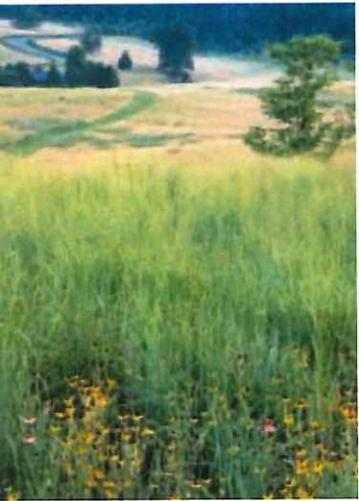
Public Participation

Development Frameworks & Conceptual Ideas

The Master Plan

Phasing & Costs

PLANNING PRECEDENTS & IMAGES

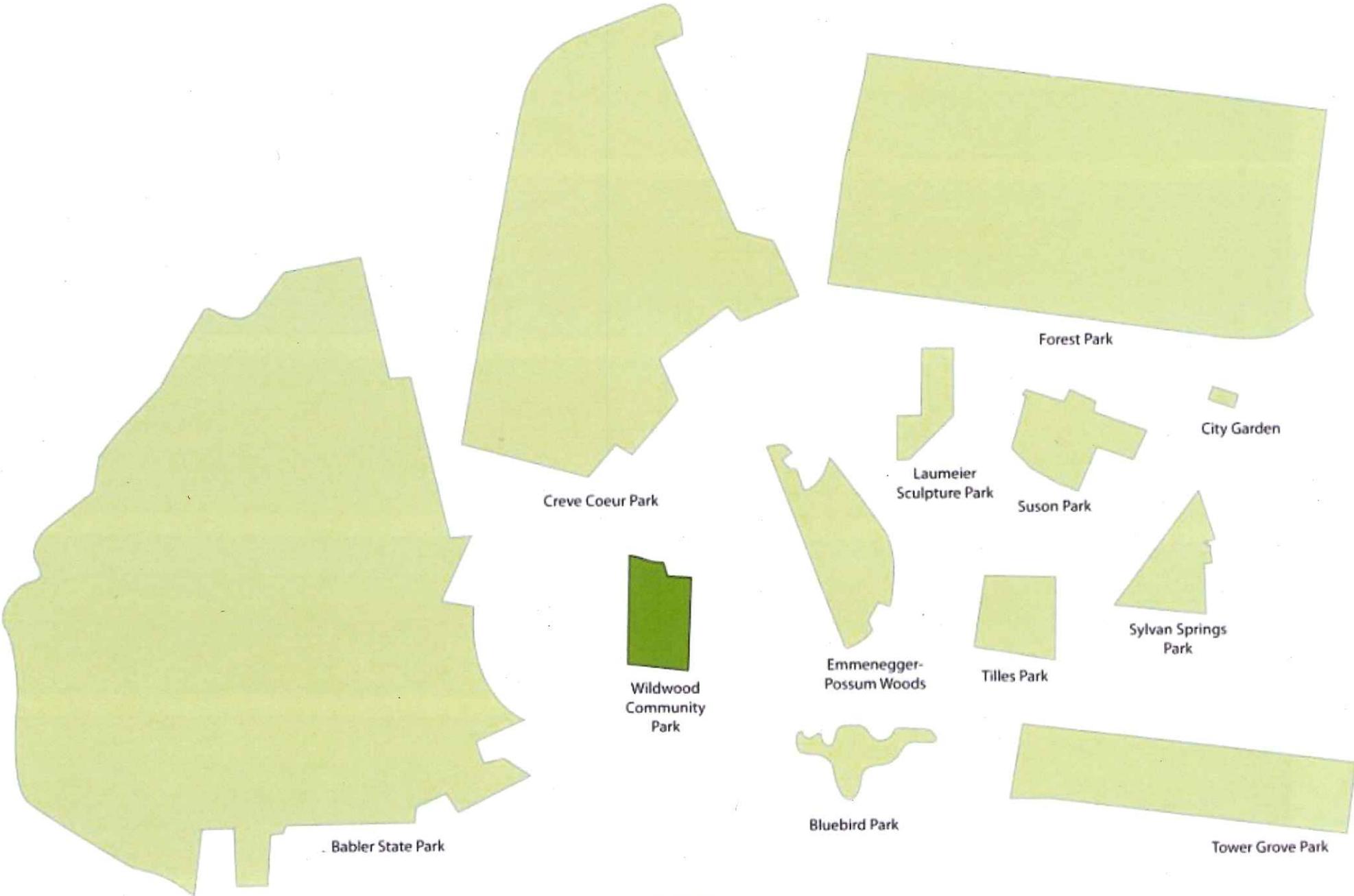


More Wild

More Urban



SCALE COMPARISONS



Goals & Background

Site Photos & Site Analysis

Program

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Phasing & Costs

CITIZENS COMMITTEE & SURVEY

Programming: Partner to provide a broad range of recreational services for a broad age group while avoid duplication.

Facilities: Expand commitments to the development of all types of trails and increase connections.

Acquisition: First action to be a parcel for a community park within the central city near 109 and 100.

Funding: Implement steps necessary to examine funding opportunities.

2007 CITIZEN SURVEY SUMMARY

Results used to evaluate the City's parks and recreation needs and determining how to address them in the future. Three thousand randomly selected Wildwood households were mailed the 2007 Citizen Survey, 1,020 responded.

Results:

- Active vs. Passive use of new parkland: **56% active and 44% passive**
- Park and recreation offerings to the **broadest audience possible**, although the focus should be on meeting the needs of Wildwood residents and not on creating a regional attraction.
- Acquiring additional greenways, open space and **parks should be prioritized over developing recreation center** for indoor activities.
- Parks should offer a **variety of activities** to many different level of users, from beginner to very advanced.
- Playgrounds and additional larger community or regional parks were consider essential or very important by nearly 2/3 of respondents.
- Nearly half of respondents felt it was essential or very important to provide additional hiking trails or more pocket parks. Over a third felt it was important to develop a fishing lake, additional bbq areas, dog park, etc...
- Integrate **passive play areas and natural open space areas** into new park designs.

Activities in Other Parks:

- Walking Paths
- Fitness Centers
- Playgrounds
- Hiking Trails
- Park Pavilions
- Swimming Pools
- Indoor Pools
- Bike Trails
- Outdoor Concerts and Plays
- Golf

Current Activities in Wildwood Parks:

- Playgrounds
- Biking
- Hiking Trails

Importance of Park Amenities:

- Playgrounds 69%
- Natural Land / Open Space 60%
- Multi-Use Trails 56%
- Picnic Areas 52%
- Fishing Lake 39%
- Dog Park 27%

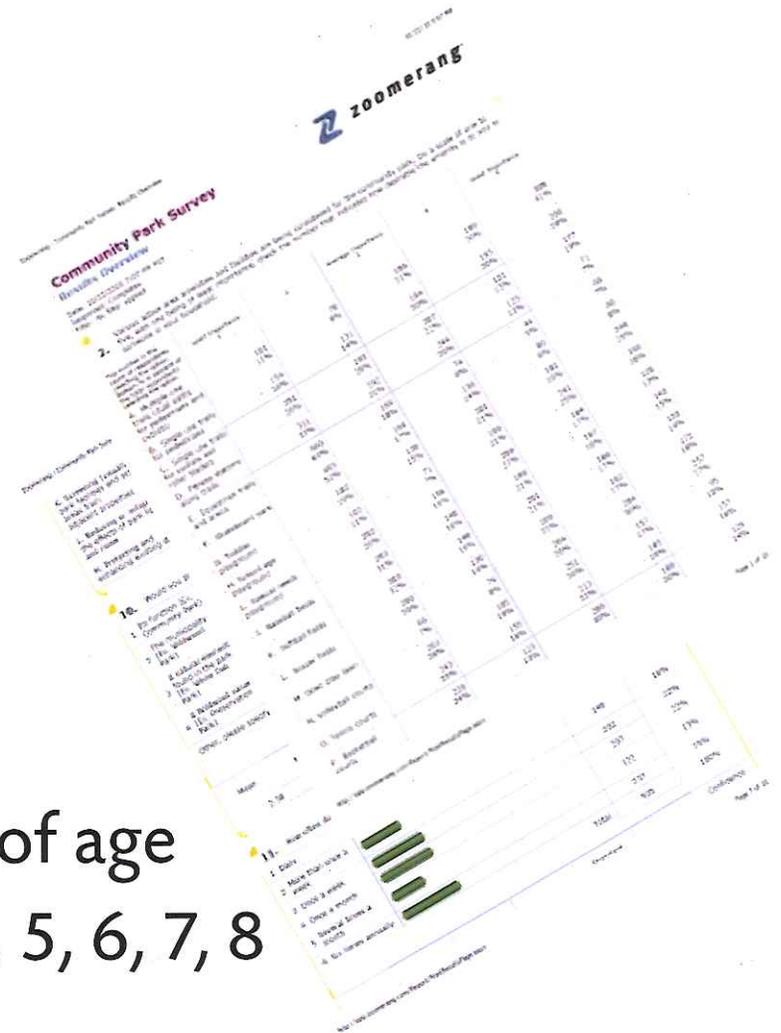
Funding: 52% supported tax increase, 66% general funds, 91% favored using grants and gifts, 47% favored user fees.

2010 ON-LINE SURVEY RESULTS & DISCUSSION

Survey Demographics:

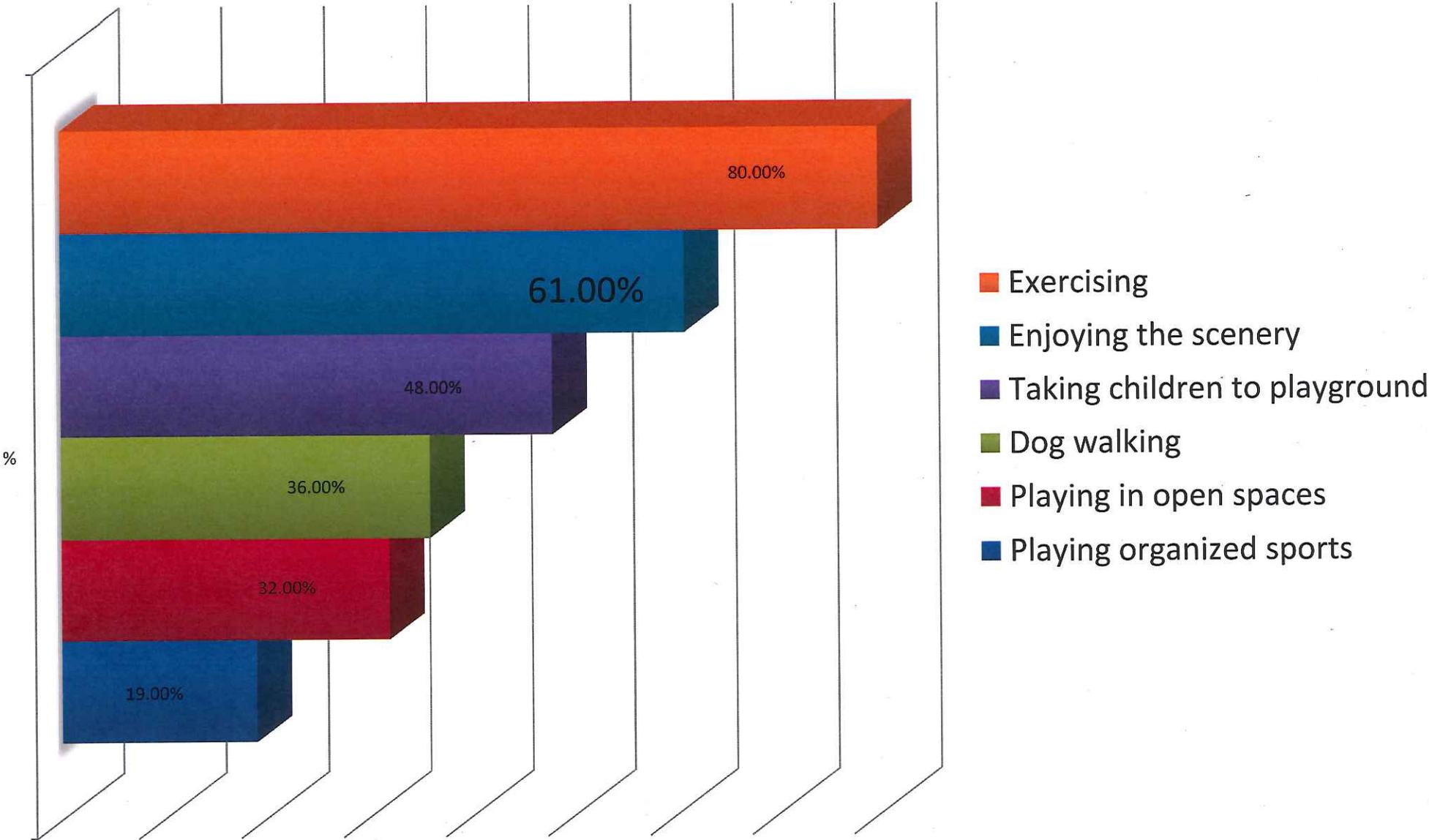
985 Respondents

- 4% population; 9% households
- 53% live within a mile
- 40% frequent park users
- 65% have children
- 64% are between 35 and 54 years of age
- 40% identified as living in wards 4, 5, 6, 7, 8

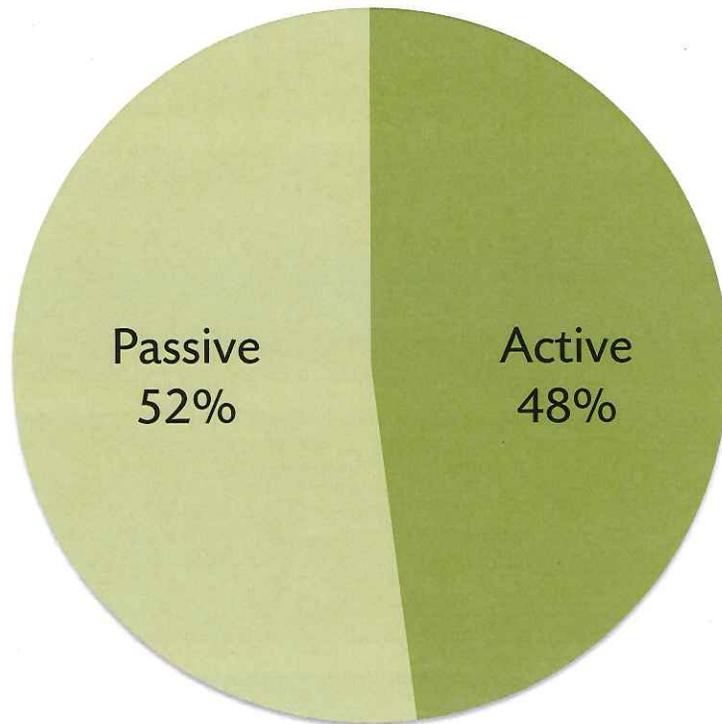


2010 ON-LINE SURVEY RESULTS & DISCUSSION

CURRENT PARK USAGE



Respondents Desire Slightly More Passive Recreational Space



- 44% rated passive higher than active
- 24% rated passive equal to active
- 32% rated active higher than passive

**2010 ON-LINE SURVEY RESULTS & DISCUSSION
HIGHLY PREFERRED ACTIVE AMENITIES**

Active Amenities	Rating (5-pt scale)	% in Top 5
Multiple-use trails	3.72	53.4%
School-age playground	3.67	47.5%
Sledding hill	3.67	44.4%
Open play lawn	3.61	35.9%
Stocked fishing lake	3.33	42.7%
Single use trails for pedestrians	3.27	36.8%
Toddler playground	3.19	30.9%

**2010 ON-LINE SURVEY RESULTS & DISCUSSION
HIGHLY PREFERRED PASSIVE AMENITIES**

Passive Amenities	Rating (5-pt scale)	% in Top 5
Park pavilions with picnic tables	4.13	72.3%
Trail connections to major destinations	3.80	51.1%
Outdoor amphitheater for concerts	3.72	54.4%
Natural open spaces (unprogrammed)	3.69	44.1%
BBQ pits (located near pavilions)	3.65	44.8%
Trail connections to neighborhoods	3.61	53.1%

2010 ON-LINE SURVEY RESULTS & DISCUSSION HIGHLY PREFERRED PASSIVE & ACTIVE AMENITIES

**Wildwood Community Park On-Line Survey
Responses at-a-Glance**

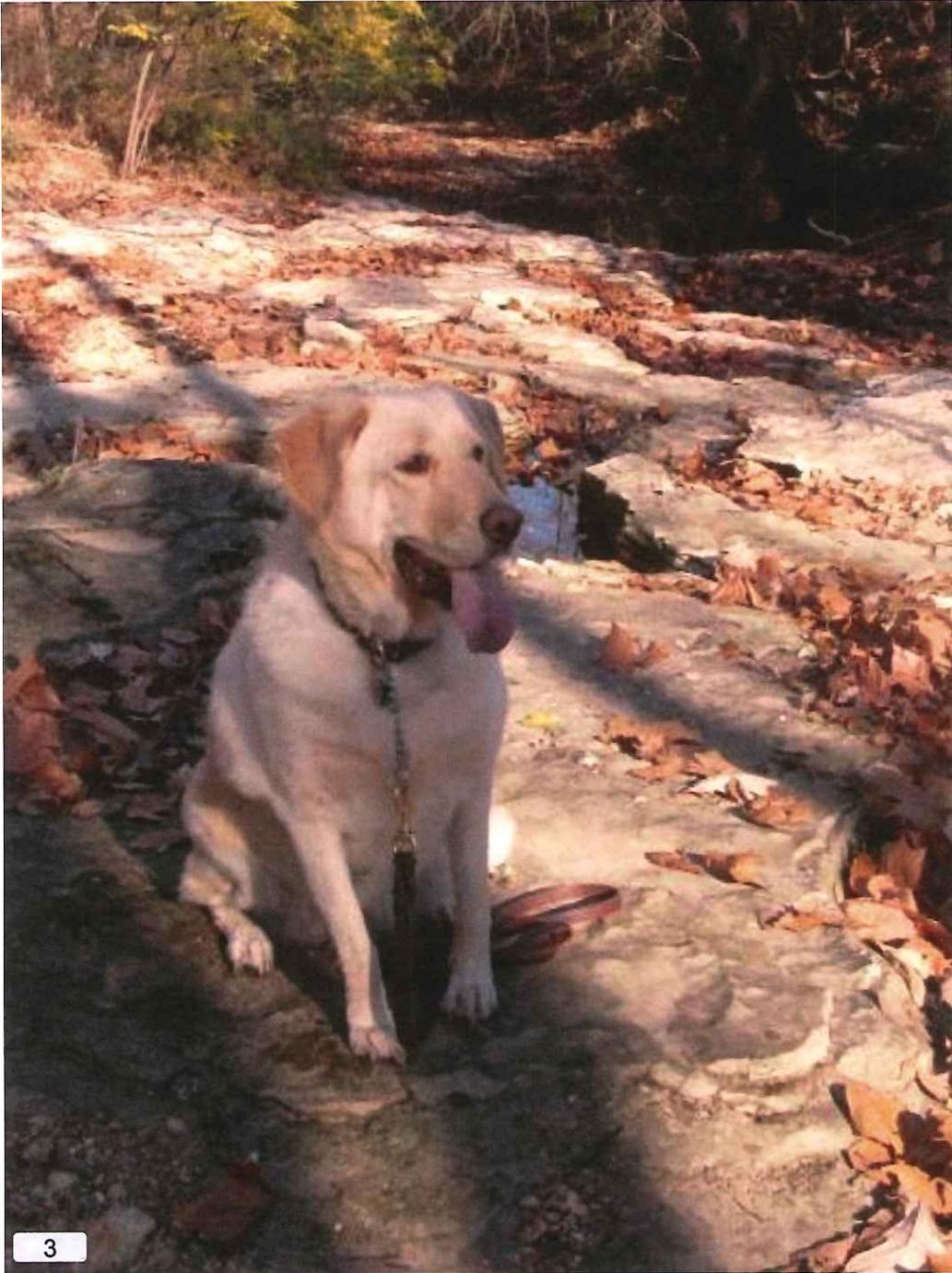
Category	Amenity or Principle	Rating (5 is high)	Top 5
Active	A. Multiple-use trails (dual paths for pedestrians and cyclists)	3.72	53.4%
Active	H. School-age playground	3.67	47.5%
Active	U. Sledding hill	3.67	44.4%
Active	M. Open play lawn	3.61	35.9%
Active	V. Stocked fishing lake	3.33	42.7%
Active	B. Single use trails for pedestrians	3.27	36.8%
Active	G. Toddler playground	3.19	30.9%
Active	O. Tennis courts	2.90	19.9%
Active	P. Basketball courts	2.90	14.4%
Active	L. Soccer fields	2.82	17.6%
Active	I. Special needs playground	2.78	11.0%
Active	J. Baseball fields	2.75	16.9%
Active	C. Single use trails for cyclists and roller bladers	2.70	21.2%
Active	K. Softball fields	2.69	13.8%
Active	N. Volleyball courts	2.67	11.3%
Active	Q. Rock climbing wall	2.57	11.8%
Active	D. Fitness stations along trails	2.47	11.2%
Active	T. Frisbee golf	2.37	9.0%
Active	R. High and low ropes course	2.31	8.6%
Active	S. Horseshoe pits	2.27	7.1%
Active	F. Skateboard park	2.10	12.1%
Active	E. Equestrian trails and arena	1.71	9.0%
Passive	E. Park pavilions with picnic tables	4.13	72.3%
Passive	B. Trail connections to major destinations	3.80	51.1%
Passive	D. Outdoor amphitheater for concerts	3.72	54.4%
Passive	G. Natural open spaces (unprogrammed)	3.69	44.1%
Passive	F. BBQ pits (located near pavilions)	3.65	44.8%
Passive	A. Trail connections to neighborhoods	3.61	53.1%
Passive	L. Water features	3.32	36.9%
Passive	P. Space for farmers' market	3.02	31.6%
Passive	J. Natural wildflower garden	2.86	22.7%
Passive	C. Dog park	2.78	34.4%
Passive	N. Botanical labeling of plants	2.75	9.0%
Passive	M. Public art sculptures	2.53	10.4%
Passive	O. Interpretive signage of ecological features	2.53	5.3%
Passive	I. Butterfly garden	2.47	11.5%
Passive	H. Rain garden	2.39	7.0%
Passive	K. Vegetable garden	2.08	7.5%

**Wildwood Community Park On-Line Survey
Responses at-a-Glance**

Category	Amenity or Principle	Rating (5 is high)	Top 5
Other	Restrooms	4.61	N/A
Other	Lighting	4.30	N/A
Other	Benches	4.29	N/A
Other	Drinking fountains	4.11	N/A
Other	Directional signage (overall park)	3.61	N/A
Other	Directional signage (along trails)	3.61	N/A
Other	Mileage markers (along trails)	3.50	N/A
Other	Bike racks	3.36	N/A
Other	Information kiosks	2.65	N/A

STAKEHOLDER INTERVIEWS SYNOPSIS

- Wildwood YMCA: room for expansion and continued partnership
- Chesterfield: developing more athletic fields, dog park, & amphitheater
- Eureka: feasibility study for a community center, playgrounds, pavilions
- Ellisville: trail master plan and new playgrounds, continued partnership
- Ballwin: aquatic center, water play, stocked lake program, teens gym use
- Great Rivers Greenway: developing the Western Greenway
- Open Space Council: consider teens, trails and open space preservation
- St. Louis County Parks: consider maintenance, water features, pavilions
- Neighborhood Meetings: consider buffers and pedestrian connections



3



7



4



5



3



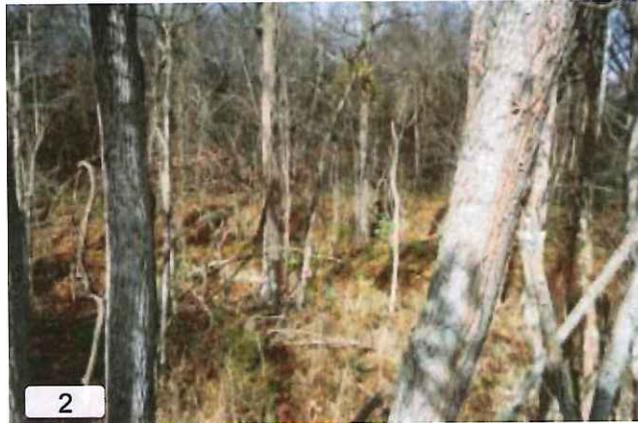
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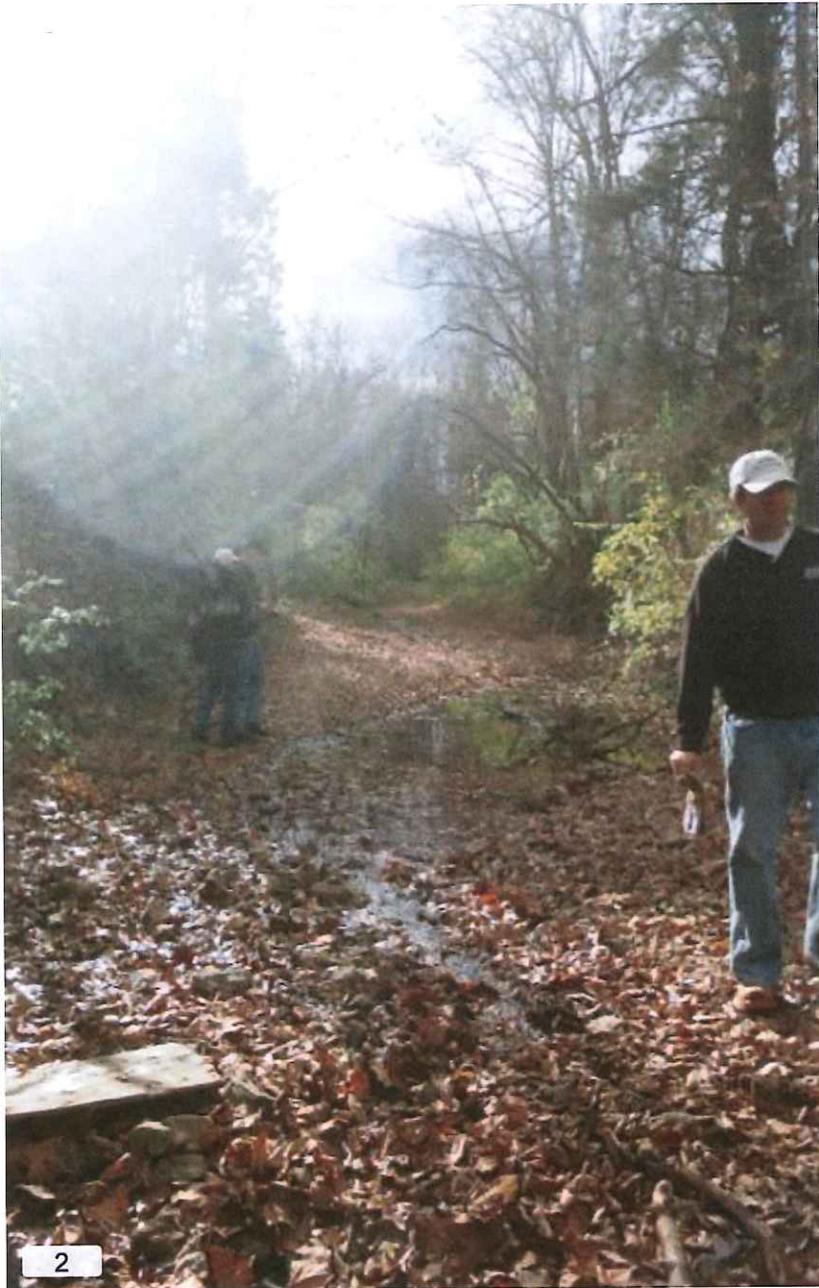


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7



15

GROUP B:

Photo 1: Like – Creek

Photo 2: Like – Creek

Photo 3: Shelf Rock
Keep – trail run along (natural)

Photo 4: Flat
Easy development area

Photo 5: Like – Trees
Preserve

Photo 6: Like – flat

Photo 7: Houses
Natural buffer

Photo 8: Like – development area
Original trail

Photo 9: Like – open spaces

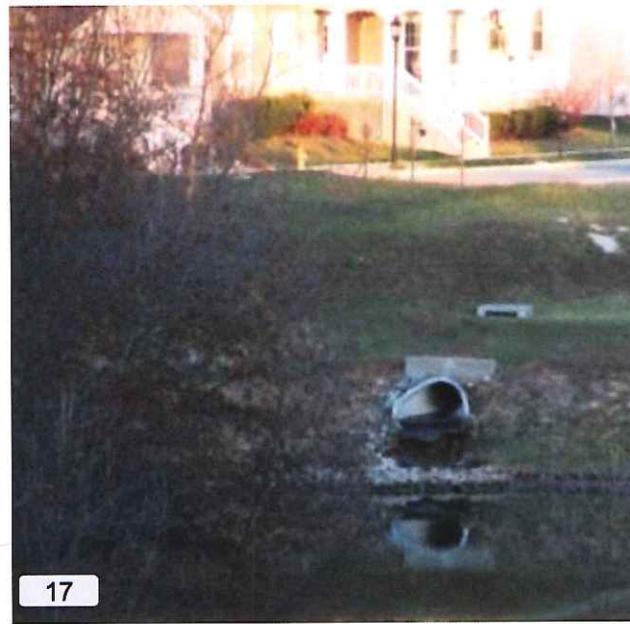
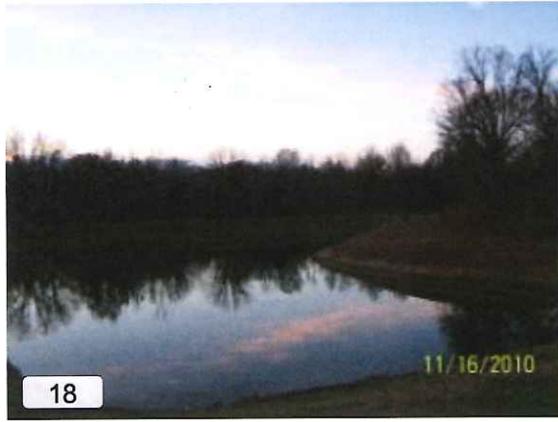
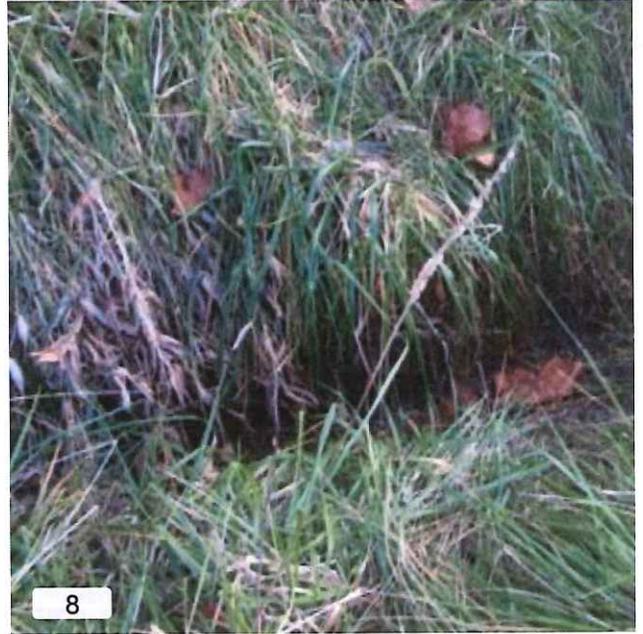
Photo 10: Like – slope (NE)
Amphitheatre

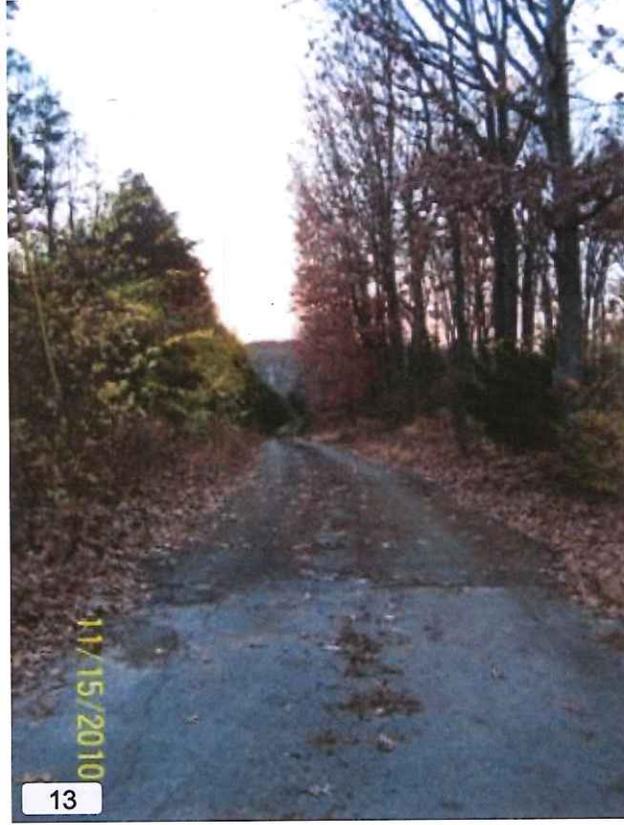
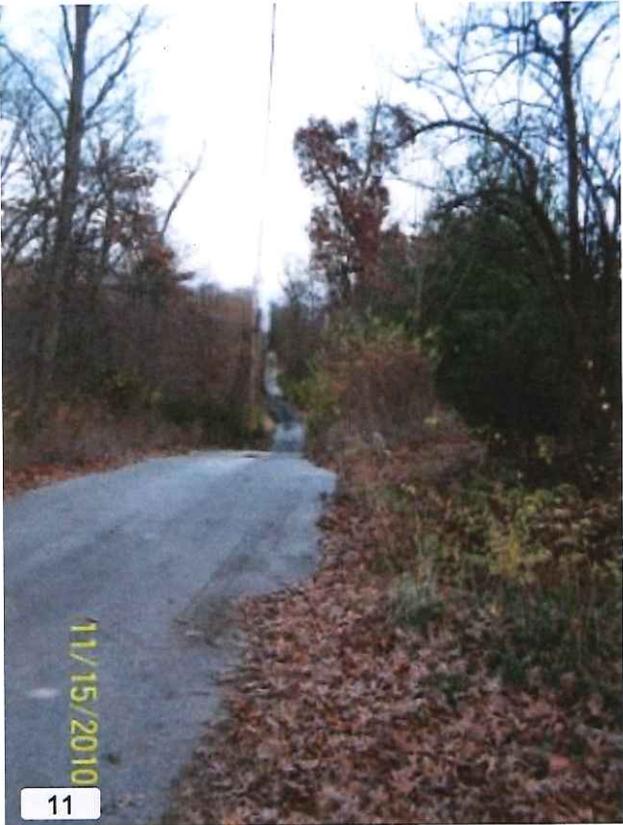
Photo 11/12: Like – open

Photo 13: Like – pond
Develop fishing lake. Great water feature.

Photo 14: Like – water
Expand...

Photo 15/16: Dislike – Access/100
Limited, right in-right-out, compensate for
access off 109







16



20



23



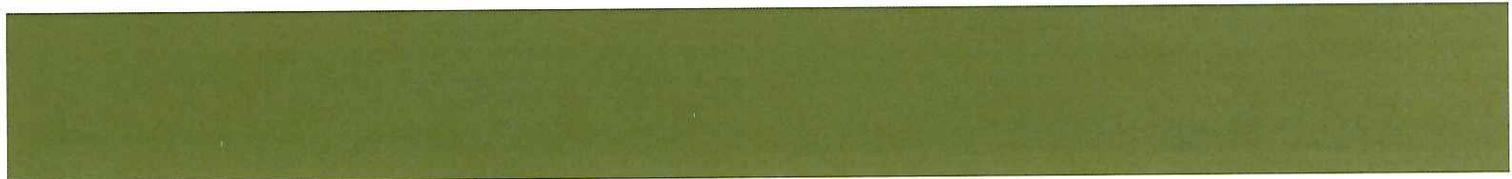
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21



22



GROUP B THUMBDRIVE

Photos 1 & 2: Pretty Level Most Northern Area of Site (approximately 3 acres).

Believe with a little excavation, this section of the site lends itself well for the multi-age play ground, Dog Park, maybe a small pavilion for picnic BBQ area.

Photos 3, 5, 6: Meadow Area (standing on the E side of the meadow looking SW, W, & NW).

Love the expansive field area lending itself well to have a multi-use community gathering area, undesignated (un-programmed) use for open fields for all types of sports, BBQ Bashes, Farmer's Market, etc...

Photos 7 & 8: Four (4) Trees in Middle of Meadow with Drainage Ditch.

Leave the trees, but redirect the drainage ditch if possible with low cost. Possibly have a very large pavilion with universal amenities under the 4 trees.

Photo 9: Looking E from Possible 2nd Road Entrance / Access into Park on the S Side of Park Site.

With much clearing of under brush, like this area for picnic, BBQ pits (no pavilions) & natural walking trails.

Photos 10 – 14: Entrance looking E & W on Kress Road at the utility access for Lafayette Trails Subdivision. (There are 2 pictures looking East on Kress Rd).

Like Kress Rd. / Pond Grover, but it will be costly to do the needed repairs to widen the rd. Do not like that it's very open to Lafayette Trails Subdivision – photo 14.

Photos 15, 15A, 16: Sledding Hill – Edge of Park Site – S Side.

Believe that this is a very nice sledding hill, having to do very little to clean up under brush. Do not like that it has a drainage ditch going across the middle of the hill – possible to fix inexpensively?

Photos 17 & 17A: Drainage Culvert from SW Corner of Lafayette Trails Subdivision.

Dislike that there is an open type of culvert drainage open to the E side of boundary of property that has washed out a huge ravine. (Photo 17 used is the exact same type of culvert drain at WC Subdivision. Photo 17A shows drainage ditch on site.)

Photos 18, 18A, 19: WC Retention Pond for Fishing Pond.

Like that this lends itself very well to a fishing pond. Dislike the look – maybe alter with minimal cost?

Photo 20: Major Creek at SW End of Meadow

The creek itself is awesome; however, dislike all the debris in the creek (Great opportunity for community service item to clean out creek.)

Photos 21 & 22: Areas along Creek on W Side of Park Site.

With the steep slopes on W side of park site, use some of this area for trails & natural open spaces.

Photos 23 & 24: SIDE THOUGHT FOR SMALL FUND RAISER:

With all the fallen wood in the park, if appropriate, could possibly bundle and sell for fire pit and or fireplace usage. The wood has to be cleared away anyway.

TOP PRIORITIES FROM 2 SURVEYS ---- ACTIVE AND PASSIVE USAGE:

*Pavilions with Picnic Tables, BBQ Pits

*Play Ground Area for All Age Children

*Multi-Use Area for Community Gathering, BBQ Bashes, Farmer's Market, etc...

*Natural Open Spaces

*Sledding Hill

*Fishing Pond

*Dog Park (~2nd most item listed in survey across the USA)







Group C:

Photo 1: Like
Big sycamore

Photo 2: Like
Shelf rock along creek. Leave creek natural-soft trails only.

Photo 3: Like
Leave some grasslands along edge of meadow for wildlife habitat.

Photo 4: Like
Leave some natural for buffer to subdivision

Photo 5: Like
Leave south end natural for wildlife habitat.

Photo 6: Like
Clearing at end of farm road near creek. Picnic spot? Camp ground? Trail head?

Group D

Photo 1: Cress Road
Checking boundaries between road and site

Photo 2: Lafayette Trails
Checking buffer between subdivision and site. These could be natural areas and/or soft trails.

Photo 3: Park Vista (homes in distance)
Just an overview of site.

Photo 4: area to east of parking
Many ravines cut through area – walking trails? Maybe small pavilion

Thoughts: leave creek area natural
Tuck pavilions, etc on gentle slopes

Group E THUMBDRIVE

Photo 1: SE corner of meadow by the creek
Big open area – good for a field / open play area for soccer / football / Frisbee / etc. No specific sports fields.

Photo 2: west of meadow
Good area for a hiking trail – too steep for anything else

Photo 3: edge of property near Lafayette Trails
Existing retaining wall – maybe a border for a trail

Photo 4: far NW end of property
Good area for a parking lot with an entrance off of 109

Photo 5: NW corner by creek
Great place for a suspension bridge/trail head for a trail up the hill

Photo 6: west side by creek
Great place for a bridge over creek bed

Photo 7: ridge line on west side of property
Great flat area for a ridge line trail

Photo 8: great for a trail along the creek

Photo 9: slate area in creek
Great area for a bridge over the creek to connect a trail to the meadow

Photo 10: Farm Road and creek
Good place for a big bridge over the creek – possibly a handicap accessible trail down the farm road from the meadow

Photo 11: pond
Good for small fishing pond – needs some work around the edges and landscaping

Photo 12: meadow
Peaceful feeling – nice and flat – good for playground – maybe a big wooden one?

Photo 13-14: Queeny Park
This is an open play field at Queeny Park. Something like this would be great in the meadow.



1



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9



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4





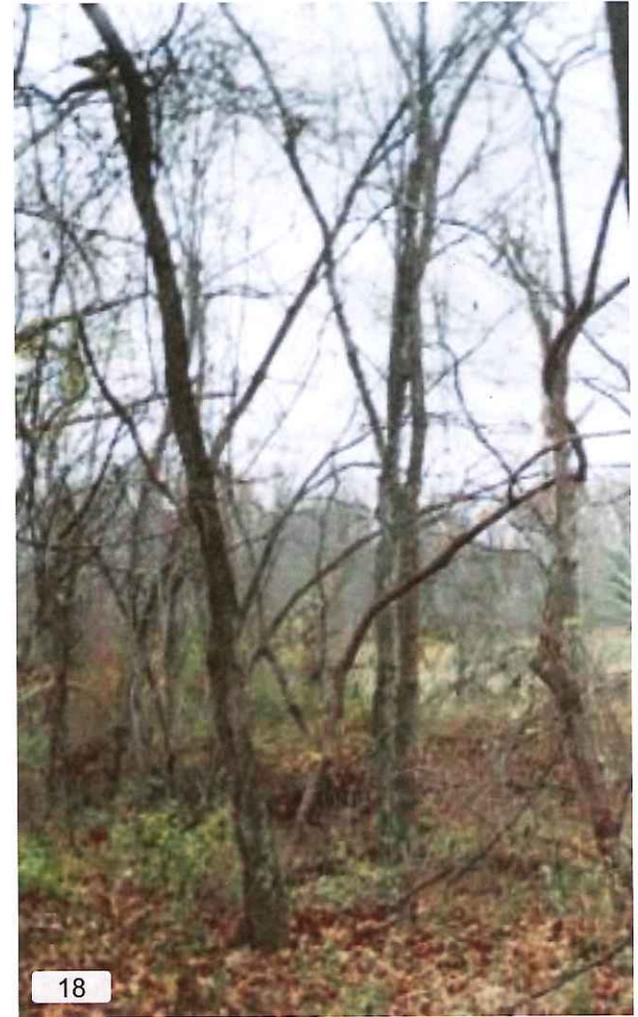




15



20



18



21



17

GROUP E:

Photos 24/25: Like – Meadow border north and south
Great open flat land, broad and long

Photo 22: Like – Meadow – wend end slope
Northern edge is great for a potential amphitheater as there is already a slope
for seating

Photo 21: Like – west meadow
Great for parking and baseball

Photo 20: Like – northwest creek bed
Beautiful

Photos 16/17/18: Like – creek bed
Great hiking trails, cool ridge on west side of creek

Photo 15: Like – retention pond
Bring it out thru the valley to the west to extend pond and make it look more
natural





4

GROUP G:

A - Comment Only: I marked this site because although obvious – I thought it was worth mention that here is where signage **MUST** go! It comes up quick after 109 and proper signage will help! B – Comment only: Lots and lots of noise from Highway 100 – another statement of the obvious! C – Comment only
 Just literally saw 4 deer – they ran across the “drive way” path. Love the wild life – nature preserve is a draw here!

Photo 1: Like: Similarity of trees on both sides of walk-way / drive way – it makes for a Christmas tree (holiday) type feel – this would be a beautiful type of landscape somewhere.

Photo 2: Dislike: Don't like all the skinny dead or stick trees and branches – it may just be the time of year though

Photo 3: (indifferent): Not sure if I like or dislike this spot in the photo – I thought it was something to note though – how the land is cleared out in a “U” shape. This may be good for directional signs and legends once the park is in place, etc.

Photo 4: Like
 Sunset at 4:17 pm – this picture shows the view of the sun starting to set – (I came out here at a different time than the others) Some people would love to have a good view of sunrise/sunset from various locations in the park – just ideas!

Park Entrance

1. It seems that the most logical and feasible way to enter into the park would be from westbound HWY 100. However, the design team needs to consider how visitors will exit the highway into the park, and how they will exit the park back onto the highway safely. Possible solution could be dedicated turn lane in and out.
2. There seems to be an adequate amount of space just beyond the 36' wide dedicated access point off HWY 100 to make a divided entrance (median) with possible park signage etc.
3. At the present time, Kress Road is not a viable option for public access into the park. This is due to the fact that the road is basically one lane (15') and is in poor condition. However, the design team should take into consideration the future expansion of the Pond-Grover Loop Road, and how the expansion could provide access and possible parking options for the future.

Park Road/Parking

1. Taking the topography and possible planned facilities/activities into consideration, it seems that a two lane park road could easily be developed extending from the front entrance down to the creek (following the path of the existing farm road without a lot of major grading etc.), at which point a bridge could extend across the creek leading into, and possibly around the meadow area.
2. It looks like the roadway could be made wide enough to possibly handle soft (grass or gravel) shoulders on both sides. These shoulders could possibly be used for ongoing parking to gain access to nature trails, or they could be used as additional parking for special events.
3. Due to the topography, it could be difficult and costly to develop major parking areas at the front or along the east or west sides of the park. As such, it appears that if a park road were to be extended down into the park as described above, a parking lot(s) could be developed within the meadow area. This would provide easier access to facilities and activities that could possibly take place within the meadow area.

Meadow

1. The meadow areas topography seems to be perfect to accommodate a variety of Active and Passive Uses that were identified in the surveys.
2. This area would require minimal site grading and is large enough to accommodate a variety of uses. However, the challenge would be to design the area in a manner that it would be aesthetically pleasing, provide sufficient access/parking, and not look like everything is jammed into one location. This could be accomplished by having multiple parking areas and dividing the meadow into different use areas. Whereas the use areas could be somewhat divided by natural features, such as swales, berms, landscaping, facilities, etc., while at the same time still provide openness, and a flow of access to other use areas within the park.

Creek

1. As you can see in the attached pictures, the creek has many downed trees blocking the flow as well as access.
2. There seems to be a lot of erosion issues along the creek bank that may need to be addressed.
3. The creek can be an asset and/or an attractive nuisance. As such, the design team will need to consider how portions of the creek can be safely accessed by visitors. As we all know, if safe access is not made, visitors will explore and will find a way on their own to access the creek. This could possibly be accomplished by 1) *Identifying areas of the creek where safe entry could be made possible*; 2) *Provide some type of trail that would lead to this access point(s)*; 3) *Have the trail wind away from unsafe areas of the creek. This could be accomplished by creating a natural landscaped buffer/separation between the creek and the trail. This would also help with erosion and water quality issues.*

Retention Pond

1. As stated in the surveys, a stocked fishing lake seemed to be an amenity that residents would like to have within the park. As such, is it possible to expand the current retention area into a much larger lake? If so, could it be made to look more natural opposed to looking so man made as it does today?

Natural Areas

1. The west side of the site is heavily wooded and consists of varying grade changes and steep slopes. I would suggest that this area be left primarily undisturbed with the exception of the removal of bush honeysuckle and brush, and be made available for passive uses, such as nature trails.
2. The south side of the site consists of woods and varying grade changes. I would also suggest that this area be left primarily undisturbed with the exception of the removal of bush honeysuckle and brush, and be made available for passive uses, such as nature and multi-use trails. This area also creates a great natural buffer between the active areas of the park and neighboring subdivisions.
3. The south side, like the west side of the site consists of woods and varying grade changes. I would also suggest that this area be left primarily undisturbed with the exception of the removal of bush honeysuckle and brush, and be made available for passive uses, such as nature trails, multi-use trails, and for the expansion of the retention pond. This area also creates a great natural buffer between the active areas of the park and highway 100.

Trails

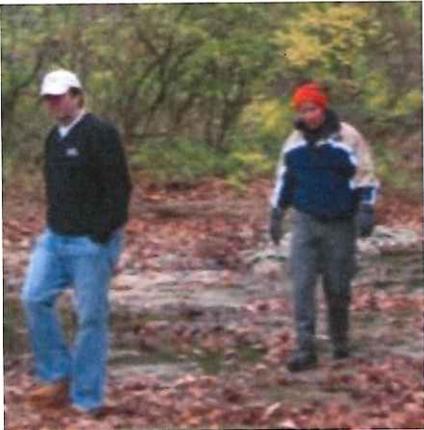
1. As previously mentioned, I think that the natural areas of the site are ideal for nature trails. These trails could/should have connectivity to multi-use trails, neighborhoods, parking, creek, and active areas of the park.
2. Phase 6 of the Wildwood Greenway (A public multi-use trail extension from Windsor Crest Subdivision to Mueller Road) is currently planned to run along the front of the park. This multi-use trail could give connectivity and access to neighboring subdivisions, nature trails, retention pond/lake, as well as other areas of the park.
3. The topography of the east side of the site that runs parallel and directly behind the Lafayette Trails and Windsor Crest Subdivision (Along the 20' wide water easement), seems to be suitable for a multi-use trail. This multi-use trail could easily connect to the proposed Phase 6 of the Wildwood Greenway (A public multi-use trail extension from Windsor Crest Subdivision to Mueller Road) on the south, and could extend to the north towards Kress Road and provide connectivity to the Portland Cove Subdivision. It could also provide connectivity to various nature trails and access to the active areas of the park.

Site Utilities

- Electric: Potential electrical connectivity could be made through the northeast side of the site near Kress Road.
- Water: Potential potable water connectivity seems to exist along the east side of the site and along the south side of the site.
- Gas: Potential gas connectivity seems to exist along the east side of the site.
- Fiber Optics: Potential gas connectivity seems to exist along the east side of the site.
- Sewer: Did not identify sewer connectivity on site, however, there could be potential connectivity through the Lafayette Trails and Windsor Crest Subdivision.













FRAMEWORK PREFERENCE – INDIVIDUAL (pink form)

- **Program Inclusivity** – the framework’s ability to serve as a gathering spot for most Wildwood residents; and to meet the needs of those residents with a diverse variety of possible activities.
- **Balance of Active and Passive Areas** – the framework’s ability to preserve native areas, while providing space for active amenities.
- **Connectivity** – the framework’s ability to link active and passive areas within the park; and to link the park to major destinations and neighborhoods

Score framework preference criteria on a scale of 1 to 5, with one being low. Then, add the total points for each framework; and rank the frameworks based on the preference scores.

	Program Inclusivity	Balance of Active and Passive Areas	Connectivity	Total Points	Final Ranking
Framework 1 – Low Road Scheme					
Framework 2 – High Road Scheme					
Framework 3 – Loop Scheme					
Framework 4 – Stub Scheme					

General Comments about **most** appealing framework

General Comments about **least** appealing framework

FRAMEWORK & AMENITY DISCUSSION – GROUP (blue form)

I. Framework Preference

	Rationale
Most Preferred Framework:	<ul style="list-style-type: none"> • • • • • •
Second Most Preferred Framework:	<ul style="list-style-type: none"> • • • • • •

II. Wildcard Amenities Selected

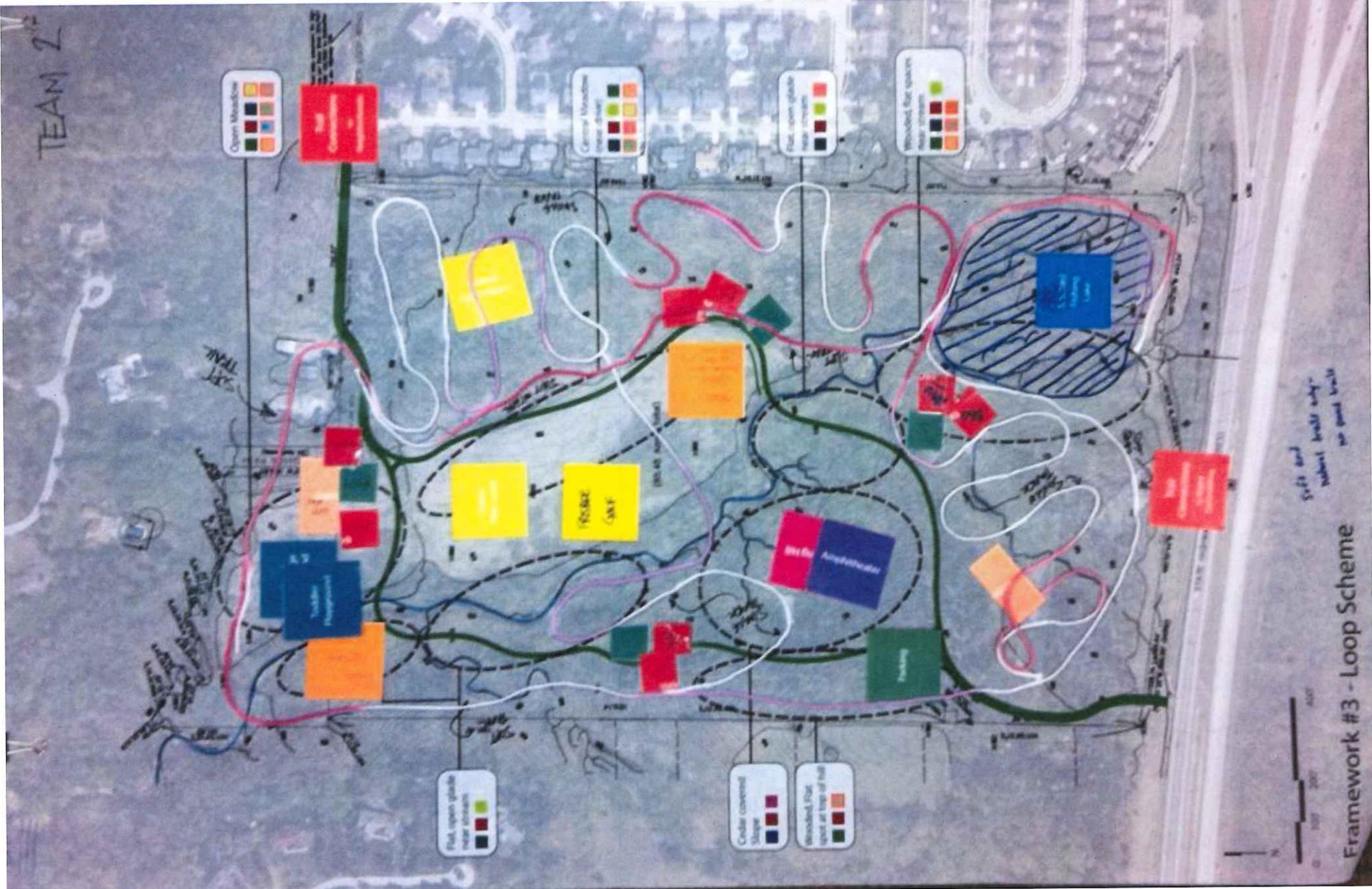
Amenity <i>(in Preference Order)</i>	Rationale

III. Suggestions for Improving Gaming Session

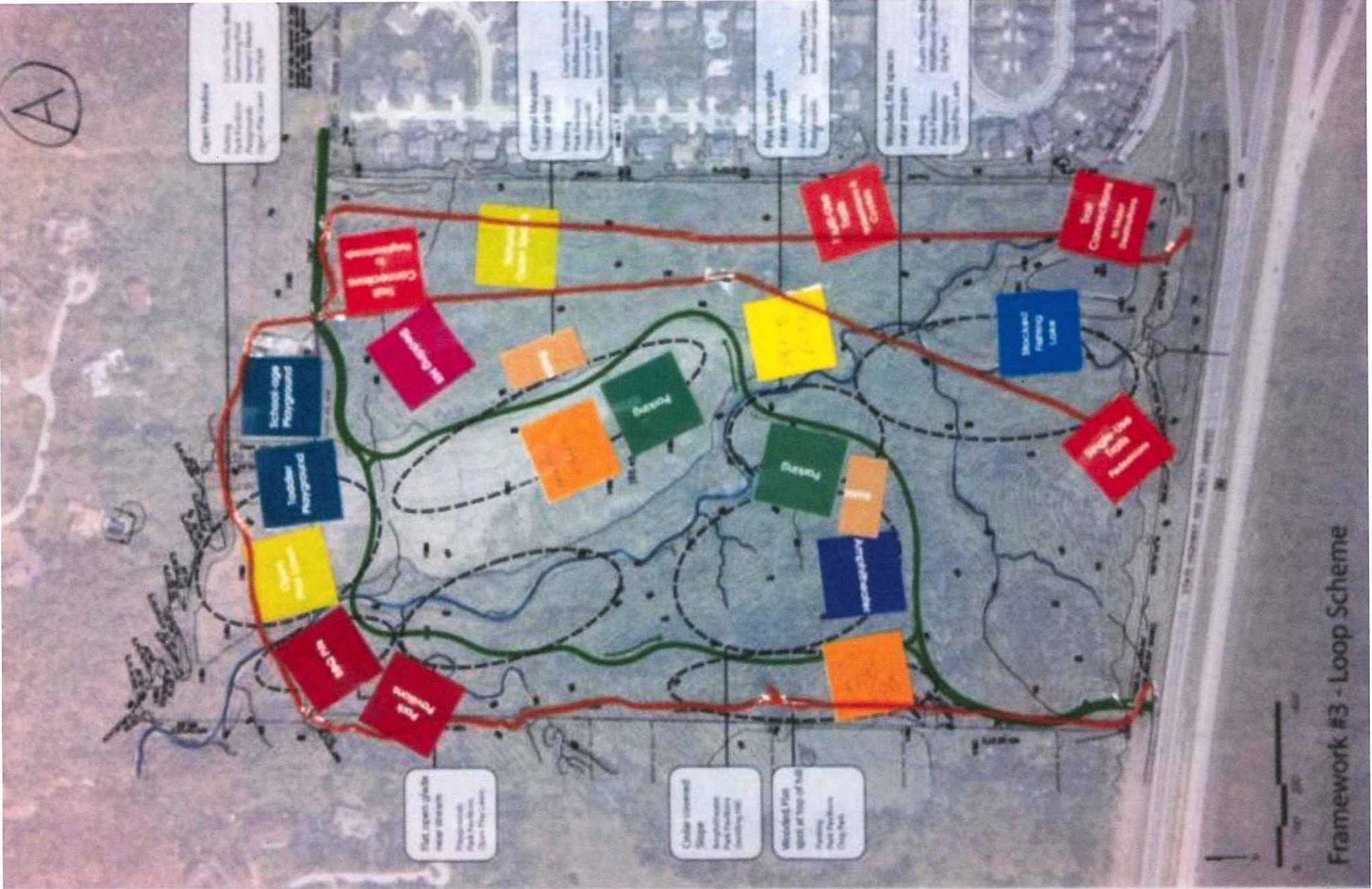
GROUP 1



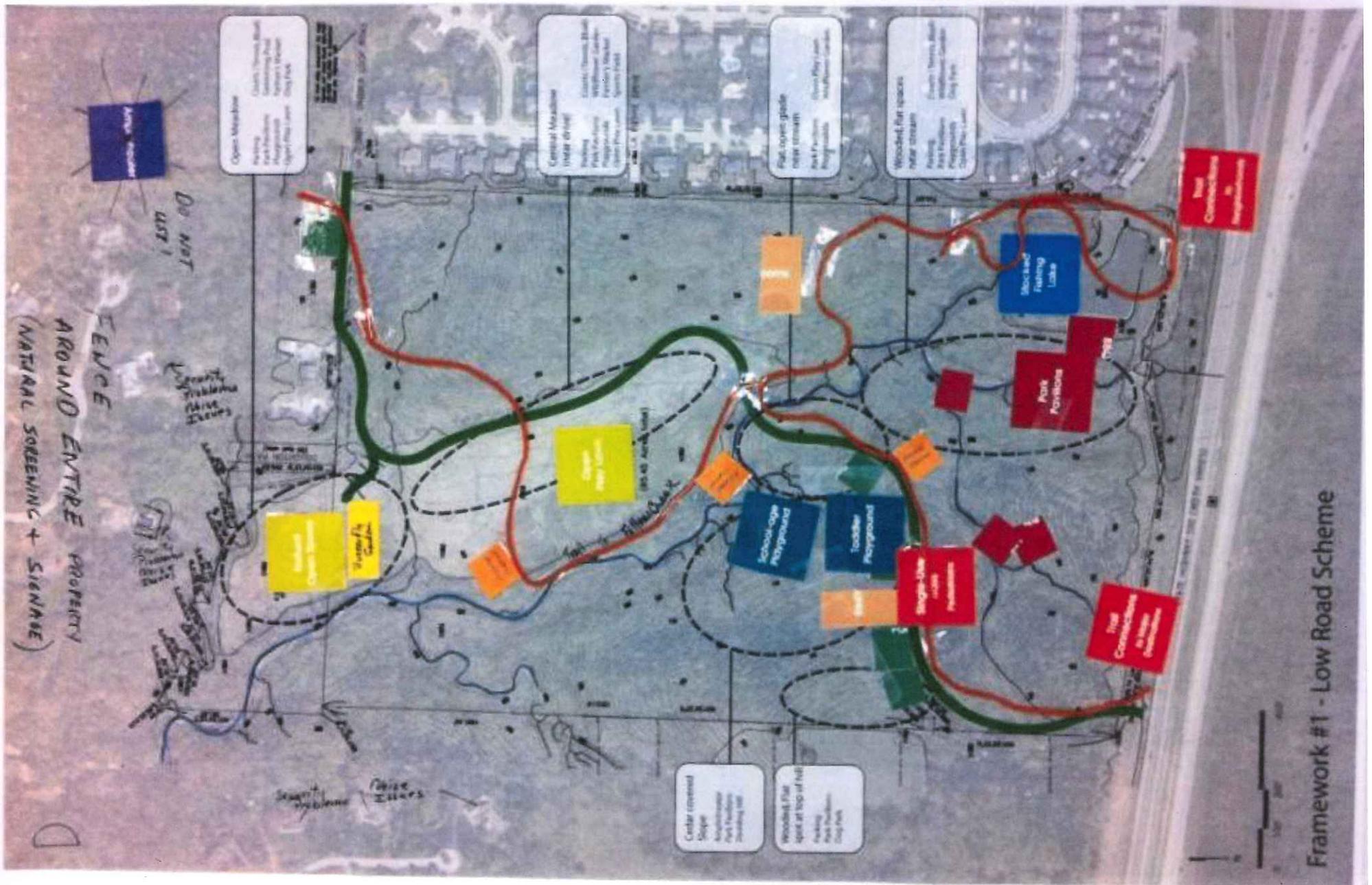
GROUP 2



GROUP A



GROUP D



Goals & Background

Site Photos & Site Analysis

Program

Comparable Projects

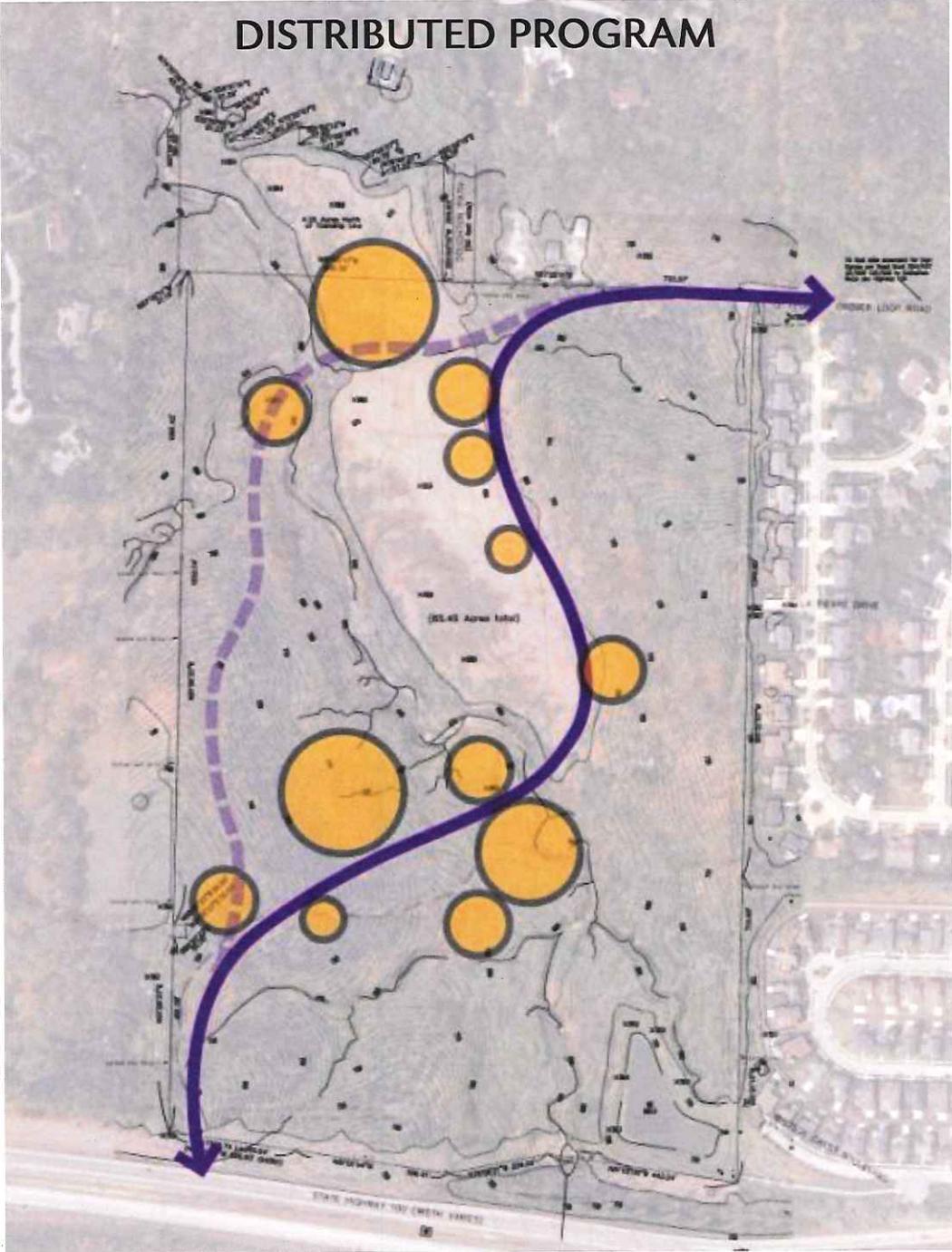
Public Participation

Development Frameworks & Conceptual Ideas

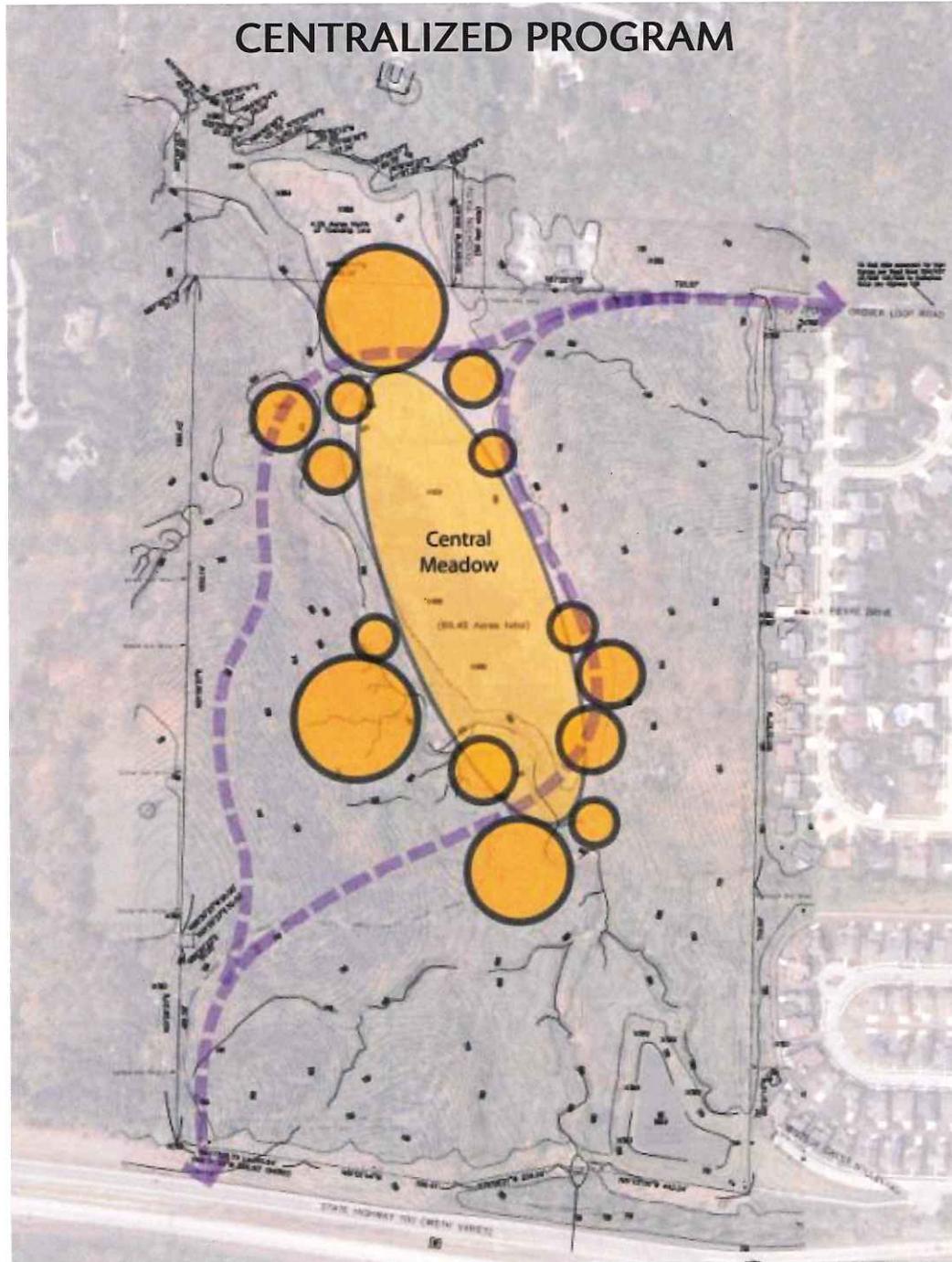
The Master Plan

Phasing & Costs

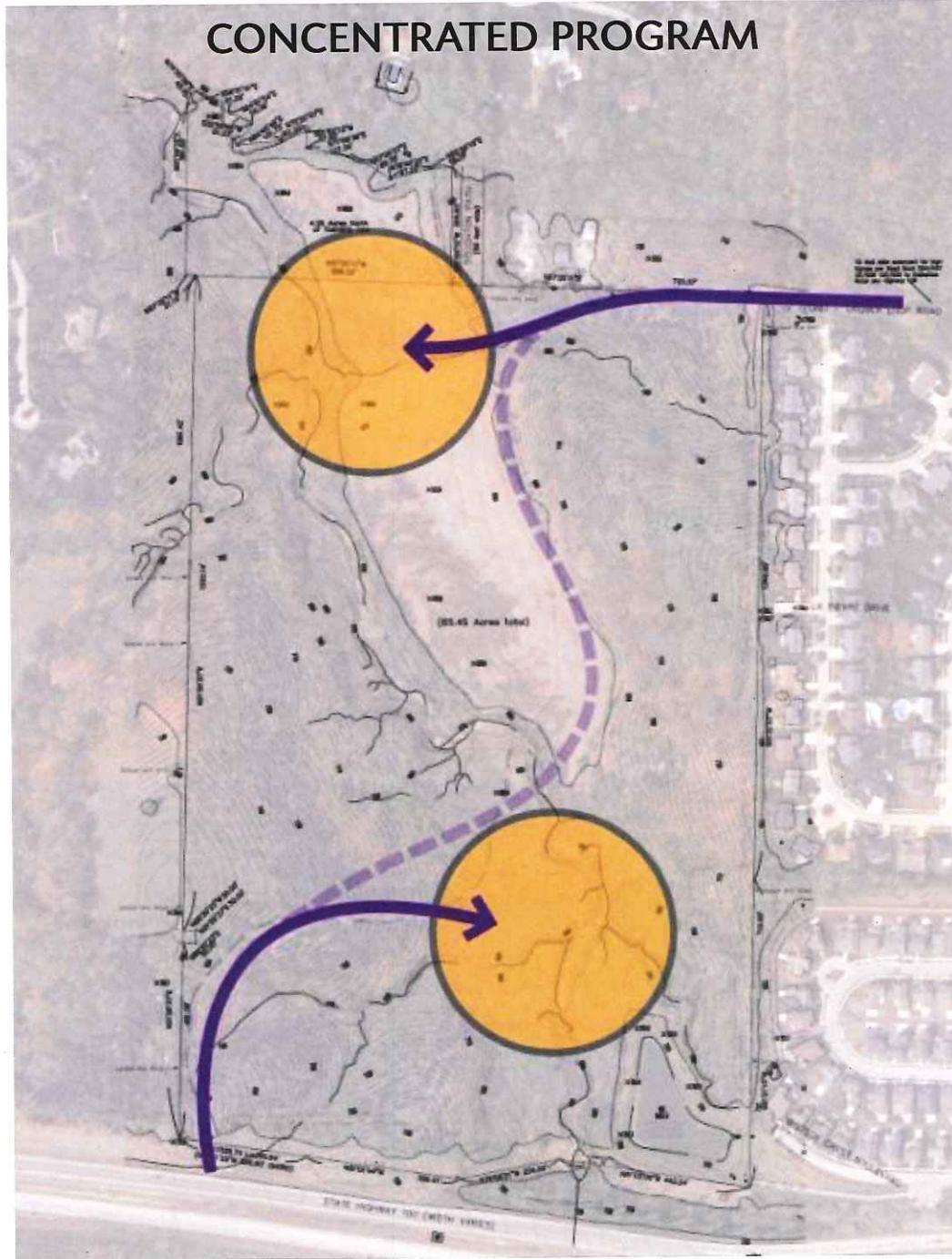
DISTRIBUTED PROGRAM



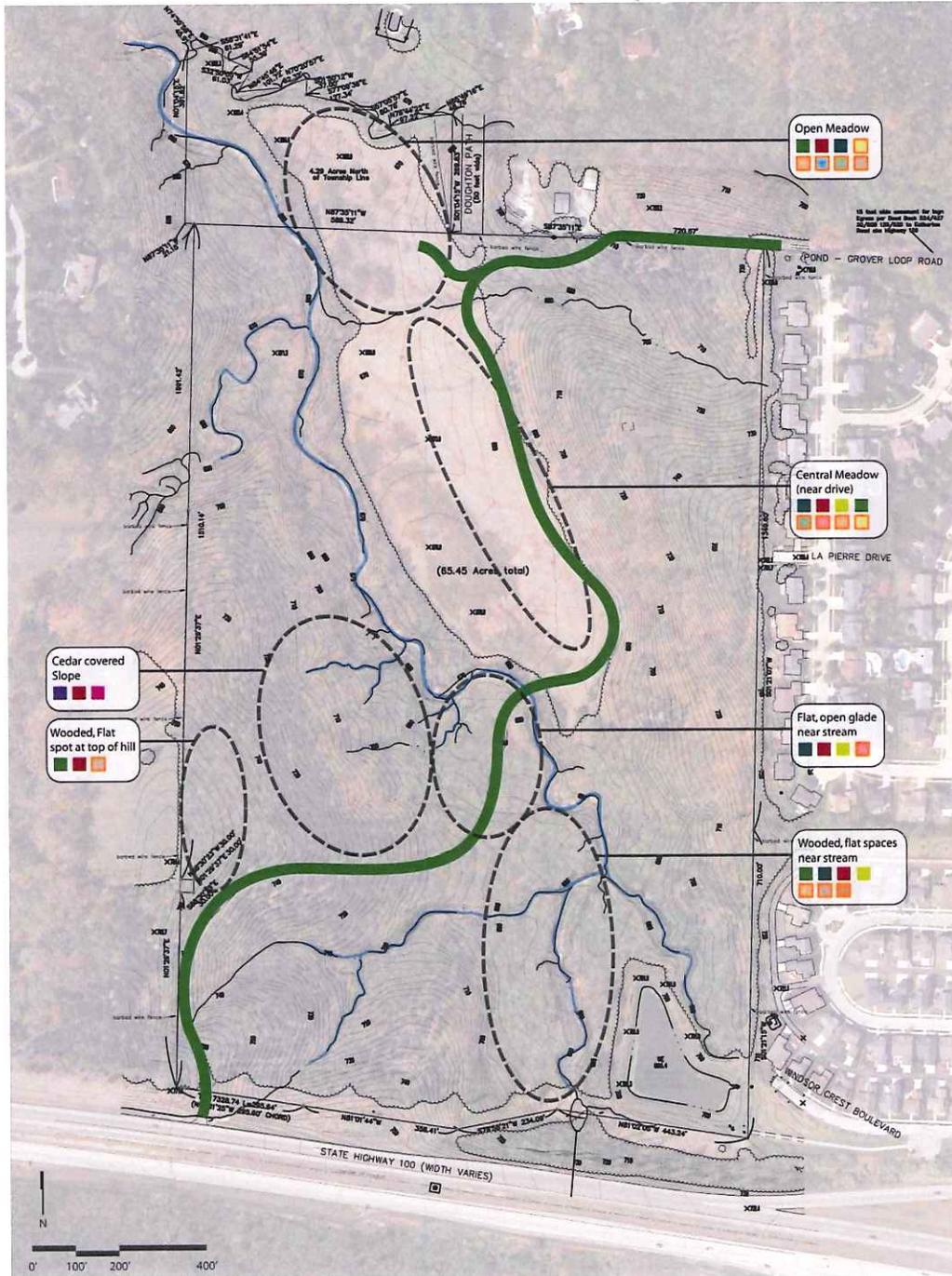
CENTRALIZED PROGRAM



CONCENTRATED PROGRAM



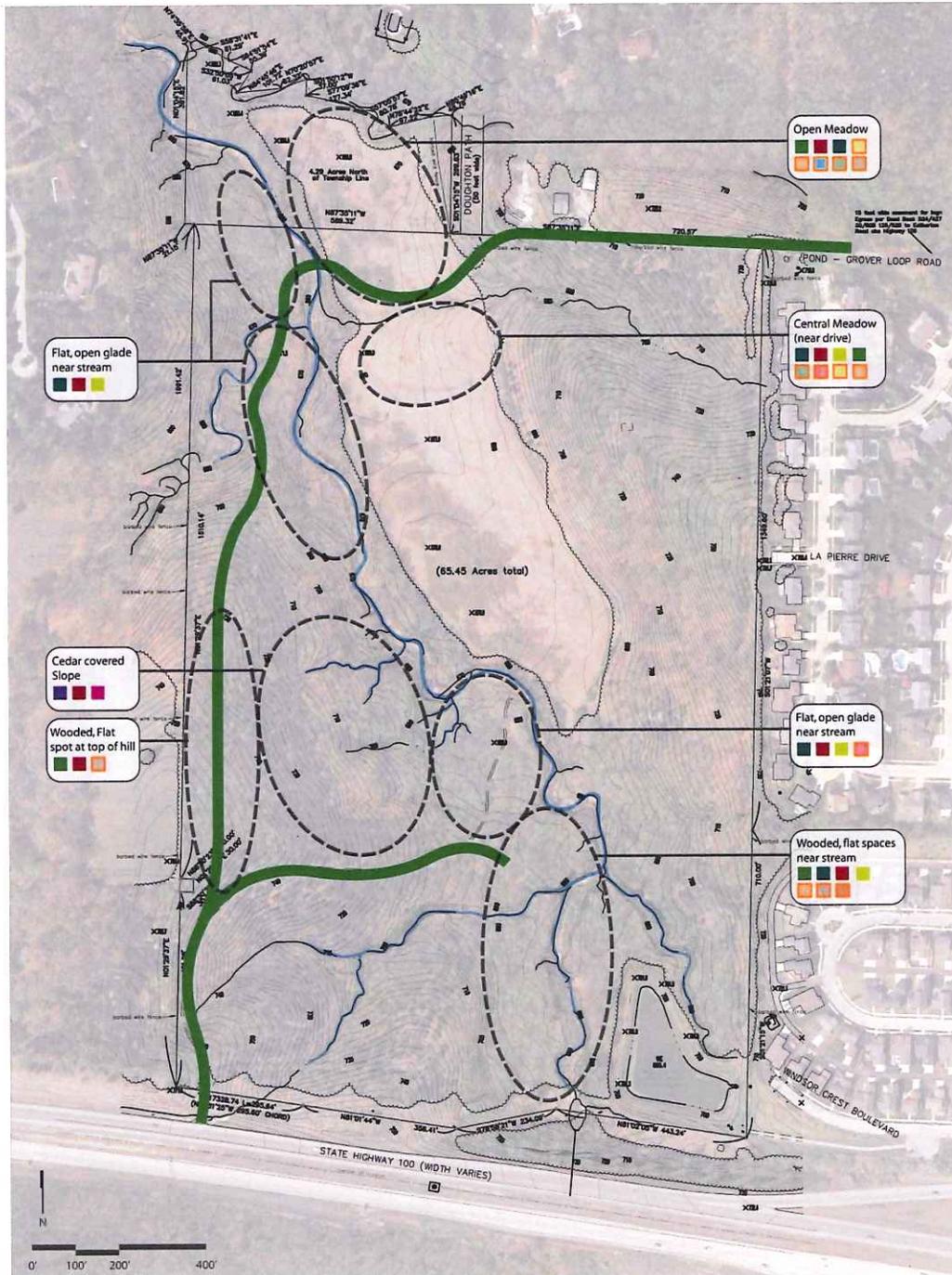
-  Parking
-  Playgrounds
-  Open Lawn
-  Fishing Lake
-  Sledding Hill
-  Trails
-  Pavilions
-  Amphitheater
-  Restrooms



-  Wild Card
-  Courts (tennis, bball)
-  Sport Field
-  Swimming Pool
-  Water Feature
-  Farmer's Market
-  Wildflower Garden
-  Dog Park
-  Wild Card

Framework #1 LOW Road Scheme

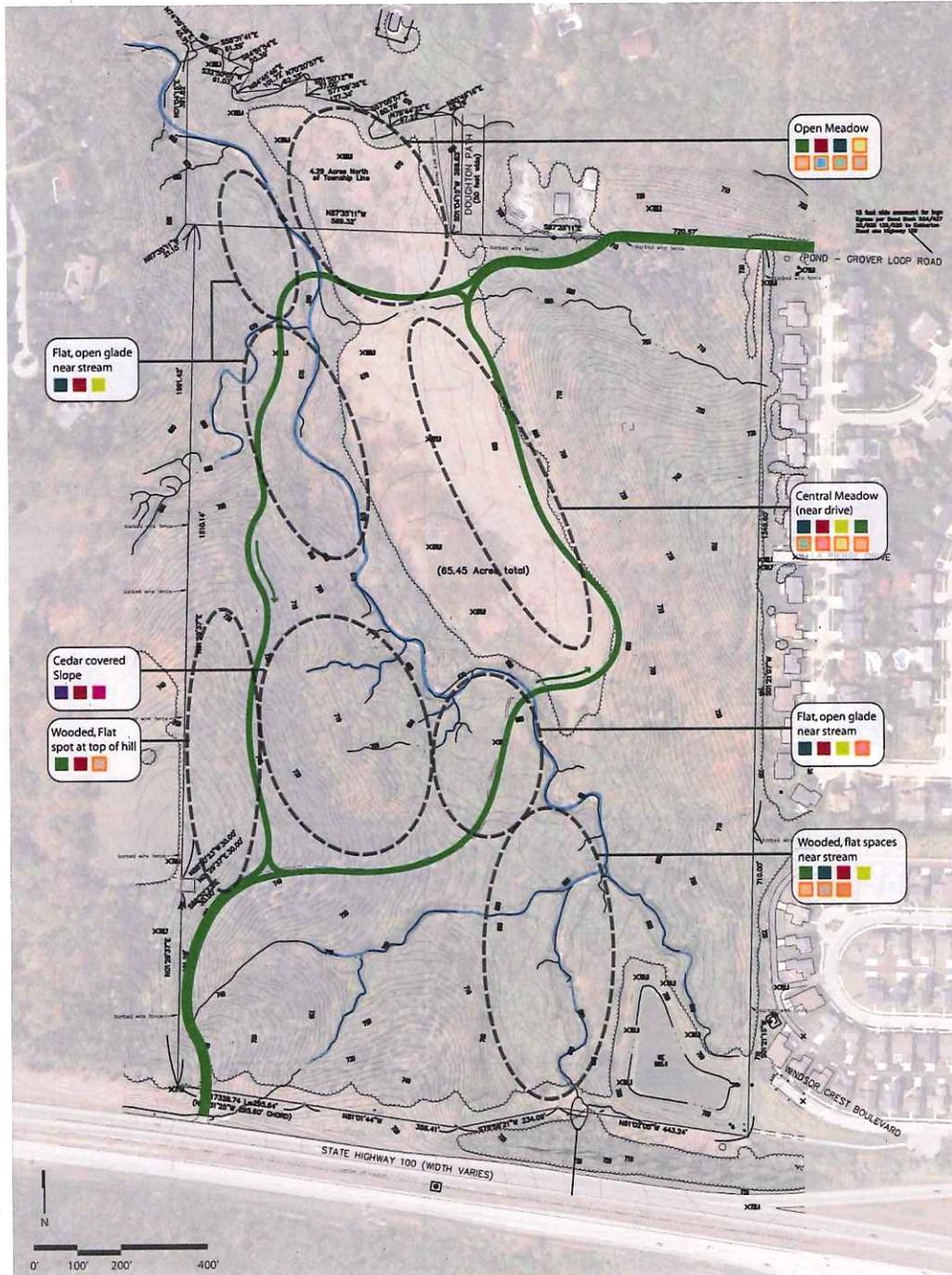
- Parking
- Playgrounds
- Open Lawn
- Fishing Lake
- Sledding Hill
- Trails
- Pavilions
- Amphitheater
- Restrooms



- Wild Card
- Courts (tennis, bball)
- Sport Field
- Swimming Pool
- Water Feature
- Farmer's Market
- Wildflower Garden
- Dog Park
- Wild Card

Framework #2 HIGH Road Scheme

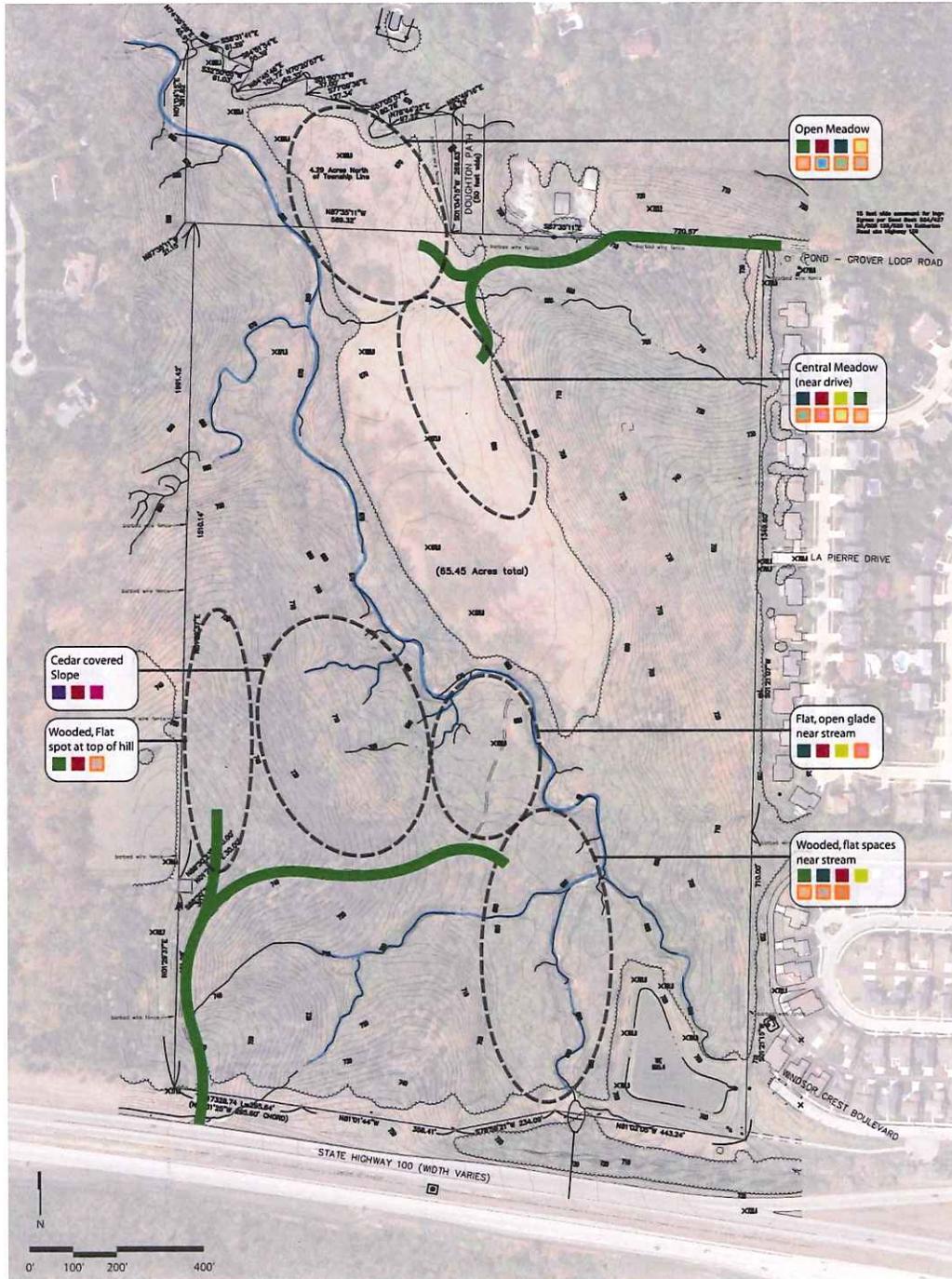
-  Parking
-  Playgrounds
-  Open Lawn
-  Fishing Lake
-  Sledding Hill
-  Trails
-  Pavilions
-  Amphitheater
-  Restrooms



-  Wild Card
-  Courts (tennis, bball)
-  Sport Field
-  Swimming Pool
-  Water Feature
-  Farmer's Market
-  Wildflower Garden
-  Dog Park
-  Wild Card

Framework #3 LOOP Scheme

-  Parking
-  Playgrounds
-  Open Lawn
-  Fishing Lake
-  Sledding Hill
-  Trails
-  Pavilions
-  Amphitheater
-  Restrooms



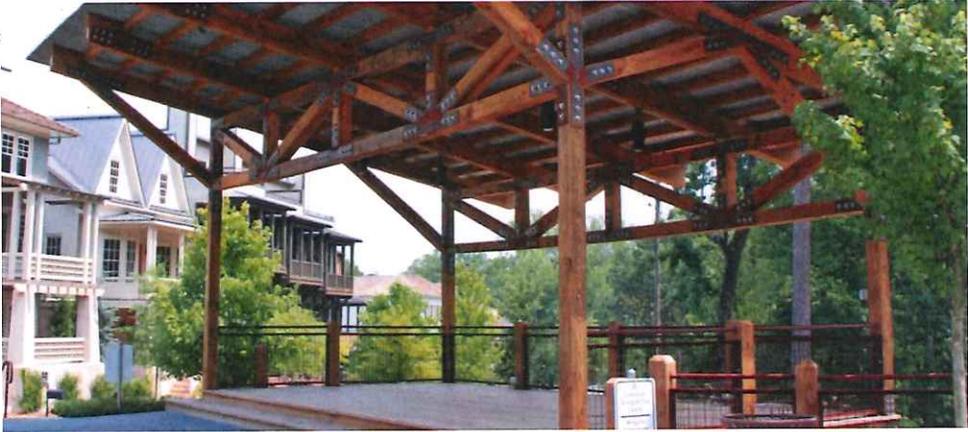
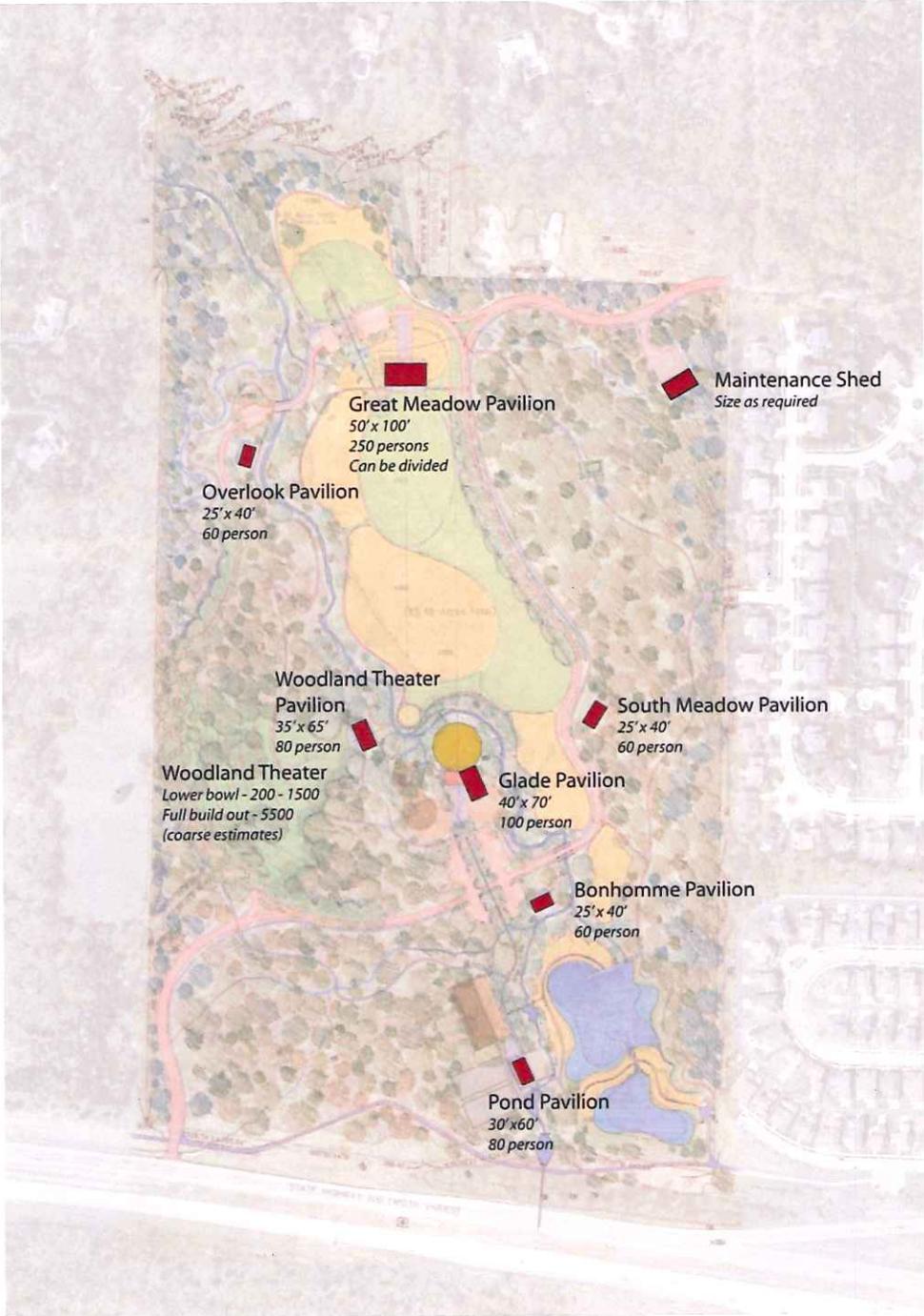
-  Wild Card
-  Courts (tennis, bball)
-  Sport Field
-  Swimming Pool
-  Water Feature
-  Farmer's Market
-  Wildflower Garden
-  Dog Park
-  Wild Card

Framework #4 STUB Scheme

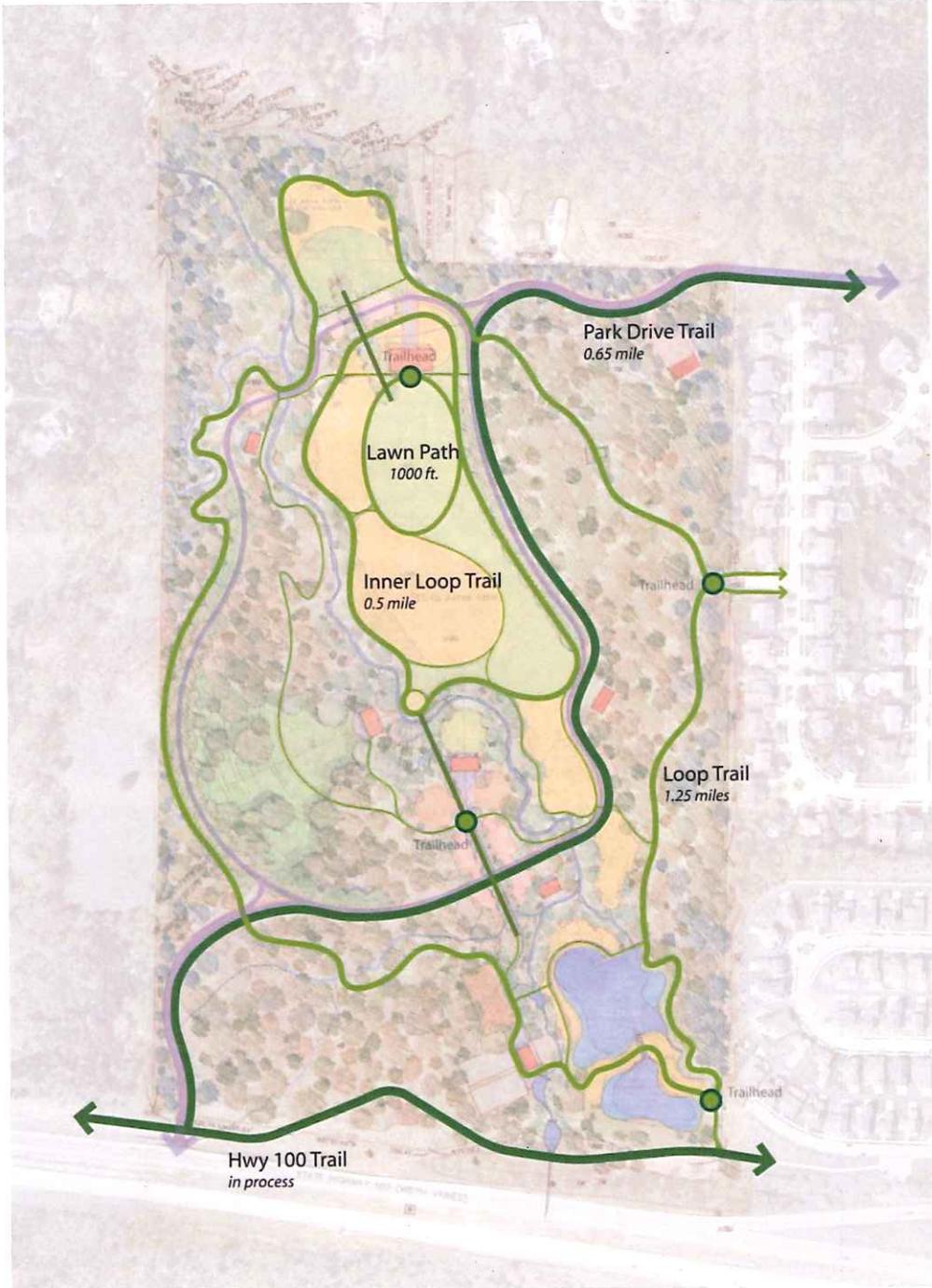
Roads and Parking



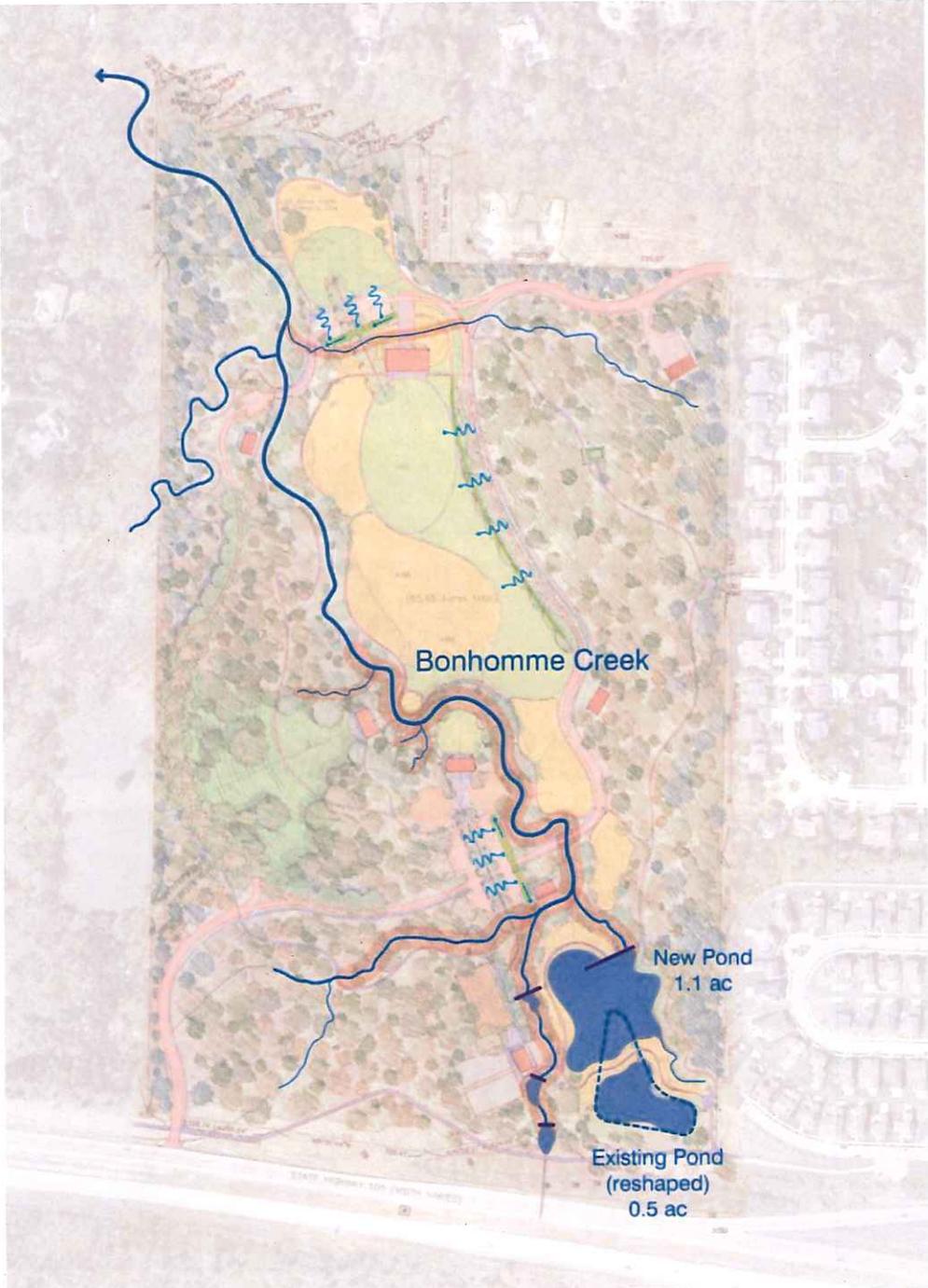
Structures



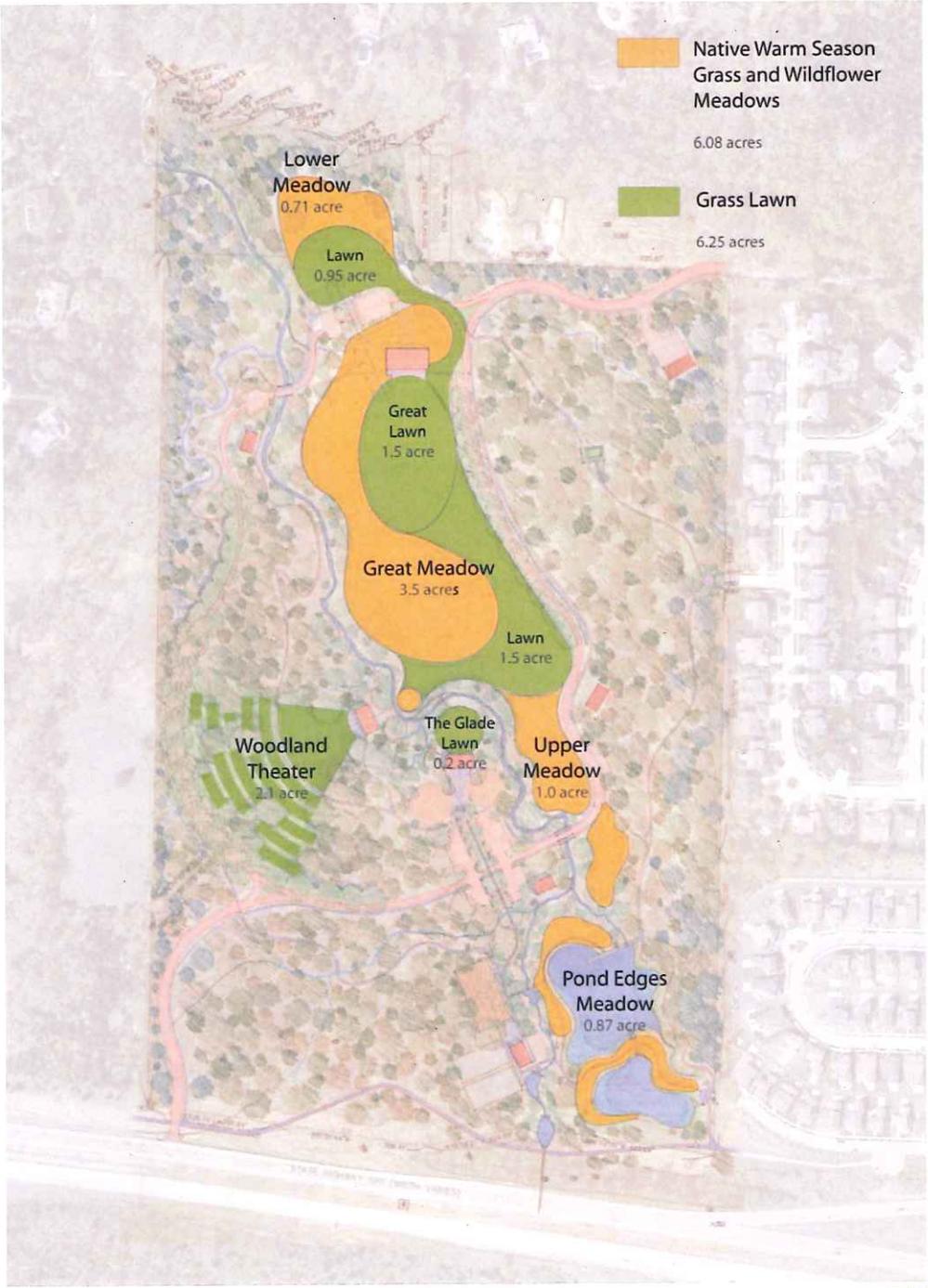
Paths and Trails



Hydrology – Ponds and Streams



Lawn, Field, Meadow



Plant Communities

COVI RAGI



Native Glade Meadow

Little Bluestem
 Sideoats Gramma
 American aloe
 purple prairie clover
 false boneset
 Missouri orange coneflower

White Oak Woodland

White Oak
 Black Oak
 Post Oak
 Black Hickory
 Blackhaw
 Redbud

Sugar Maple - Oak Woodland

White Oak
 Red Oak
 Sugar Maple
 Hickory
 Black Gum

Pine - Oak Buffer Planting

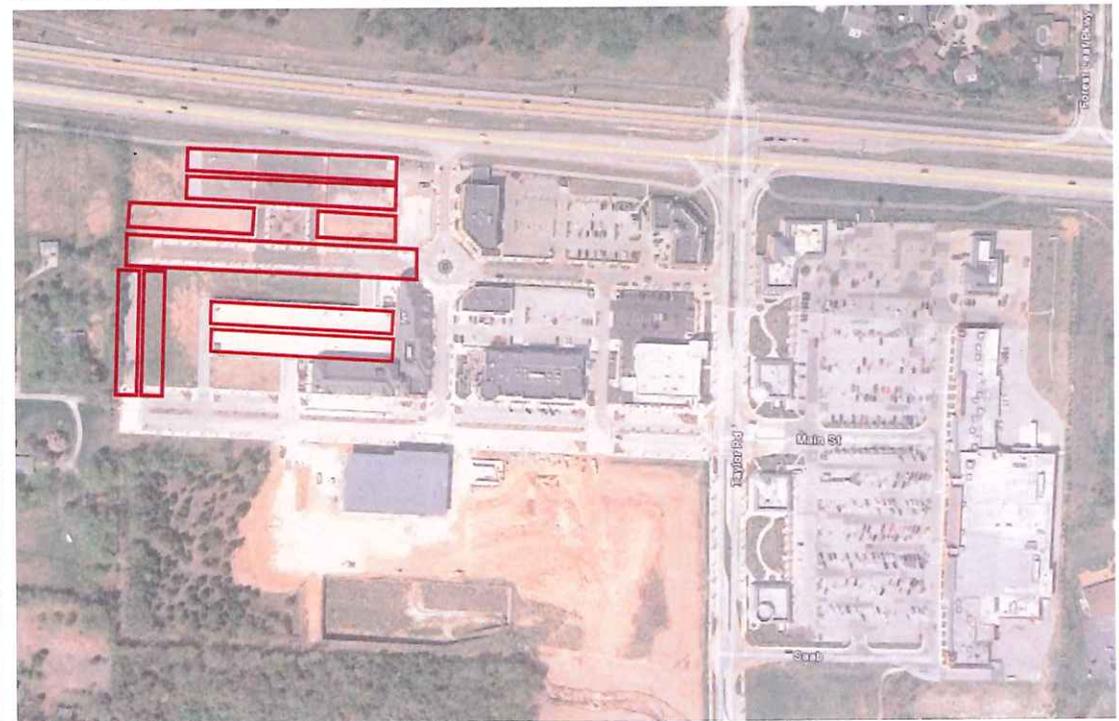
Shortleaf Pine
 Scarlet Oak
 Black Oak
 Sassafras
 Red Cedar
 White Pine

Riparian Forest

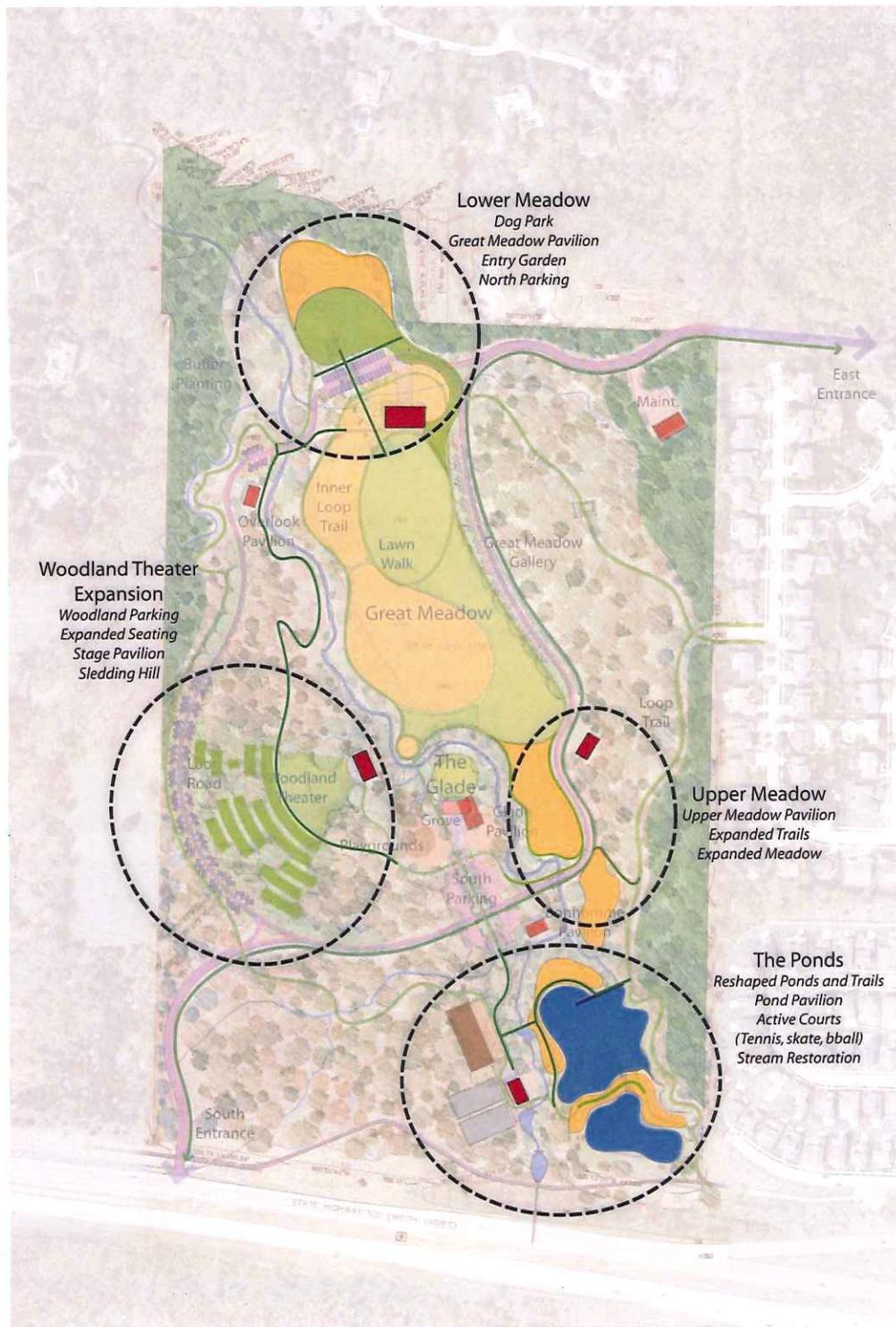
Sycamore
 Cottonwood
 Hackberry
 Sweetgum
 Sugarberry
 Hornbeam
 Witchhazel

Wetland Plant Community

Bulrushes
 Sedges
 Arrowheads



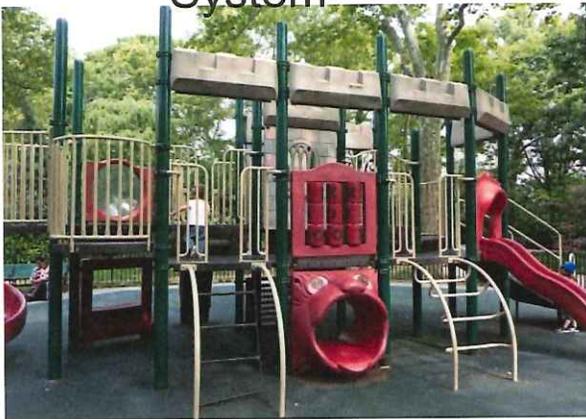




Which character of playground appeals most to you?

1

Manufactured Play System



2

Designed, site built system



3

Natural Playground



Which type of natural
playground appeals most to
you?

1

'Natural' Playground
System



2

Designed Natural
Playground w/ natural
elements



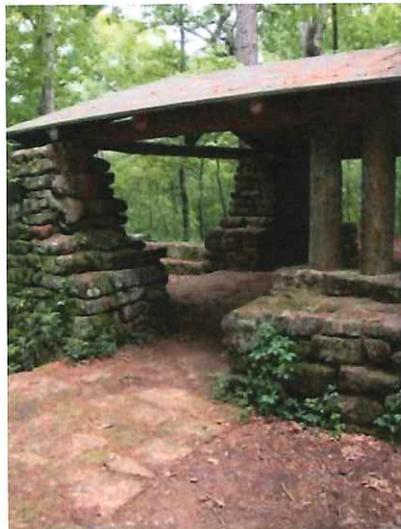
3

Natural Play
landscape

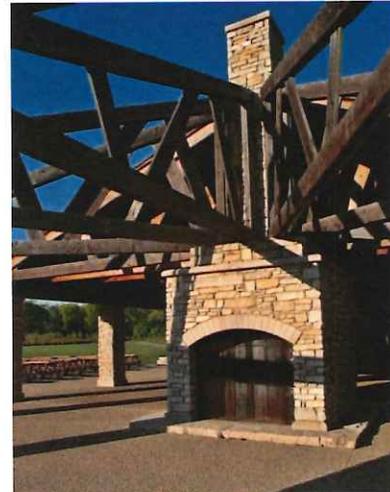


Which architectural character for park structures appeal most to you?

Traditional, familiar



Updated versions of Traditional



Regional Contemporary



Contemporary

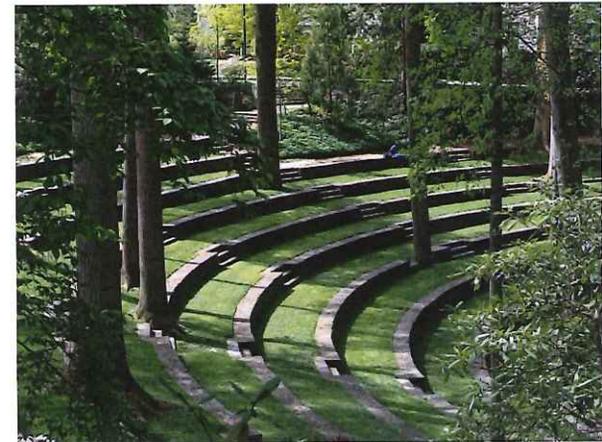


A community gathering space such as an amphitheater is being considered. Which character of amphitheater appeals most to you?

More Informal,
Less Structure



More constructed,
More amenities



A community gathering space such as an amphitheater is being considered. Which character of amphitheater appeals most to you?

Open, shaped lawn bowl, no structure



Minimal structure
Small informal



Smaller gathering spaces



A community gathering space such as an amphitheater is being considered. Which character of amphitheater appeals most to you?

More Integration w/
trees, Shady, intimate



More open and airy,
Larger capacity



Existing Meadow:
Broom sedge
Blackberries
Briars

Wildest
\$



Which type of meadow would you hope to see featured at Wildwood Community Park ?

Warm Season Grass
Meadow:
Bluestem
Indian Grass
Some Wildflowers

Wild
\$\$



Native
Wildflower
Meadow:
Black Eyed
Susan
Echinacea
Native
Wildflowers



Which type of paths through meadows would you hope to see at Wildwood Community Park ?



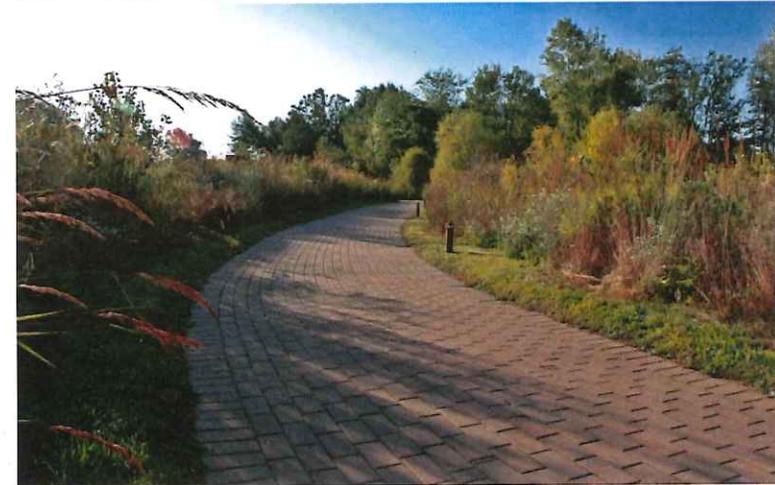
Mown Path
informal

Crushed
stone
or paved

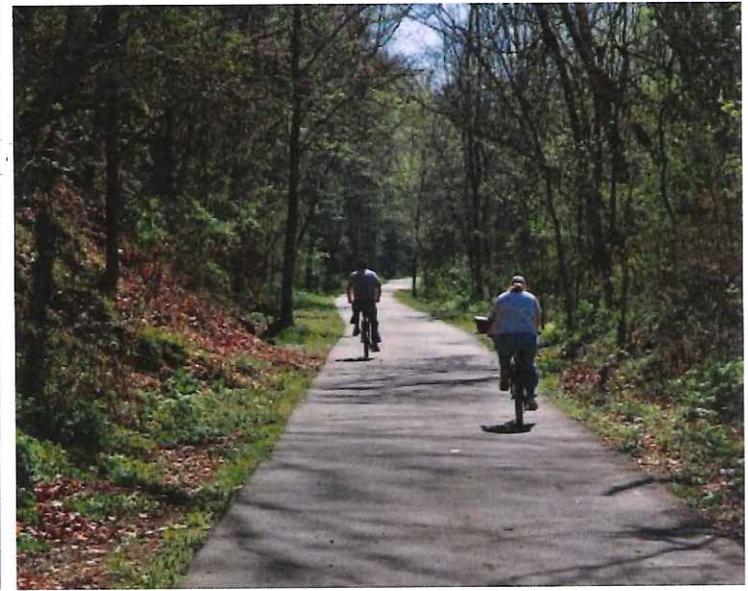


Mown Path
groomed

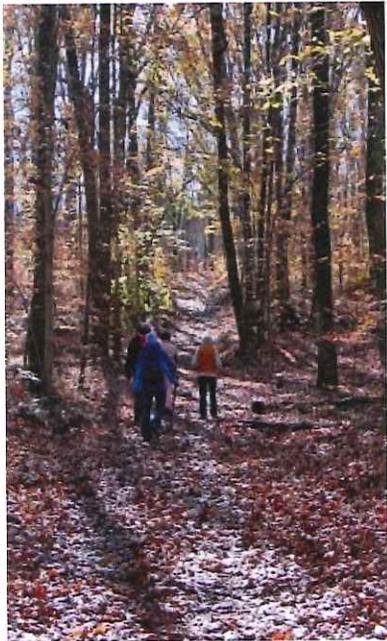
Formal
paved



Paved and graded Multi-use



Hiking Trail

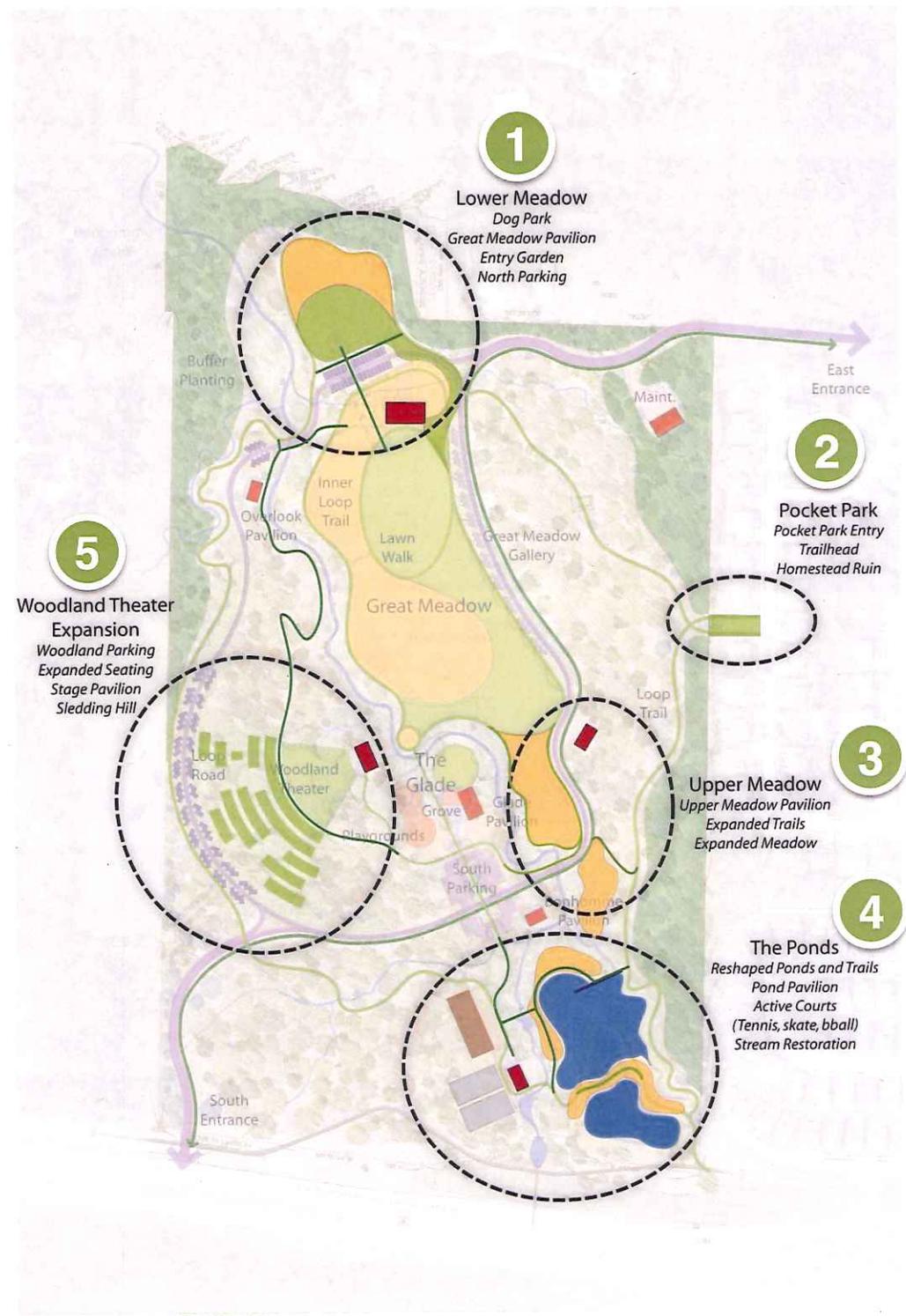


Wildwood Community Park
would likely contain multiple
trail types.
Which trail type do you
personally prefer to use?



Crushed stone Multi-use

The following are packages of park upgrades that Wildwood could incorporate. In what order would you prioritize these upgrades?



Goals & Background

Site Photos & Site Analysis

Program

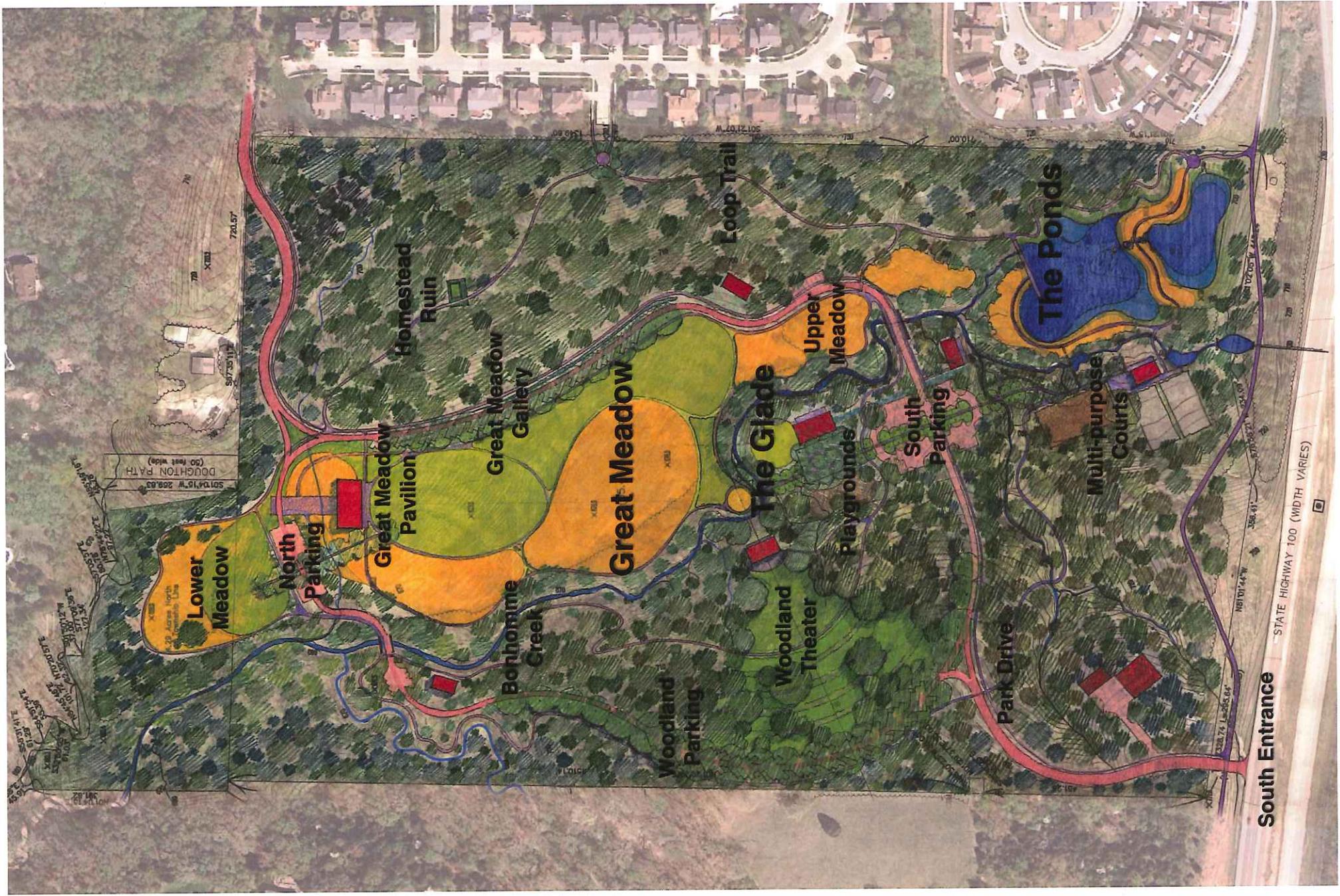
Comparable Projects

Public Participation

Development Frameworks & Conceptual Ideas

The Master Plan

Phasing & Costs



AERIAL VIEW FROM SOUTH



GREAT MEADOW & PAVILION



THE PONDS



WOODLAND THEATER

TREE HABITAT & COVERAGE



THE GLADE

TREE HABITAT & COVERAGE



Goals & Background

Site Photos & Site Analysis

Program

Comparable Projects

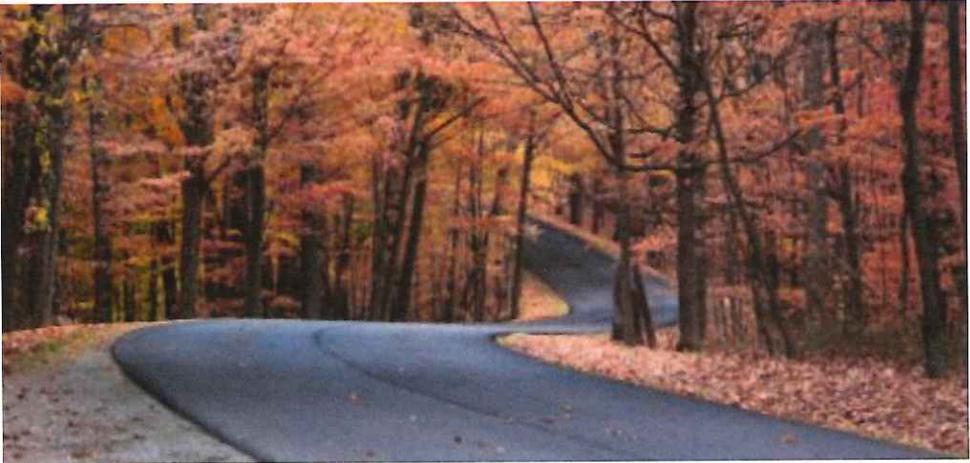
Public Participation

Development Frameworks & Conceptual Ideas

The Master Plan

Phasing & Costs

ROADS & PARKING



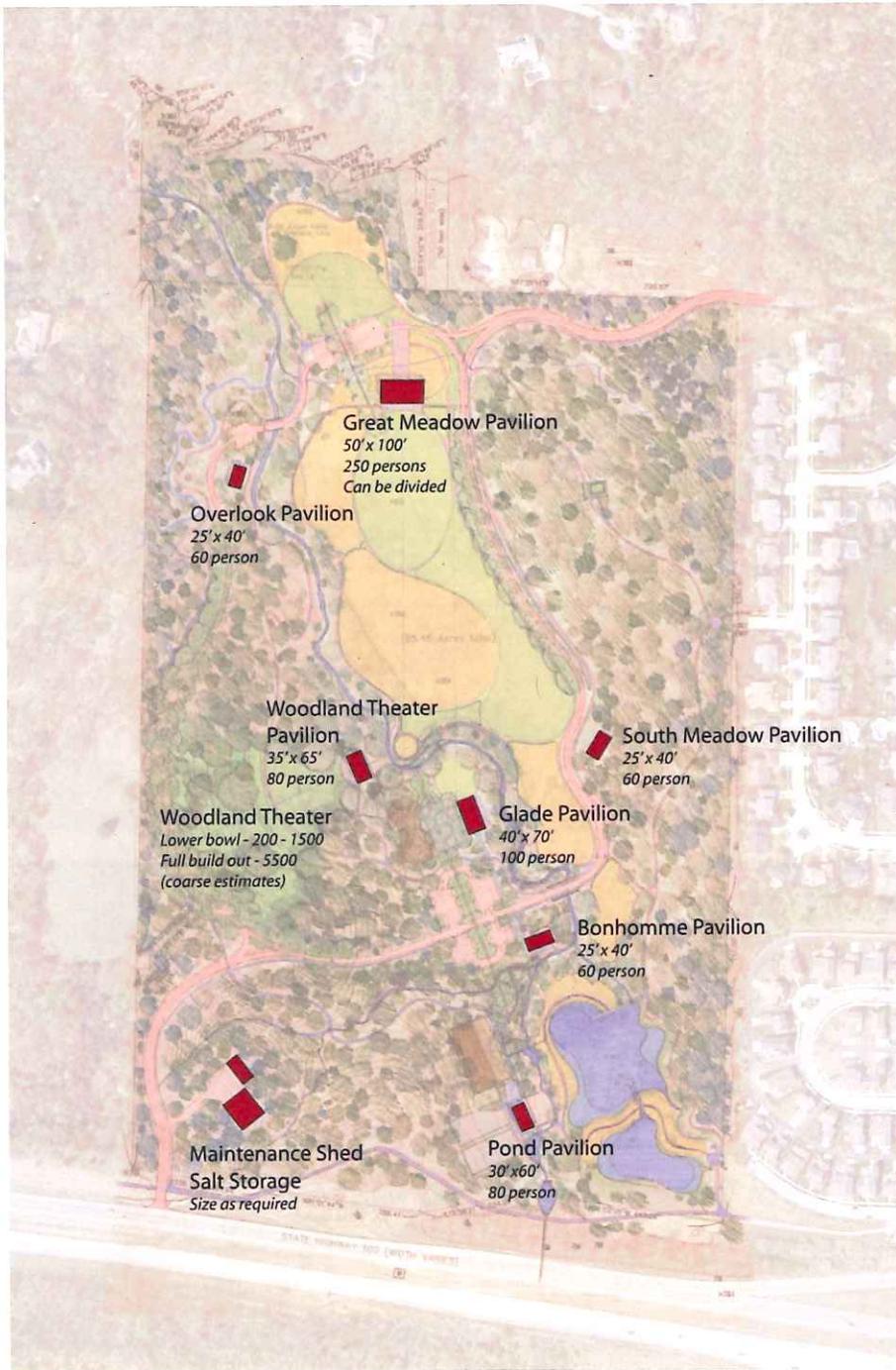
PATHS & TRAILS



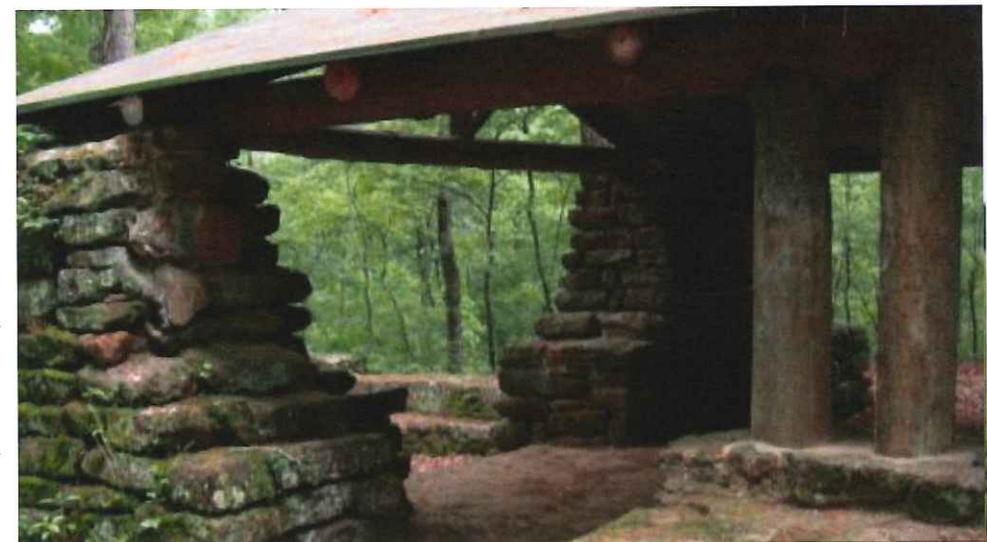
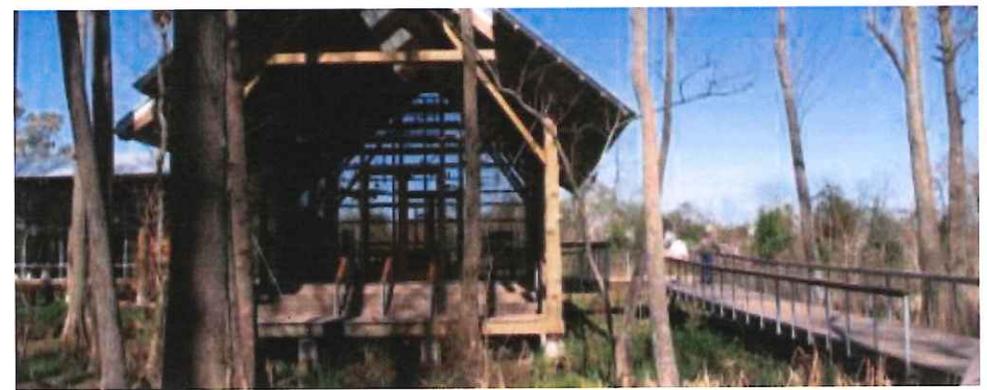
LAWN, FIELD & MEADOW



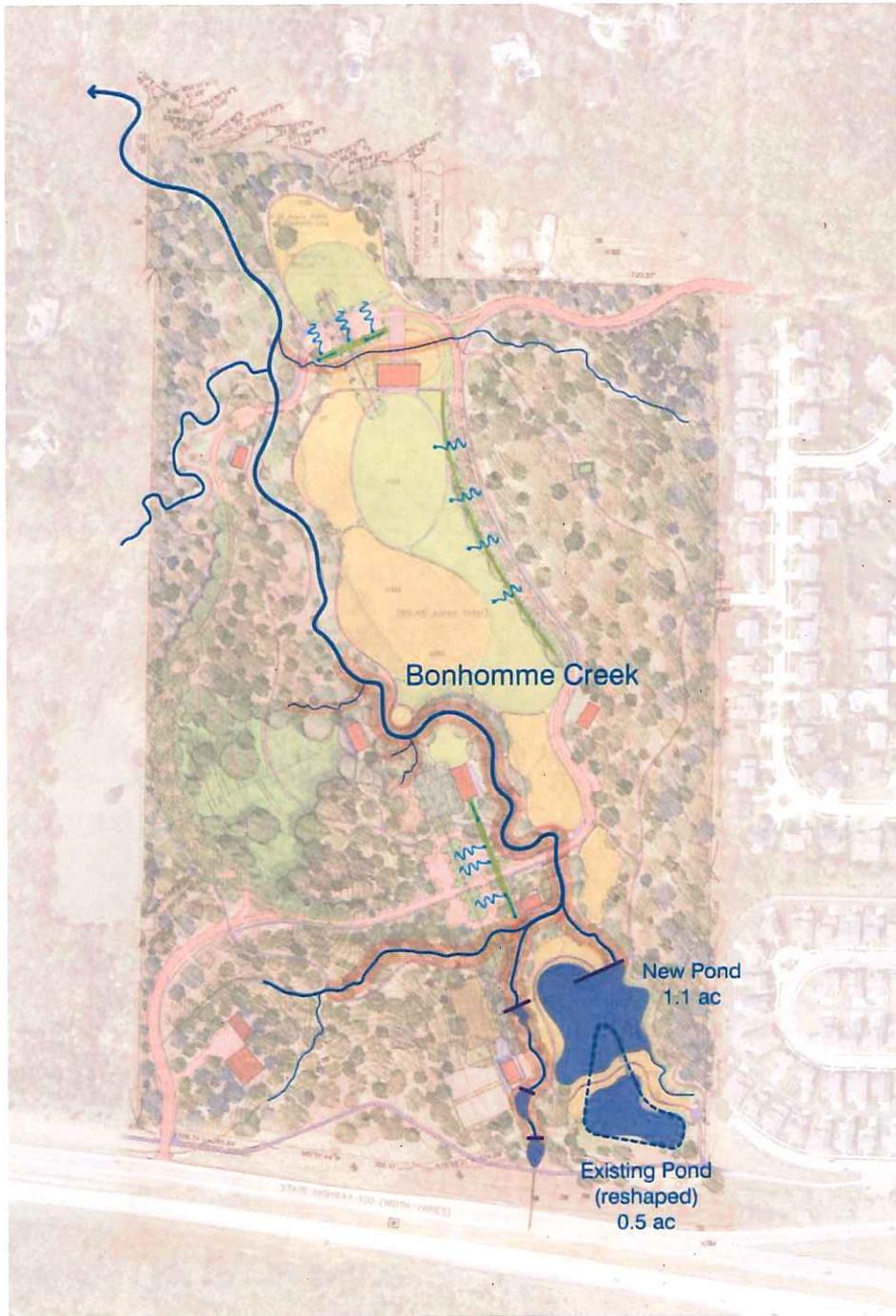
STRUCTURES



TABLE



HYDROLOGY – PONDS & STREAMS



PLANT COMMUNITIES



Riparian Forest

Sycamore
Cottonwood
Hackberry
Sweetgum
Sugarberry
Hornbeam
Witchhazel

Native Glade Meadow

Little Bluestem
Sideoats Gramma
American aloe
purple prairie clover
false boneset
Missouri orange coneflower

Sugar Maple - Oak Woodland

White Oak
Red Oak
Sugar Maple
Hickory
Black Gum

White Oak Woodland

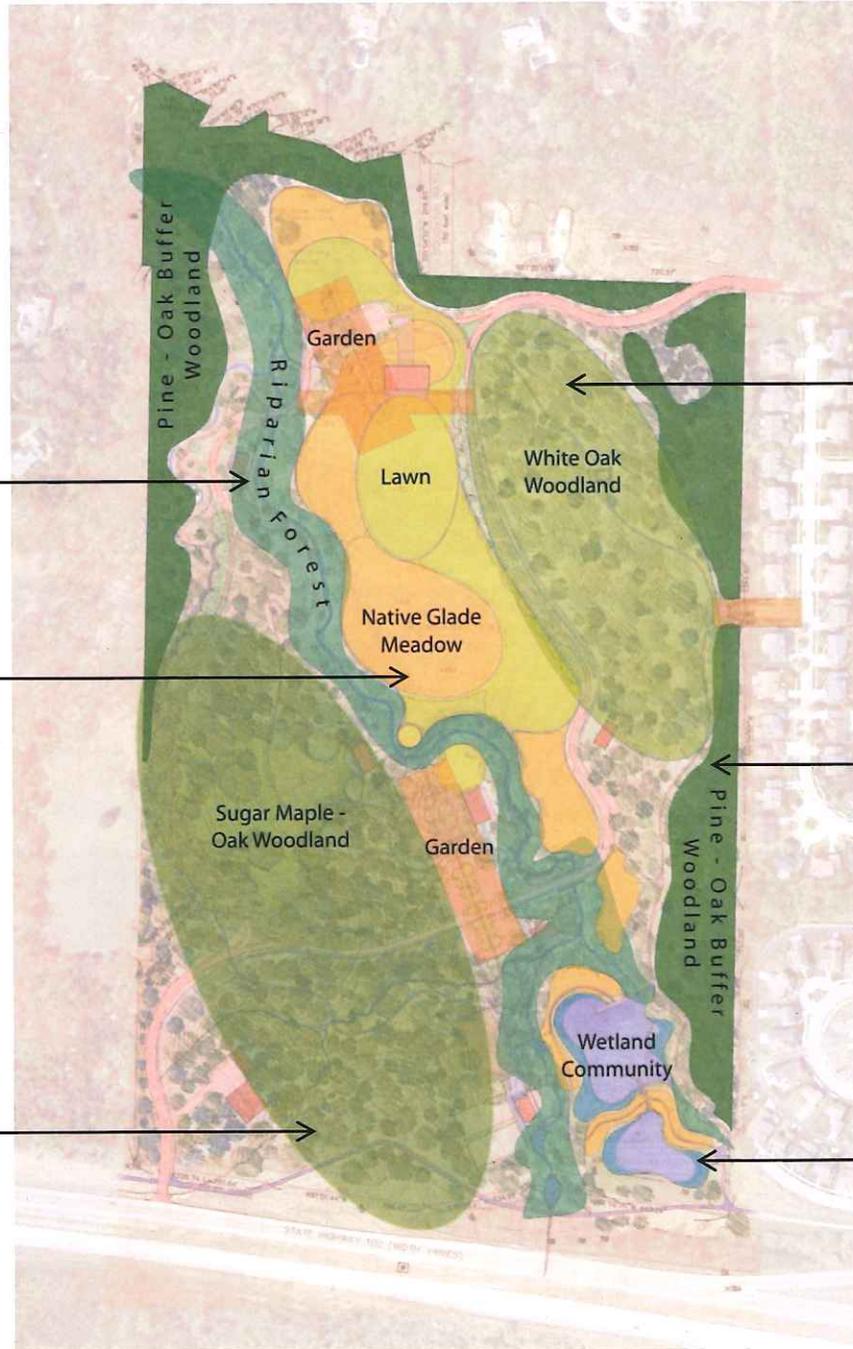
White Oak
Black Oak
Post Oak
Black Hickory
Blackhaw
Redbud

Pine - Oak Buffer Planting

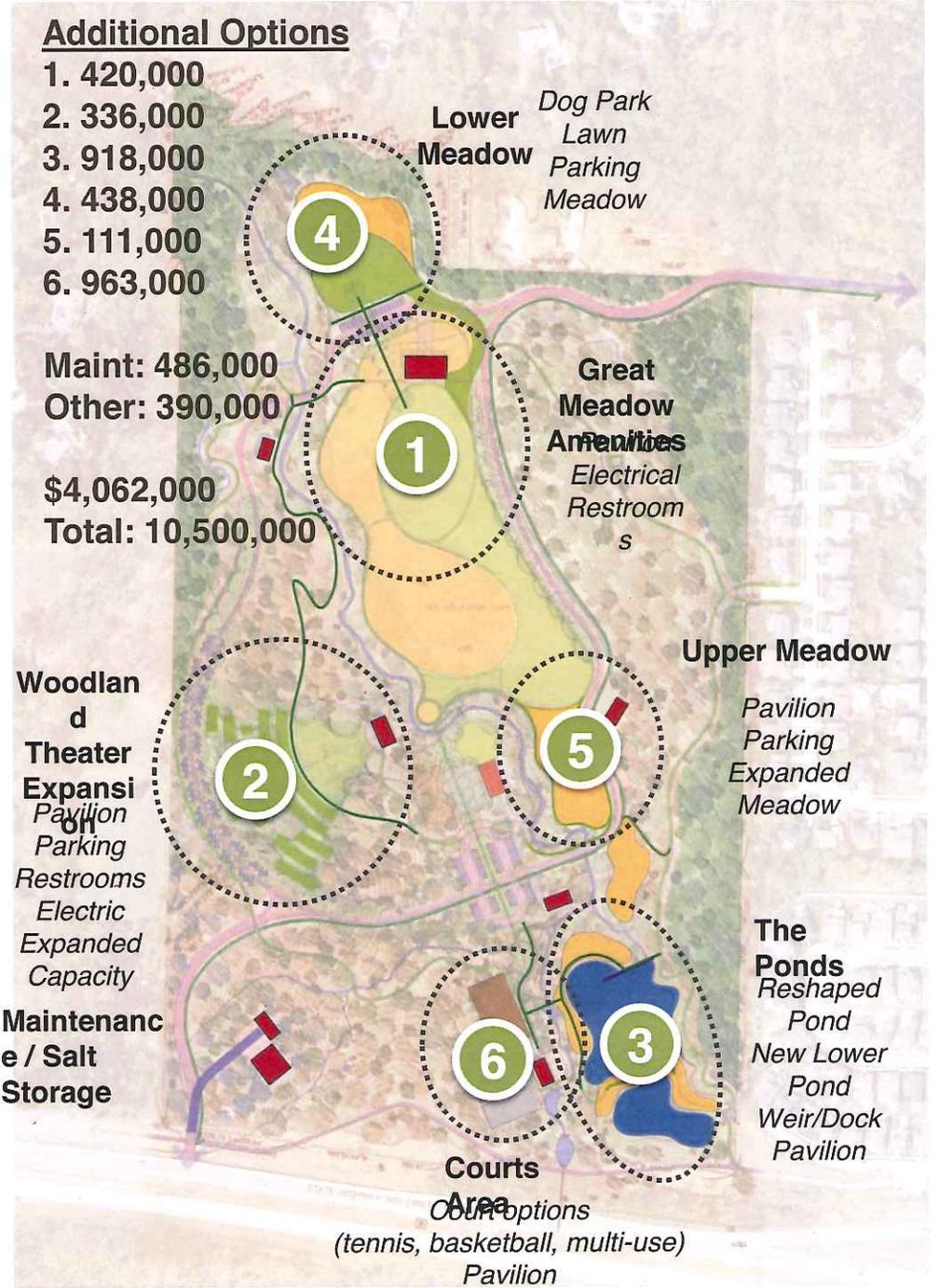
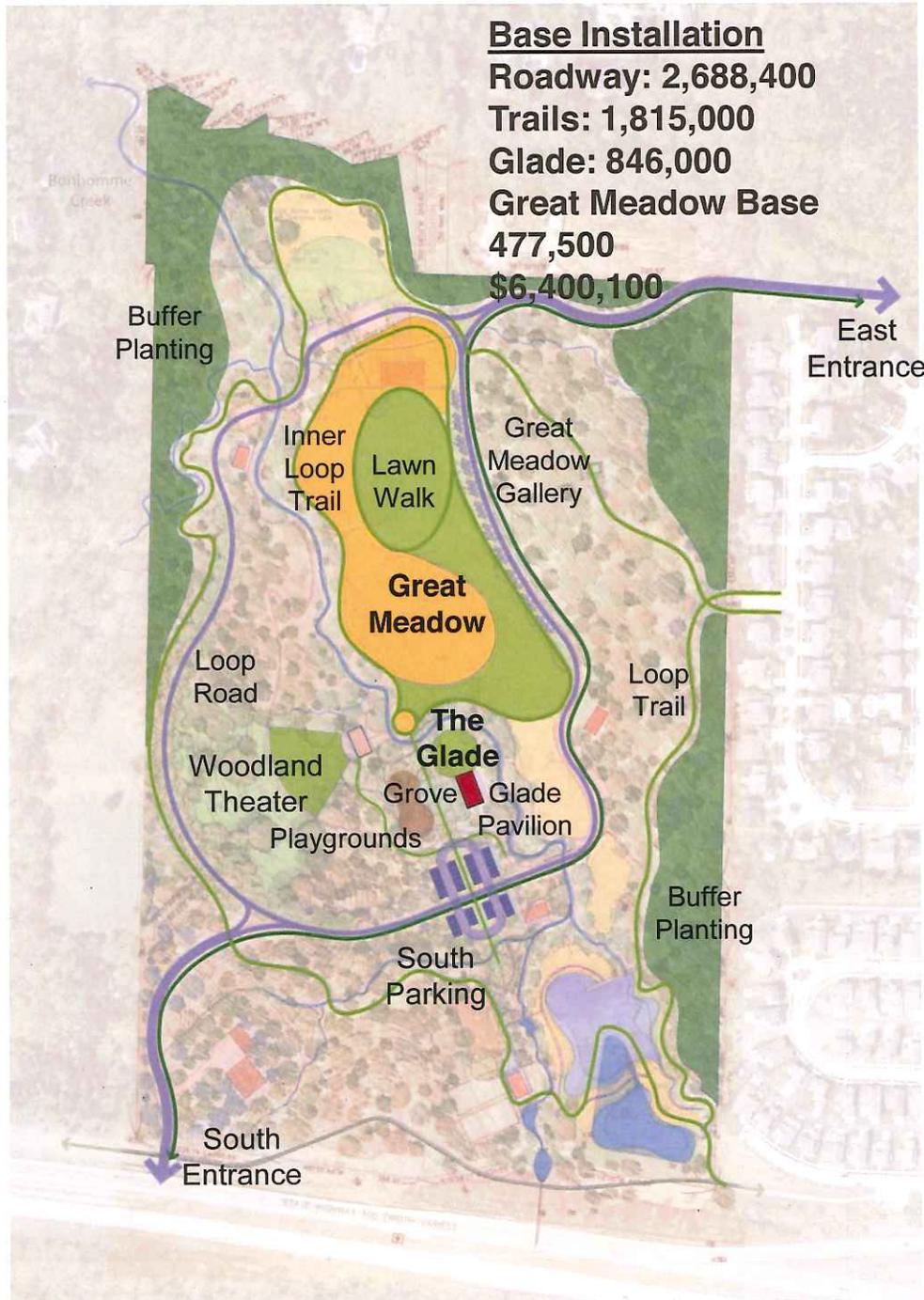
Shortleaf Pine
Scarlet Oak
Black Oak
Sassafras
Red Cedar
White Pine

Wetland Plant Community

Bulrushes
Sedges
Arrowheads



PHASING OPTIONS



Contact Information:

Bill Burke

Project Manager

618.530.5947 cell

bill.burke@oatesassociates.com

Wildwood City Hall

183 Plaza Drive

Wildwood, MO 63040

(636) 458-0440

(636) 458-6969 – fax

www.cityofwildwood.com

Gary Crews, Parks Director

Ext. 126

gary@cityofwildwood.com

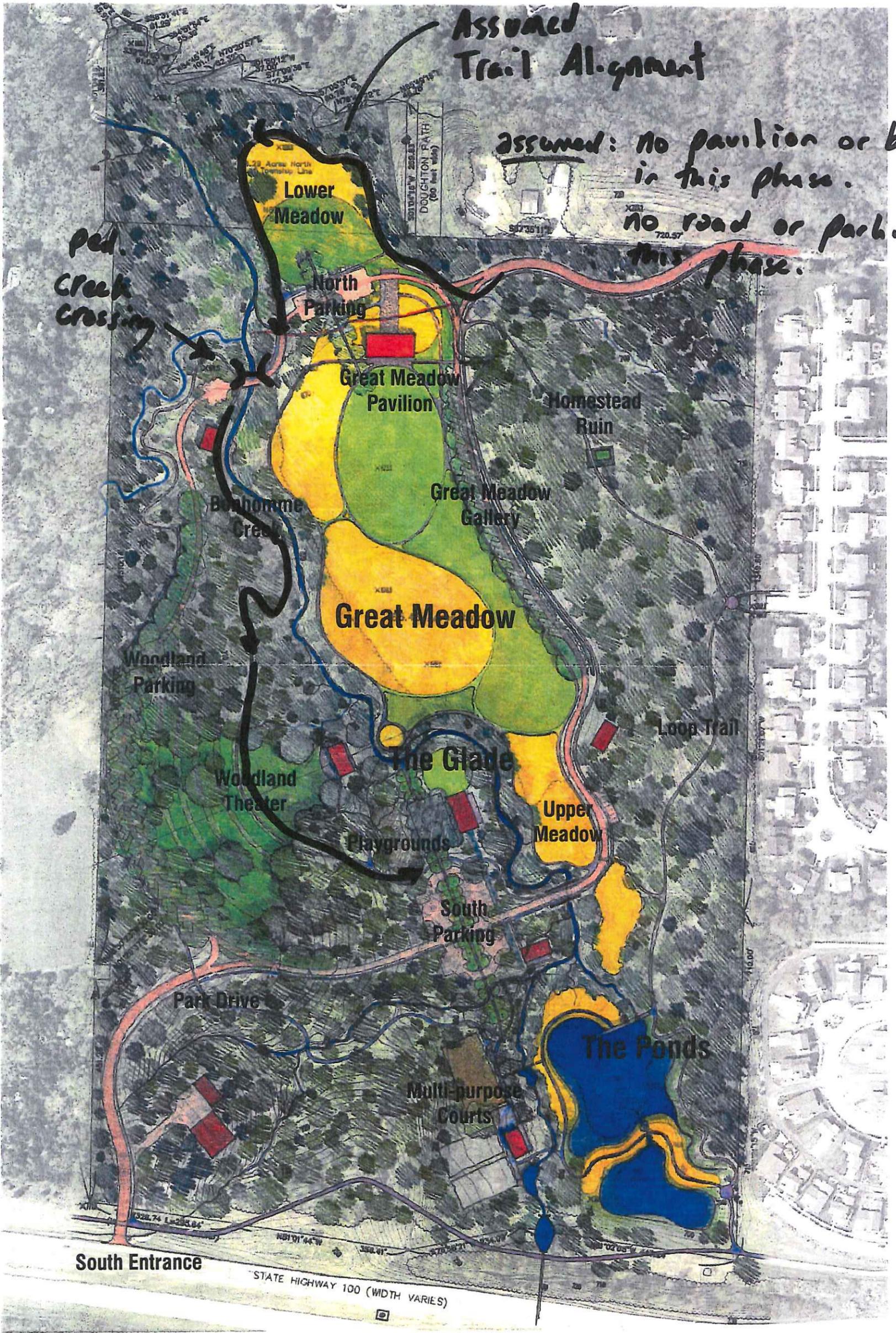
Joe Vujnich, Planning Director

Ext. 115

joe@cityofwildwood.com



WILDWOOD
COMMUNITY PARK



Assumed Trail Alignment

*assumed: no pavilion or buildings in this phase.
no road or parking in this phase.*

ped. Creek Crossing

South Entrance

STATE HIGHWAY 100 (WIDTH VARIES)



June 21, 2016

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members

From: Department of Planning and Parks

Re: **Reservation and Registration Update**

Cc: The Honorable James R. Bowlin, Mayor
Administration/Public Works Committee Members of the City of Wildwood
Ryan S. Thomas, P.E., City Administrator
John A. Young, City Attorney
Rick Brown, P.E. and P.T.O.E., Director of Public Works
Kathy Arnett, Assistant Director of Planning and Parks
Gary Crews, Superintendent of Parks and Recreation

Monthly Accounting for Parks & Recreation ♦♦♦

At the request of the Committee Members, Department staff has been providing the costs associated with the maintenance and upkeep of the City's parks and trails facilities since the beginning of this year. This information has been provided in the form of an annual accounting from the year 2006 through 2015, and, again, beginning in 2016, a monthly accounting on a per park basis has been provided. In conjunction with this maintenance report, the Committee has now requested an accounting of the fees collected from pavilion rentals and program registrations.

Current Registration/Reservation Status ♦♦♦

The Department, has calculated three (3) main categories of information. These categories include the following:

- ✓ Number of Completed Registrations
 - This number includes Dog Park membership registrations of both households and the number of dogs, as well as event registrations
- ✓ Number of Reservations for pavilion rentals in three (3) parks
 - Community Park
 - Anniversary Park
 - Old Pond School Park
- ✓ Fees Collected
 - Membership registrations
 - Event registration
 - Pavilion rentals

The Department has waited until Spring 2016 to provide an accurate count of the overall number of households registered, as well as how many dogs were enrolled, given the facility opened in late Fall 2015. The number of Dog Park memberships is the only information provided from the previous year (2015). With

the addition of the RecDesk software in March, pavilion reservations are now completed online and payment collected via credit card at the time of reservation. Therefore, pavilion rentals have been calculated beginning in March 2016, when the system was first operational. The pavilion in Community Park was not open and available for reservation until April 2016. Department staff would also note the calculations of event registrations are totaled for each event and listed during the month the event was held, not necessarily when the reservations were made. The final item of note is the accounting provided is not necessarily net income for the City. Expenditures occur for each event, maintenance and upkeep within each park, and fees to partners, who assist the City in the execution of these tasks.

The fees collected for the year to date, again on a per month basis of when the event was completed, are provided below:

2016 Fees Collected	
January	\$11,585
February	\$750
March	\$1,660
April	\$6,610
May	\$2,840
Year to Date Total	\$24,445

The quantities of registrations and reservations for the year, in addition to the fees collected to date, is identified by each month, on the attached spreadsheet.

The Department can provide more background on this matter at tonight’s meeting, if members have specific questions in this regard. If any of the Committee Members should have other questions or comments before tonight’s meeting about this information, please feel free to contact the Department of Planning and Parks at (636) 458-0440. A presentation is planned on this matter at tonight’s meeting. Thank you for your review of this information and participation in tonight’s discussion.

Registration and Reservation Results and Fees

	2015		January 2016			February 2016			March 2016			April 2016			May 2016			Total Reservations	Total Registrations	Total Fees Collected	
	Registrations Completed	Fees Collected	Reservations Made	Registrations Completed	Fees Collected	Reservations Made	Registrations Completed	Fees Collected	Reservations Made	Registrations Completed	Fees Collected	Reservations Made	Registrations Completed	Fees Collected	Reservations Made	Registrations Completed	Fees Collected				
Dog Park Households	131	\$ 7,248.50		20	\$ 1,000.00		15	\$ 750.00		32	\$ 1,600.00		20	\$ 1,000.00		16	\$ 800.00		234	\$ 12,398.50	
Dog Park Dogs	174			31			19			40			25			22			311		
Anniversary Park Pavilion									2	\$ 60.00	5	\$ 170.00	8	\$ 230.00				15	\$ 460.00		
Community Park Pavilion											21	\$ 2,100.00	17	\$ 1,750.00				38	\$ 3,850.00		
Old Pond School Pavilion											1	\$ 30.00	2	\$ 60.00				3	\$ 90.00		
Event Registration				331	\$ 11,585.00		479			100			243	\$ 3,310.00		84			1237	\$ 14,895.00	
Event Breakdown			Frozen Feet 1/2 Marathon (331@\$35) = \$11,585			ECRP (95@Free) = \$0.00 Cabin Fever Hike (240@Free) = \$0.00 Family Snow Day at Hidden Valley (144@Free) = \$0.00			ECRP (100@Free) = \$0.00			ECRP (83@Free) = \$0.00 Spring Crop (11@\$30) = \$330 Tree Hugger 5K Run (149@\$20) = \$2980			ECRP (84@Free) = \$0.00						
2015 Totals		\$ 7,248.50																	2015 Totals	131	\$ 7,248.50
2016 Totals					\$ 12,585.00			\$ 750.00			\$ 1,660.00			\$ 6,610.00			\$ 2,840.00	56	1340	\$ 24,445.00	



June 21, 2016

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members

From: Department of Planning and Parks

Re: **On-Going and Long-Term Maintenance Costs for Parks and Trail Facilities**

Cc: The Honorable James R. Bowlin, Mayor
 Administration/Public Works Committee Members of the City of Wildwood
 Ryan S. Thomas, P.E., City Administrator
 John A. Young, City Attorney
 Rick Brown, P.E. and P.T.O.E., Director of Public Works
 Kathy Arnett, Assistant Director of Planning and Parks
 Gary Crews, Superintendent of Parks and Recreation

Annual Allocations/Expenditures ♦♦♦

The City Council, during its Strategic Planning Process in March 2015, identified its desire to ensure that, as facilities are added to the City's system of parks and trails, the costs associated with their maintenance and upkeep are addressed and managed as well. The Chair of the Planning/Economic Development/Parks Committee also requested, which was agreed to by the members, that each month an update of spending on parks and trail maintenance be provided, along with any unusual allocations in this regard as well. Therefore, as part of this reporting of monthly expenses and expenditures, the Department is providing the summary of annual expenditures by it, in its maintenance of all facilities since 2006, which is identified below:

Year	Original Budget Allocation (\$)	Amended Budget Allocation (\$)	Actual Amount (\$)
2006	15,000	64,000	68,454
2007	62,500	58,486	57,880
2008	67,000	67,000	65,176
2009	68,000	120,000	112,608
2010	120,000	110,000	103,275
2011	125,000	135,000	127,995
2012	135,000	164,000	173,980
2013	175,000	160,000	129,788
2014	175,000	161,200	133,033
2015	160,000	160,000	172,679*
2016	170,000	TBD	TBD

*As of December 31, 2015 (Final)

Current Allocations/Expenditures ♦♦♦

The Department, in calculating the expenditures for Fiscal Year 2016, did so upon the date the work was completed, not necessarily the month in which the invoice was paid. Since the Committee’s last meeting, all of the invoices for the month of April, and a portion of May, that have been paid thus far have been totaled and identified. These expenditures include the following items:

- ✓ Trash removal in park properties and trail locations
- ✓ Grass cutting
- ✓ Drinking Fountain repairs
- ✓ Tree trimming
- ✓ Final preparations to open pavilion and restrooms at Community Park

The spending for the year to date, again on a per month basis of when the work was completed, is provided below:

2016 Expenditures	
January	\$7,555.14
February	\$8,188.90
March	\$32,293.32
April	\$18,570.14
May (incomplete)	\$5,054.27
Year to Date Total	\$71,661.77

The spending for the year, to date, is identified by each park, on the attached spreadsheet.

The Department can provide more background on this matter at tonight’s meeting, if members have specific questions in this regard. If any of the Committee Members should have other questions or comments before tonight’s meeting about this information, please feel free to contact the Department of Planning and Parks at (636) 458-0440. A presentation is planned on this matter at tonight’s meeting. Thank you for your review of this information and participation in tonight’s discussion.

FY-2016 Parks and Trails Maintenance Costs

Park/Trail			AL FOSTER TRAILHEAD	ANNIVERSARY PARK	BELLEVUE FARM PARK	BLUFF VIEW PARK	COMMUNITY PARK	GLENCOE PARK	KOHN PARK	OLD POND SCHOOL	ROCK HOLLOW TRAIL	PEDESTRIAN BRIDGES	TAYLOR/100 TRAIL	EVENTS	GENERAL TRAILS	GENERAL WORK									
	INVOICE #	DATE	WORK COMPLETED														INVOICE TOTAL	SPECIFIC LOCATION							
JANUARY	37517	12/1/2015	Fire Extinguisher Inspection														\$ 40.00	\$ 40.00	City Hall - Work done in 2015, but paid in 2016						
	9716	1/4/2016	Clean out Trash Containers														\$ 40.00	\$ 340.00							
	9722	1/5/2016	Remove Christmas Tree															\$ 368.25	\$ 368.25						
	9723	1/5/2016	Reinstall Pipe Bollard															\$ 127.00	\$ 127.00	109 & Windsor Meadow					
	9743	1/15/2016	Clean out Trash Containers														\$ 40.00	\$ 60.00	\$ 80.00	\$ 180.00	\$ 180.00				
	9743	1/15/2016	Pick up sticks															\$ 180.00	\$ 180.00						
	9745	1/15/2016	Trim Honeysuckle															\$ 460.00	\$ 460.00	Cambury Trail & North Ped Bridge					
	9745	1/15/2016	Pick up Trash															\$ 300.00	\$ 300.00						
	9746	1/15/2016	Clean out Trash Containers															\$ 40.00	\$ 40.00	Eatherton Trail					
	9750	1/19/2016	Clear Snow															\$ 1,203.00	\$ 1,203.00	Al Foster and Duck Loop (Frozen Feet Run)					
	9753	1/19/2016	Plow Snow															\$ 195.00	\$ 195.00						
	9117355	2/8/2016	Pest Control															\$ 52.00	\$ 52.00						
	9754	1/21/2016	Clear Snow															\$ 2,372.39	\$ 2,372.39	Glencoe Pkg Lot; Rock Hollow Trail (Frozen Feet Run)					
	9755	1/22/2016	Spread Ice Melt															\$ 317.50	\$ 317.50	Rock Hollow Trail (Frozen Feet Run)					
	9756	1/22/2016	Sign Drop Off & Pickup															\$ 97.50	\$ 97.50	Frozen Feet Run					
	9765	1/27/2016	Clean out Trash Containers														\$ 40.00	\$ 40.00	\$ 80.00	\$ 40.00	\$ 40.00	\$ 280.00			
	9769	1/28/2016	Install Chains on Trash Cans															\$ 175.50	\$ 175.50						
9770	1/28/2016	Install 2 Dog Stations															\$ 234.00	\$ 234.00							
9773	1/29/2016	Clean out Trash Containers														\$ 60.00	\$ 40.00	\$ 100.00	\$ 100.00						
9776	1/29/2016	Repair Gates														\$ 493.00	\$ 493.00	\$ 493.00							
JANUARY TOTALS			\$ -	\$ 120.00	\$ -	\$ 489.50	\$ 868.00	\$ 200.00	\$ -	\$ 132.00	\$ 260.00	\$ 667.00	\$ 80.00	\$ 3,990.39	\$ 340.00	\$ 408.25	\$ 7,555.14	JANUARY TOTAL							
	INVOICE #	DATE	WORK COMPLETED														INVOICE TOTAL	SPECIFIC LOCATION							
FEBRUARY	9779	2/2/2016	Chip Brush Piles														\$ 505.00	\$ 505.00							
	9785	2/4/2016	Clean Picnic Table Pads															\$ 591.50	\$ 591.50						
	9787	2/5/2016	Clean out Trash Containers														\$ 40.00	\$ 40.00	\$ 45.00	\$ 80.00	\$ 40.00	\$ 40.00	\$ 325.00		
	9787	2/5/2016	Trash Pickup															\$ 480.00	\$ 480.00						
	9802	2/15/2016	Clean out Trash Containers														\$ 60.00	\$ 60.00		\$ 60.00					
	9806	2/17/2016	Clean out Trash Containers														\$ 40.00	\$ 40.00	\$ 60.00	\$ 80.00	\$ 40.00	\$ 40.00	\$ 380.00		
	9811	2/18/2016	Clean up beds & cut back plants														\$ 620.00	\$ 620.00		\$ 620.00					
	9820	2/19/2016	cut grass plants & empty trash														\$ 60.00	\$ 60.00	\$ 80.00	\$ 40.00	\$ 40.00	\$ 40.00	\$ 625.00	\$ 685.00	La Salle Trail
	9823	2/23/2016	Clean out Trash Containers														\$ 40.00	\$ 40.00	\$ 60.00	\$ 80.00	\$ 40.00	\$ 40.00	\$ 340.00		
	9828	2/24/2016	Snow plow														\$ 195.00	\$ 195.00		\$ 195.00					
	9833	2/26/2016	Install rock														\$ 1,670.40	\$ 1,670.40		\$ 1,670.40					
	9837	2/26/2016	Tent Install															\$ 546.00	\$ 546.00	Cabin Fever Hike					
	9838	2/26/2016	Clear trees														\$ 303.00	\$ 303.00		\$ 303.00					
	9840	2/29/2016	Clear trail debris															\$ 889.00	\$ 889.00						
	9841	2/29/2016	Install new dog station															\$ 130.00	\$ 130.00						
	9843	2/29/2016	Pick up lumber/rake mulch														\$ 253.50	\$ 253.50		\$ 253.50					
	9845	2/29/2016	Clean out Trash Containers														\$ 40.00	\$ 40.00	\$ 60.00	\$ 75.50	\$ 215.50	\$ 215.50			
FEBRUARY TOTALS			\$ -	\$ 780.00	\$ -	\$ 463.00	\$ 2,968.90	\$ 907.00	\$ -	\$ 120.00	\$ 1,099.00	\$ 120.00	\$ 80.00	\$ 546.00	\$ 1,105.00	\$ -	\$ 8,188.90	FEBRUARY TOTAL							
	INVOICE #	DATE	WORK COMPLETED														INVOICE TOTAL	SPECIFIC LOCATION							
MARCH	9848	3/2/2016	Clean and mulch beds														\$ 1,362.50	\$ 1,362.50							
	9849	3/2/2016	Install playground chips														\$ 1,000.00	\$ 2,588.52							
	9851	3/4/2016	Install playground chips														\$ 1,056.00	\$ 2,056.00							
	9853	3/4/2016	Clean out Trash Containers														\$ 60.00	\$ 40.00	\$ 40.00	\$ 40.00	\$ 180.00				
	9855	3/7/2016	Clean out Trash Containers														\$ 40.00	\$ 40.00	\$ 60.00	\$ 80.00	\$ 220.00				
	9856	3/8/2016	Clean out Trash Containers															\$ 45.00	\$ 45.00						
	9857	3/7/2016	Install Playground chips														\$ 1,158.00	\$ 1,158.00							
	9861	3/8/2016	Clean up down tree limbs															\$ 305.00	\$ 305.00						
	9862	3/9/2016	Mulch														\$ 4,812.50	\$ 4,812.50							
	9864	3/11/2016	Mulch														\$ 1,765.00	\$ 1,765.00							
	9865	3/11/2016	Clean out Trash Containers														\$ 60.00	\$ 60.00							
	9869	3/11/2016	Install Dog Signs														\$ 194.00	\$ 194.00							
	9871	3/14/2016	Downed tree removal														\$ 1,270.00	\$ 1,270.00							
	9877	3/16/2016	Mulch														\$ 1,785.00	\$ 1,785.00							
	9878	3/15/2016	Mulch														\$ 2,100.00	\$ 2,100.00							
	9879	3/16/2016	Mulch														\$ 2,760.00	\$ 2,760.00	Lafayette High to P-G Loop						
	9883	3/17/2016	Clean out Trash Containers														\$ 60.00	\$ 15.00	\$ 75.00	\$ 75.00	Town Center Trash Containers				
9887	3/18/2016	Mulch														\$ 390.00	\$ 390.00								

FY-2016 Parks and Trails Maintenance Costs

Park/Trail			AL FOSTER TRAILHEAD	ANNIVERSARY PARK	BELLEVUE FARM PARK	BLUFF VIEW PARK	COMMUNITY PARK	GLENCOE PARK	KOHN PARK	OLD POND SCHOOL	ROCK HOLLOW TRAIL	PEDESTRIAN BRIDGES	TAYLOR/100 TRAIL	EVENTS	GENERAL TRAILS	GENERAL WORK		
9892	3/18/2016	Install weed prevention					\$ 180.00										\$ 180.00	
9893	3/25/2016	Clean out Trash Containers		\$ 40.00		\$ 40.00	\$ 60.00					\$ 40.00	\$ 40.00		\$ 40.00		\$ 260.00	
9896	3/25/2016	Mulch													\$ 3,795.00		\$ 3,795.00	Hamilton-Carr/tunnel/Wildwood Greenway
9897	3/25/2016	Grass cutting & trimming		\$ 75.00				\$ 660.00				\$ 420.00			\$ 520.00		\$ 1,675.00	
9897	3/25/2016	Clean out Trash Containers					\$ 120.00										\$ 120.00	
9907	3/18/2016	Clean pavilion area					\$ 396.00										\$ 396.00	
9908	3/18/2016	Put up and take down Tent												\$ 546.00			\$ 546.00	WBA Balloon Glow
9919	3/25/2016	Clean inlets and paint					\$ 684.92										\$ 684.92	
9926	3/31/2016	Replace 6 signs with new poles													\$ 509.88		\$ 509.88	Pond-Grover Loop Area
MARCH TOTALS			\$ -	\$ 3,976.00	\$ -	\$ 80.00	\$ 7,845.42	\$ 4,535.00	\$ -	\$ 3,951.02	\$ 1,270.00	\$ 2,330.00	\$ 80.00	\$ 546.00	\$ 7,664.88	\$ 15.00	\$ 32,293.32	MARCH TOTAL
INVOICE #	DATE	WORK COMPLETED															INVOICE TOTAL	SPECIFIC LOCATION
9899	4/1/2016	Clean out Trash Containers					\$ 60.00										\$ 60.00	
9899	4/1/2016	Grass cutting & trimming		\$ 75.00		\$ 320.00	\$ 200.00	\$ 560.00		\$ 75.00	\$ 40.00				\$ 380.00		\$ 1,650.00	
9927	4/1/2016	Board up buildings & paint			\$ 254.50												\$ 254.50	
9938	4/4/2016	Pick up broken light		\$ 234.00													\$ 234.00	
9941	4/5/2016	Check light poles		\$ 65.00													\$ 65.00	
9943	4/6/2016	Clean & wash down Trash Containers					\$ 708.50										\$ 708.50	
9947	4/7/2016	Install signs and clean debris					\$ 312.50										\$ 312.50	
9127748	4/7/2016	Pest control							\$ 52.00								\$ 52.00	
9930	4/8/2016	Clean out Trash Containers		\$ 40.00		\$ 45.00	\$ 100.00	\$ 40.00									\$ 225.00	
9930	4/8/2016	Grass cutting & trimming				\$ 75.00		\$ 660.00		\$ 75.00		\$ 420.00			\$ 470.00		\$ 1,700.00	
9951	4/8/2016	Delivery of memorial bench													\$ 104.00		\$ 104.00	
9952	4/10/2016	Clean for rental							\$ 75.00								\$ 75.00	
9956	4/12/2016	Bench assembly & plaque install													\$ 332.67		\$ 332.67	
9959	4/14/2016	Grade entrance					\$ 606.85										\$ 606.85	
9960	4/14/2016	Remove trash							\$ 75.00								\$ 75.00	
9961	4/15/2016	Set up & take down tent for event												\$ 693.00			\$ 693.00	WBA Balloon Glow
9963	4/15/2016	Clean out Trash Containers		\$ 40.00			\$ 60.00										\$ 100.00	
9963	4/15/2016	Grass cutting & trimming		\$ 75.00		\$ 200.00	\$ 200.00	\$ 660.00			\$ 45.00						\$ 1,180.00	
9965	4/15/2016	Grass cutting & trimming												\$ 80.00			\$ 80.00	WBA Balloon Glow (Town Center fields)
9966	4/15/2016	Grass cutting & trimming					\$ 125.00										\$ 125.00	
9969	4/18/2016	Seal bathroom floors					\$ 1,370.90										\$ 1,370.90	
32668	4/21/2016	Lock Installation					\$ 483.00										\$ 483.00	
1355	4/23/2016	Dewinterize bathroom		\$ 382.00													\$ 382.00	
9970	4/22/2016	Clean out Trash Containers		\$ 75.00			\$ 60.00										\$ 135.00	
9970	4/22/2016	Grass cutting & trimming		\$ 75.00				\$ 660.00	\$ 90.00	\$ 75.00		\$ 420.00			\$ 965.00		\$ 2,285.00	
9974	4/29/2016	Clean out Trash Containers		\$ 40.00													\$ 40.00	
9974	4/29/2016	Grass cutting & trimming		\$ 75.00		\$ 200.00	\$ 485.00	\$ 660.00		\$ 75.00							\$ 1,495.00	
9976	4/29/2016	Grass cutting & trimming														\$ 40.00	\$ 40.00	Town Center near Garden
9991	4/21/2016	Aerate, overseed, fertilize					\$ 571.14										\$ 571.14	
9994	4/21/2016	Adjust doors & install shelf					\$ 260.00										\$ 260.00	
9997	4/22/2016	Work at park					\$ 390.00										\$ 390.00	
9998	4/23/2016	Clean Park & trash containers					\$ 320.00										\$ 320.00	
10004	4/27/2016	Power wash walk, repair bldg, clean					\$ 520.00										\$ 520.00	
10007	4/28/2016	Seal sidewalk, fix lights					\$ 1,106.08										\$ 1,106.08	
10009	4/29/2016	Remove tree from trail													\$ 244.00		\$ 244.00	Glencoe Area
10011	4/30/2016	Clean Park & trash containers		\$ 135.00			\$ 160.00										\$ 295.00	
APRIL TOTALS			\$ -	\$ 1,311.00	\$ 254.50	\$ 840.00	\$ 8,098.97	\$ 3,240.00	\$ 90.00	\$ 502.00	\$ 85.00	\$ 840.00	\$ -	\$ 773.00	\$ 2,495.67	\$ 40.00	\$ 18,570.14	APRIL TOTAL
INVOICE #	DATE	WORK COMPLETED															INVOICE TOTAL	SPECIFIC LOCATION
10017	5/3/2016	Backfill sidewalk					\$ 184.00										\$ 184.00	
10020	5/2/2016	Work on drinking fntn and irrigation		\$ 372.27													\$ 372.27	
10021	5/2/2016	Repair drinking fountain							\$ 175.50								\$ 175.50	
10022	5/2/2016	Clean out trash containers		\$ 40.00			\$ 60.00										\$ 100.00	
10023	5/3/2016	Install motion sensors					\$ 195.00										\$ 195.00	
10024	5/4/2016	Brush hog			\$ 1,002.50												\$ 1,002.50	
10025	5/4/2016	Trim back trees and bushes	\$ 1,527.00														\$ 1,527.00	
10027	5/5/2016	Clean up brush & branches							\$ 808.00								\$ 808.00	
10034	5/6/2016	Clean park & trash containers		\$ 135.00			\$ 160.00										\$ 295.00	
10035	5/7/2016	Clean park & trash containers		\$ 135.00			\$ 160.00										\$ 295.00	
10038	5/9/2016	Clean out trash containers		\$ 40.00			\$ 60.00										\$ 100.00	
MAY TOTALS			\$ 1,527.00	\$ 722.27	\$ 1,002.50	\$ -	\$ 819.00	\$ -	\$ 808.00	\$ 175.50	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,054.27	MAY TOTAL

FY-2016 Parks and Trails Maintenance Costs

Park/Trail			AL FOSTER TRAILHEAD	ANNIVERSARY PARK	BELLEVUE FARM PARK	BLUFF VIEW PARK	COMMUNITY PARK	GLENCOE PARK	KOHN PARK	OLD POND SCHOOL	ROCK HOLLOW TRAIL	PEDESTRIAN BRIDGES	TAYLOR/100 TRAIL	EVENTS	GENERAL TRAILS	GENERAL WORK		
YEAR TO DATE TOTALS			\$1,527.00	\$6,909.27	\$1,257.00	\$1,872.50	\$20,600.29	\$8,882.00	\$898.00	\$4,880.52	\$2,714.00	\$3,957.00	\$240.00	\$5,855.39	\$11,605.55	\$463.25	\$71,661.77	YEAR TO DATE TOTAL



WILDWOOD

**City of Wildwood
Council Planning/Economic Development/Parks Committee**

Parks and Recreation Update for Mid-May 2016 to Mid-June 2016

June 21, 2016

| MEMORANDUM |

| To: Council Planning/Economic Development/Parks Committee Members |
| From: Department of Planning and Parks |
| cc: The Honorable James R. Bowlin, Mayor; Administration/Public Works Committee
Members; John A. Young, City Attorney;
Ryan S. Thomas, P.E., City Administrator |

| Re: Parks and Recreation - Action Plan Update |

Listed below is a summary of the efforts the City has completed/underway relative to implementing the goals and recommendations for parks and recreation that were set forth in the Citizens Committee for Park Progress' Action Plan. This summary reflects major items that have been the focus of the City, since the Committee's May 2016 meeting:

Wildwood Concert Series:

- The first concert of the 2016 Wildwood Concert Series took place on May 20, 2016 at Wildwood Square (in front of the Wildwood Pub & Grill).
- The concert was well attended and *The Fabulous Motown Review* put on a crowd pleasing performance.
- *Off Site* events are typically more difficult to organize and set up, presenting several logistical difficulties. But armed with lessons learned from the 2014 event at the same location, the 2016 event actually went very well.
- The second concert of the 2016 Wildwood Concert Series took place on June 17, 2016 at the Wildwood Town Center Plaza.
- After a several year hiatus, a country-western band was brought back to the concert series, and the group *Two Way Crossing* performed for an enthusiastic crowd.

Boards and Commissions Appreciation Dinner:

- The Annual Boards and Commissions Appreciation Dinner was held on June 17, 2016 at Wildwood City Hall.
- For the second year, the dinner was held just before a concert that is part of the 2016 Wildwood Concert Series, thereby giving those attending the opportunity to enjoy a concert after the appreciation event.
- One hundred (100) invitations were sent to all the 2016 Board and Commission Members.

Art Festival Planning Committee Meeting:

- The Art Festival Planning Committee met on June 1, 2016.
- The Committee reviewed each application received for the 2016 Celebrate Wildwood Art Festival.
- The Committee reviewed and commented on two hundred four (204) pieces of art work and sixty-eight (68) artist booths.
- Sixty-seven (67) artists were invited to the 2016 Celebrate Wildwood Event.

Founders' Day Planning Committee:

- The Founders' Day Planning Committee met on June 6, 2016.
- All *main activities* of the Celebrate Wildwood Weekend were discussed at length.
- Small *tweaks* to the planned weekend events have been the focus of recent meetings.
- All aspects of the event are coming together and the planning phase continues to be ahead of schedule.
- The Department is very close to finalizing a lay-out plan for the 2016 Celebrate Wildwood weekend.

Recycle That Bicycle Event:

- The 2016 Wildwood *Recycle That Bicycle* Event was held on May 21, 2016 in front of Wildwood City Hall.
- The event was held between the hours of 9:00 a.m. and 12:00 (noon).
- This event is done in partnership with *Bicycle Works*, a not-for-profit organization which, as a base, offers an *Earn-a-Bike* Program that provides kids the opportunity to earn a bike, while learning about safety and maintenance issues.
- This year's event collected 51 bicycles (compared to 100 to 150 in past years), but Bicycle Works considers 50 bicycles a huge success.

Early Childhood Recreation Program:

- The Early Childhood Recreation Program *The Little Gym* was offered on May 25 and 26, 2016, at 10:00 a.m. and 1:00 p.m., each day.
- The program took place at *The Little Gym*, 15825 Manchester Road.
- Three (3) of the classes were filled to capacity (25), one (1) had eighteen (18) registered participants.

Green Rock Trail challenge:

- The 12th Annual Green Rock Trail Challenge was scheduled for June 4, 2016 (National Trails Day).
- This extremely popular City event set a registration record by filling to participant capacity (150 hikers) overnight and causing staff to start the waiting list, which had sixty (60) interested trekkers on it.
- Unfortunately, weather on the Friday before the June 4th event (on and off rain), and the weather forecast for the day of the hike (a downpour), caused the event to be cancelled.
- This cancellation is the second such for this event.

2ND Annual Wildwood Plein Air Art Event:

- The 2ND Annual Wildwood Plein air Art Event was held on June 11, 2016.
- The event began with a registration process from 7:00 a.m. to 8:00 a.m. at Wildwood City Hall.
- Artists/Photographers then had from 8:00 a.m. to 8:00 p.m. to paint/photograph any of nine (9) selected locations around the Town Center (Wildwood YMCA, St. Louis Community College – Wildwood Campus, the fountain at Fountain Place and Plaza Drive, outdoor patio at Table Three, the Community Garden, the B & B Theater, the pedestrian bridge east of Taylor Road, the Wildwood Hotel, or Wildwood City Hall).
- Seventeen (17) artists/photographers registered for the event.
- Warm temperature forecast *probably* affected registration numbers and caused two (2) artists to drop out before completion.

Next City Events:

- *Home Alone Safety Class* – June 22, 2016
- *Plein Air Art Event Reception* – July 15, 2016
- Wildwood Concert Series – July 15, 2016 (*Dr. Zhivegas*)
- *Baby Sitting 101 Class* – July 19, 2016.
- *Trails in Motion* Film Presentation – July 29, 2016

If you should have any questions or comments in this regard, please feel free to contact the Department of Planning and Parks at (636) 458-0440. Thank you for your review of this information and continued support of these and other events and activities of the City.