



City of Wildwood
Council Planning/Economic Development/Parks Committee
Agenda for
Tuesday, March 15, 2016 Meeting
6:30 PM to 8:30 PM

If you would like to submit a comment regarding an item on this meeting agenda, please visit the [Form Center](#).

- I. Welcome And Roll Call By Chair Baugus
- II. Approval Of Minutes From The Meeting Of February 23, 2016

Documents:

[II DRAFT OF FEBRUARY 23, 2016 MINUTES.PDF](#)

- III. Public Comment
- IV. Planning Issues

- a. Ready For Action – One (1) Item

1. Master Plan Update Process - 2016 (Wards – All)

Documents:

[IV. A. 1. MASTER PLAN UPDATE PROCESS.PDF](#)

- b. Not Ready For Action – Seven (7) Items

1. Timber Harvest Permits (Wards - All)
2. Explosives Code Modification (Wards - All)
3. Pollution Reduction Plan (Wards – All)
4. Town Center Development Manual – Update Process (Wards - All)
5. Directional Signage For The Town Center Area (Wards One, Four, Five, Seven, And Eight)
6. Acceptance Of The Essen Log Cabin By The City Of Wildwood From Private Donors (Wards – All)
7. Strategic Planning Goals – March 2015 Session Of City Council (Wards – All)

- V. Economic Development Issues
- a. Ready For Action – No Items

b. Not Ready For Action – No Items

VI. Parks Issues

a. Ready For Action – Four (4) Items

1. Special Event Liquor License For Farmers Market - 2016 (Ward Eight)

Documents:

[VI. A. 1. SPECIAL EVENT LIQUOR LICENSE FOR FARMERS MARKET.PDF](#)

2. Al Foster Memorial Trailhead Bid Results For Project's Construction (Ward Six)

Documents:

[VI. A. 2. AL FOSTER MEMORIAL TRAILHEAD PROJECT.PDF](#)

3. On-Going And Long-Term Maintenance Costs For Parks And Trail Facilities (Wards – All)

Documents:

[VI. A. 3. ON-GOING AND LONG-TERM MAINTENANCE COSTS FOR PARKS AND TRAIL FACILITIES.PDF](#)

4. Update On Parks And Recreation Action Plan (Wards – All)

Documents:

[VI. A. 4. UPDATE ON PARKS AND RECREATION ACTION PLAN.PDF](#)

5. Executive Session – One (1) Item

5.1. Executive Session Pursuant To RSMO 610.021(2) Lease, Purchase, Or Sale Of Real Estate

b. Not Ready For Action – Eight (8) Items

1. Pond Athletic Association Accounting – 2015 Season (Ward – One)

2. Community Park – Phase One Additions – Swings (Wards – All)

3. Kohn Park Project Opportunity (Ward – One)

4. Use Of Public Property For Bee Hives (Wards One And Eight)

5. Woodcliff Heights Neighborhood Park (Ward Two)

6. Park And Stormwater Sales Tax (Wards – All)

7. Tree Art In Community Park – (Wards – All)

8. Fund Raising, Donations, And Volunteer Participation Activities In Community Park (Wards – All)

VII. Other/Additional Public Comment

VIII. Closing Remarks And Adjournment

If you would like to submit a comment regarding an item on this meeting agenda, please visit the Form Center.

Note: The Council Planning/Economic Development/Parks Committee of the City Council will consider and act upon these matters listed above and any such others as may be presented at the meeting and determined appropriate for discussion at that time.

City of Wildwood
Council Planning/Economic Development/Parks Committee
“Planning Tomorrow Today”
Minutes from the
February 23, 2016 Meeting

The Council Planning/Economic Development/Parks Committee meeting was called to order by Chair Baugus, at 6:30 p.m., on February 23, 2016, at Wildwood City Hall, 16860 Main Street, Wildwood, Missouri.

I. Welcome and Roll Call:

The roll call was taken, with the following results:

PRESENT – (6)

Council Member DeHart
Council Member Manton
Council Member McCutchen
Council Member Levitt
Council Member Goodson
Chair Baugus

ABSENT – (1)

Council Member Cox

Other City Officials present:

Tim Woerther, Mayor
Ryan Thomas, City Administrator
Joe Vujnich, Director of Planning and Parks
Kathy Arnett, Assistant Director of Planning and Parks
Gary Crews, Superintendent of Parks and Recreation

II. Approval of Minutes from the Meeting of January 26, 2016:

A motion was made by Council Member Manton, seconded by Council Member Levitt, to approve the minutes of the January 26, 2016 meeting. A voice vote was taken to approve the motion, with unanimous, affirmative result, and the motion was declared approved by Chair Baugus.

III. Public Comment (on non-Agenda and other items):

None

IV. Planning Issues:

1. Master Plan Update Process – 2016 (Wards – All)

Director of Planning and Parks Vujnich provided a summary of the Master Plan Update Process to date. He advised, at this point, only two (2) meeting dates remain for the Master Plan Advisory Committee. The final draft of the Master Plan Update will be reviewed for the second time on February 24, 2016. Director of Planning and Parks Vujnich noted for the Committee the major items that have been identified to date for retention or addition to the Master Plan, which includes the following:

1. The physical environment of Wildwood remains a priority for the next ten (10) years, particularly continuing to manage development and its incumbent stormwater runoff.
2. The planning of Town Center Area remains a priority and development within its boundaries needs to adhere to its high standards and guidelines.
3. The community services provided by the City should remain a mix of City officials, managing private service contracts.
4. The transportation network of streets and roadways needs to maintain a high level of safety and function, but not alter the rural character of Wildwood.
5. The open space and recreation efforts of the City need to focus on trails and their connection to the abundant of parkland within the community.
6. The economic development efforts of the City should be led by the City Council and follow the plan that is to be adopted by it during 2016.
7. The land use component changes little and retains the four (4) major categories first established in 1995. The BP/Amoco Facility and the Brown Properties are the recipients of two (2) recommended text changes to the land use element. These changes, as recommended by the advisory committee, would allow for the potential of beer and wine sales at the BP/Amoco Facility and Mr. Brown's six (6) acre tract of land to have its possible residential density increased to no greater than 1.75 units per acre.

Director of Planning and Parks Vujnich advised a new sixth element has been added to the five (5) previous elements of the Master Plan. This element focuses on economic development and reflects a major initiative of the City Council over the last couple of years.

Discussion among Committee Members included the following: specific update on the six (6) acre tract of land owned by Jim Brown; the current density of the Brown property; and a question on the boundaries of the BP Amoco property and the private lot of the Dierbergs Family.

V. Economic Development Issues:

No Items Ready for Action.

VI. Parks Issues:

1. Dog Park Entry Management System (Wards – All)

Director of Planning and Parks Vujnich reminded the Committee of past discussions relative to accessing the City's dog park. Options discussed in the past were very good considerations, but most involved the need for an electrical power supply. Currently, there is not a source near the dog park to bring power to the gate area and it would be a considerable cost to do so.

He advised the Department made contact with several other dog park facilities and found all had very good comment/experience with a battery powered keypad system very similar to those used in several of the City's parks currently. Director of Planning and Parks Vujnich noted, however, the current gate that is in place at the City's dog park facility would have to be changed. He noted the proposed solution to changing the gate would be to replace the wooden gate with a wrought iron steel type gate that appears to be a better design, given its lighter weight and smaller opening, which will make access much easier for some of the current users of the dog park facility. Director of Planning and Parks Vujnich advised the approximate cost of the proposed gate is four thousand five hundred dollars (\$4,500.00). This cost is about thirteen thousand dollars (\$13,000.00) less than the card reader type system previously researched and appears to be a much more workable approach for the City. Director of Planning and Parks Vujnich advised the Department is recommending the Committee support this option for access control to the dog park for the following reasons:

- a.** This approach does not require the City to install electrical service to the dog park area of Community Park, which would have been extended from the pavilion, and was more than ten thousand dollars (\$10,000.00) over the cost of the other seventeen thousand dollar (\$17,000.00) option that was presented to Committee in 2015.
- b.** This approach addresses a consistent user complaint about the size and weight of the gate in place at this time, since the main access gate for users, versus the service side, will be shorter in width and lighter in composition.
- c.** This approach has been used by other cities in the area with dog park facilities and has worked well for their communities and residents.
- d.** The use of heavy gauge steel, with a hot-dipped galvanized coating process, will ensure its longevity and require less maintenance than the wood gates that are currently in place.
- e.** The type and color of the material will match the black wire-meshed fence that surrounds the remainder of the dog park area.
- f.** The dual keypads, which are already in use at two (2) other locations in City-owned park properties, are durable and the batteries powering them have lasted for multiple years.

Discussion among Committee Members included the following: several questions about the locking system; the fact the wire fencing around the park would complement the wrought iron gate; questions about how often the combination on the locks would have to be changed; interest in the biggest complaints the dog park has generated; the fact that a *rules sign* is being developed; the fact the new RecDesk Software recently purchased may assist greatly with dog park registrations; a question about how often dog park users need to register; and the opinion that a wooden gate is more desirable and fits in better in the current setting than a metal gate.

A motion was made by Council Member Manton, seconded by Council Member Goodson, to support the recommendation of the Department concerning the proposed dog park gate and to forward the recommendation to City Council for its review/consideration. A roll call vote was taken to approve this motion, with the following results:

Ayes: Council Members DeHart, Manton, Levitt, Goodson, and Chair Baugus.

Nays: Council Member McCutchen.

Absent: Council Member Cox.

The motion was declared approved by Chair Baugus.

2. Wet Weather Trail Policy (Wards - All).

Director of Planning and Parks Vujnich provided an overview of this topic to the Committee and explained the need for a *Wet Weather Trail Use Policy*. The natural surface trails within the City of Wildwood (the responsibility of Wildwood) are shared trails, meaning they were developed for use by hikers, runners, bikers, and equestrians. He noted these natural surface trails represent a great partnership of interested parties creating facilities for all users throughout the St. Louis Region.

Director of Planning and Parks Vujnich advised however, depending on trail conditions, some user groups damage the trails to the point, where it causes safety concerns for everyone. This *damage* usually always occurs when trails are used during, or immediately after, wet weather conditions. Director of Planning and Parks Vujnich informed the Committee, after consulting with several other agencies, the Department has created a draft trail wet weather policy for the Committee's review. He noted the application of this policy is intended to protect users from injuries associated with poor trail conditions, while also preserving the condition of the trails as well. Ancillary benefits to this policy's implementation should include a reduction in the use of the trails during and after inclement weather, which lessens the tendency for their widening by users avoiding wet, rutted areas, thereby preserving vegetation in these same areas, which stabilizes slopes from erosion. These benefits are cited often in other wet weather trail policy discussions.

Director of Planning and Parks Vujnich advised given the associated benefits with the adoption of such a policy, which is necessary here in Wildwood, due to soil and slope conditions in the City, along with weather extremes, the Department is requesting the Committee endorse this proposed Wet Weather Trail Policy, understanding that enforcement will be primarily by the honor system among users. He also advised it is important for the Department to note that such a policy will result in negative comments from most user groups, particularly when faced with less time on these popular trails. Director of Planning and Parks Vujnich, stated, however, the Department also believes that exceptions can be entertained for special events and other considerations, so as activities that may have been in the planning stages for weeks or months can be addressed and conditions monitored closely to the benefit of all parties.

Discussion among Committee Members included the following: the fact this second draft of the *Wet Weather Policy* reflected numerous suggestions by the Committee; lengthy discussion on the eight (8) steps listed in the draft policy; questions concerning enforcement of the policy; the opinion that most park users will in fact follow the rules; how trail users will know, if the trail is open or closed; where signs will be posted, so trail users will be aware of the trail closures; a question as to whether the City is adequately covered, if someone gets injured on a trail; and the fact that exceptions to the *Wet Weather Policy* will occur from time-to-time and each will be handled on a case-by-case manner.

A motion was made by Council Member Levitt, seconded by Council Member Manton, to forward the Departments recommendation for a *Wet Weather Trail Policy* to City Council for its review/consideration. A voice vote was taken to approve the motion, with unanimous, affirmative result, and the motion was declared approved by Chair Baugus.

3. Phase I of Community Park – Electrical Installation (Ward – One).

Director of Planning and Parks Vujnich provided an update to the Committee concerning the extension of electrical power to the community park pavilion. He noted the cost will be slightly more expensive than originally believed, but that work should begin on this final component of the Phase I Development within the next few weeks. Director of Planning and Parks Vujnich informed the Committee that it was also necessary to install additional conduit for the electrical lines, but one of the City contractors (Glenn Gaehle) will be able to complete that work. He reminded the Committee the Department began this process in September 2014.

4. Phase II of Community Park – Construction Management Contract with Oates Associates (Wards – All).

Director of Planning and Parks Vujnich summarized the efforts/explanations to date relative to the Phase II component for the community park project. He noted that proceeding with the Phase II component will accomplish several very important

goals/improvements, which would include an additional (and safer) access into and out of the Phase I areas, additional trail system, and preparation of the Great Meadow Area for its future development. Director of Planning and Parks advised the Committee, in view of this important development to Community Park, the Department is seeking authorization to engage Oates Associates in the form of a *construction administration/management contract* to ensure the project's design, engineering, costs, and quality goals are met. He advised that Oates Associates familiarity with the Community Park Project, and their ability to understand this project and the needs of the City, would appear to be the best approach for Wildwood to undertake at this time.

Director of Planning and Parks Vujnich informed the Committee, to this end, Oates Associates has provided a proposal for six thousand five hundred dollars (\$6,500.00) to handle the construction administration/management request. For this amount, Oates Associates will oversee the project from inception to completion. Director of Planning and Parks Vujnich noted the Department believes having a consultant on the site assisting the City during the construction of the engineered improvements is incumbent to its success. Therefore, he advised, the Department is seeking a favorable recommendation to amend the existing contract with Oates Associates for the design and engineering services for Phase 2 of the community park project to include construction administration/management efforts on the same. Overall, the total contract amount would be raised to fifty thousand three hundred dollars (\$50,300.00) for both the past and current components of this project. Between grant funding for this project from the St. Louis County Municipal Park Grant Commission and Capital Improvement Program Budget for 2016 of the City of Wildwood, this additional cost can be covered.

A motion was made by Council Member Levitt, seconded by Council Member Manton, to endorse Oates Associates, and a *construction administration/management contract* with it, for the Phase II development of Community Park and forward to City Council for its consideration. A voice vote was taken to approve the motion, with unanimous, affirmative result, and the motion was declared approved by chair Baugus.

5. City Event Partnership Agreements (2) - July 4th Car Show - Tact Swap Meet (Wards - All)

Director of Planning and Parks Vujnich advised the Committee of two (2) City Event Partnership Agreement Requests that had been submitted for 2016. Both events were held in 2015 without problem/difficulty. The first request is from the Queeny Park Equestrians and their *Tact Swap and Sale Event* on April 2, 2016. The second request is the *St. Alban Roe Knights of Columbus Car Show* on July 3, 2016. Both events will include the top of the parking garage and the parking area on Town Center Plaza. Both events require very little assistance from the City. Director of Planning and Parks Vujnich advised that neither event will conflict with any event planned in the City. He advised the Department is recommending both Event Partnership

Agreements be supported by the Committee and that it authorize staff to forward such recommendation to the City Council for final consideration and action.

Discussion among Committee Members included the following: if either event caused problems in 2015; the fact both events are requesting to serve food at them; whether any type of payment was made to the CID group; whether the groups were properly addressing the issue of sales taxes; how the sales tax issue was handled during the Art Festival; the opinion that since the City provides portable restrooms for the Tack Swap Meet, an offer should be made to the organizers of the Knights of Columbus Car Show to provide the same for them; and the opinion both groups will bring people to the City of Wildwood at minimal cost.

A motion was made by Council Member Manton, seconded by Council Member Goodson, to recommend support of both *Partnership Agreement Requests* (including the provision to include/offer restroom facilities for the car show event) and forward to City Council for their consideration. A voice vote was taken to approve the motion, with unanimous, affirmative result, and the motion was declared approved by Chair Baugus.

6. On-Going and Long-Term Maintenance Costs for Parks and Trail Facilities (Wards – All).

Director of Planning and Parks Vujnich updated the Committee on expenditures made for the months of January and February 2016 relative to park and trail facilities.

Discussion among Committee Members included the following: the question of the large expenditure in 2012, the fact the expenditure in 2012 is frequently discussed during budgeting meetings; a request to investigate the 2012 cost amount to determine why there was such a large expenditure; and the question of whether the maintenance costs should be reviewed at City Council Work Sessions.

7. Update on Parks and Recreation Action Plan (Wards – All).

Superintendent of Parks and Recreation Gary Crews summarized the Update on Parks and Recreation Action Plan.

Discussion among Committee Members included the following: why the Wildwood Family Snow Sports Day was implemented; discussion on the former ice skating event that took place at the Chesterfield Ice Skating Rink and why it was terminated; and the fact a decision on a date is needed to be decided for the 2016 Business Appreciation Reception.

8. Executive Session Pursuant to RSMO 610.021(2) Lease, Purchase, or Sale of Real Estate:

A motion was made by Council Member Levitt, seconded by Council Member Goodson, to enter into Closed Executive Session with regard to the lease, sale, or purchase of real estate (RSMO 610.021 (2)). A roll call vote was taken on the motion, with the following results:

Ayes: Council Members DeHart, Manton, McCutchen, Levitt, Goodson, and Chair Baugus.

Nays: None

Absent: Council Member Cox.

The motion was declared approved by Chair Baugus.

Time 8:20 p.m.

A motion was made by Council Member Manton, seconded by Council Member McCutchen, to leave Closed Executive Session with regard to the lease, sale, or purchase of real estate (RSMO 610.021 (2)). A roll call vote was taken on the motion, with the following results:

Ayes: Council Members DeHart, Manton, McCutchen, Levitt, Goodson, and Chair Baugus.

Nays: None

Absent: Council Member Cox

The motion was declared approved by Chair Baugus.

Time: 8:50 p.m.

VII. Other/Additional Public Comment:

None

VIII. Closing Remarks and Adjournment

Director of Planning and Parks Vujnich and Chair Baugus summarized the evening's meeting and a motion was made by Council Member Levitt, seconded by Council Member McCutchen, to adjourn. A voice vote was taken to approve the motion, with unanimous, affirmative result, and it was declared approved by Chair Baugus at 8:51 p.m.



WILDWOOD

March 15, 2016

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members

From: Department of Planning and Parks

Re: **Master Plan Update Process - 2016 (Wards – All)**

Cc: The Honorable Timothy Woerther, Mayor
Administration/Public Works Committee Members
Ryan S. Thomas, P.E., City Administrator
Rob Golterman, City Attorney
Kathy Arnett, Assistant Director of Planning and Parks

The Department has been working with the Master Plan Advisory Committee (MPAC) on the required ten (10) year update of the City's Master Plan. This work began in January 2015 and the Committee met continuously since its first session then, sometimes having a meeting almost every two (2) weeks during this period of time. The Committee completed its effort on February 24, 2016, with a unanimous approval of the proposed 2016 Master Plan.

Since the MPAC's action, the 2016 Master Plan has been forwarded to the Planning and Zoning Commission. A public hearing was held on the proposed revisions at the Commission's March 7th meeting. First action by the Commission on the updated plan is expected at its March 21st meeting, with final approval anticipated at its April 4th meeting. Following adoption by the Commission, the revised plan will be forwarded to the City Council for ratification, as required by the City's Charter.

The ratification process is expected to start with public hearing at the City Council meeting on April 11th. The Master Plan Advisory Committee's recommendation includes two (2) text changes to the Conceptual Land Use Category Section of the plan. If the City Council agrees with these modifications, it will be necessary to have legislation drafted for their approval. If the current schedule is unchanged, Department staff anticipates first and second reading of this ordinance at the April 25th and May 9th City Council meetings respectively.

The draft approved by the Master Plan Advisory Committee includes fifteen (15) major items. These items that have been identified by the Committee for retention, modification, or addition to the plan include the following:

1. Addition of a Goal Statement in the Environmental Element regarding legacy sites in the City and the protection of public health, safety, and welfare (**ENVIRONMENTAL – GOAL #5**).
2. Implementation of the Phase II requirements of the Clean Water Act for stormwater management in the City of Wildwood (**ENVIRONMENTAL – POLICY #1**).
3. Protection of the City's groundwater resources for depletion or misuse (**ENVIRONMENTAL – POLICY #18**).
4. Maintenance of the Town Center Area as the focal point of the community for commercial activities and higher density residential uses (**PLANNING – OBJECTIVE #7**).

5. Requirement that all land use matters be reviewed first by the Planning and Zoning Commission (**PLANNING - POLICY #9**).
6. Continuation of private contracts for public services (**COMMUNITY SERVICES – OBJECTIVE #4**).
7. Addition of a new goal and associated policy to first ensure the City’s housing stock is preserved and maintained, while creating a working group of residents to consider the development re-occupancy permit inspection program for Wildwood associated with the sale of existing single family dwellings (**COMMUNITY SERVICES – GOAL #5 AND POLICY #11**).
8. Provision of increased options for senior citizens in terms of all types of programs and activities (**COMMUNITY SERVICES – POLICY #10**).
9. Addition of a new goal that restates the City’s position of “Save the Greenbelt, Stop the Outerbelt” (**TRANSPORTATION – GOAL #4**).
10. Employment of new approaches to transportation and infrastructure design to ensure it is multi-modal in nature (**TRANSPORTATION – OBJECTIVE #4**).
11. Reaffirmation of the City’s support for the State Route 109 Corridor Study completed by the Missouri Department of Transportation in 1999 (**TRANSPORTATION – POLICY #2**).
12. Maintenance of the City’s arterial roadway systems and identification of those streets and roadways (**TRANSPORTATION – POLICY #9**).
13. Study and development of a funding source for parks, trails, facilities, and their maintenance and upkeep (**OPEN SPACE AND RECREATION – POLICY #3**).
14. Development of a new Economic Development Element for the plan, along with four (4) goals, eight (8) objectives, and seven (7) policies (**ECONOMIC DEVELOPMENT - MULTIPLE**).
15. Modification of the current Conceptual Land Use Classifications for two (2) tracts of land by amending the text descriptions of the Non-Urban Residential Area and the Sub-Urban Residential Area. These properties are the BP Amoco Service Station at Wild Horse Creek Road and State Route 109 and the Brown Properties at the terminus of West Avenue.

If any of the Committee members should have questions or comments in this regard or need additional information on this matter, please feel free to contact the Department of Planning at (636) 458-0440. A presentation is planned on this matter at tonight’s meeting. Thank you for your review of this information.



WILDWOOD

March 15, 2016

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members

From: Department of Planning and Parks

Re: Special Event Liquor License for Farmers Market - 2016

Cc: The Honorable Timothy Woerther, Mayor
Administration/Public Works Committee Members
Ryan S. Thomas, P.E., City Administrator
Rob Golterman, City Attorney
Kathy Arnett, Assistant Director of Planning and Parks

The Department of Planning has received a request from the managers of the farmers market about a change they would like to propose to the City regarding this weekly event. The farmers market will be entering its sixth year, with last year being its best ever, much to the credit of the managers – George and Rene’ Sackett. This success of the market in 2015 relates to the ability of the managers to continue to develop new vendors and events to keep visitors to it interested and engaged for the long season. Therefore, the request that has been presented to the Department is consistent with the managers always seeking new ideas to keep the market fresh.

In the attached email from George and Rene’ Sackett, they are requesting the authorization to begin offering and hosting cooking demonstrations, samplings, and special events that would benefit from the limited sale of alcohol at them (beer and wine). This request is not intended to allow sales of beer and wine at the market from a vendor or vendors, but for a list of special events that are offered over the course of the six (6) month season. The Rotary Club would be the sponsor of the license for the benefit of the Sacketts. This arrangement between the market managers and the Rotary Club is identical to the circumstance in the City of Ellisville, when the Sacketts were also managers of its farmers market. This arrangement appeared to work well for the special events at that market.

Given the request, the Department believed the Committee should review it and its direction provided in this regard. The Department is supportive of the managers’ request for the limited sale of beer and wine at special events hosted by the market over the course of the regular season. The Department’s support is premised on the following conditions:

1. The sale of beer and wine only, in conjunction with these scheduled special events.
2. The managers of the market shall oversee any individuals charged with the storage, preparation, and service of the beer and wine.
3. The Rotary Club will apply for the license and provide the insurance coverage and liability protection to the City of Wildwood, as directed by the City Attorney.
4. The market managers shall be responsible for the oversight of all aspects of this offering, including the storage, distribution, and sale of the beer and wine, and shall ensure that all State, County, and local codes are met as well.
5. The market managers shall advise the Department of Planning about those special events where beer and wine is to be sold, so it can advise the St. Louis County Police Department - Wildwood Precinct.

With these conditions in place, the Department believes the request of the managers can be authorized for the 2016 season, thereby allowing the market and its customers another option for enjoying this venue over its season, and the City of Wildwood.

If any of the Committee members should have questions or comments in this regard or need additional information on this matter, please feel free to contact the Department of Planning at (636) 458-0440. A presentation is planned on this matter at tonight's meeting. Thank you for your input and direction on the same.

Kathy Arnett

From: René Waterhouse-Sackett <renewhatsup@yahoo.com>
Sent: Tuesday, March 01, 2016 11:00 AM
To: Joe Vujnich
Cc: Gary Crews; Kathy Arnett
Subject: Follow Up to request for beer and wine license

Good Morning,

I wanted to follow up on the previous request for the "Retail By The Glass" Beer and Wine license. If you would present this to the Council at the next meeting, it would be much appreciated. See number 3 in the original email.

Here's a little more information.

1) The Rotary Club of West St Louis County has been sponsoring the license at the Ellisville Farmer's Market for a number of years. It is an annual license and the cost is \$50/year with the license month beginning July 1. The Rotary takes care of all the paperwork, insurance and licensing. I am listed as the primary holder of the license. The Rotary becomes a "sponsor" of the market and would be listed as such anytime that the beer and/or wine is at the market or a market sponsored event. This license can be renewed in March and the location can be transferred to the location of the Wildwood Farmers Market. The renewal and changes take a while, so starting as soon as possible would be optimal.

2) I would like to express my reasons for wanting the license.

A) The Missouri Wine and Grape Board has been reaching out to Farmers Markets in the State for sampling, sales and marketing of Missouri wine. George and I have visited many wineries over the last few years and have found out that many cannot afford all of the licenses and/or do not have the staff to visit, sample, serve, talk about their wines. We have been able to "host" some wineries and wine makers at the Ellisville Farmers Market over the last few years. Our license enables us to buy their wine (as many don't have big commercial distributors or sell outside of the winery) to sample and/or sell a glass. The community gets to meet these folks and the wineries get to market to a community outside of their immediate area.

B) It is the same scenario for the local microbreweries.

C) We have some flexibility on how we can utilize this license.

1) We can sample and/or sell local beer and wine anytime

2) We can set up a market tent and sell at Friday concerts

3) We can plan special events during market hours with seasonal food and beer/wine pairings. As well as use local beers and wines to cook with and offer recipes and demos (smaller scale)

4) We can plan some market/community meals (larger scale, during market, after market or on another day)

5) We do not have to utilize it much at all. It takes a lot of work and time to get these inexpensive, annual licenses and it seems better to keep the one that we have had, renew it and change location, than to let it expire.

I hope this helps and please let me know if you have any questions, concerns or comments.

Kindest Regards,
René



WILDWOOD

March 15, 2016

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members

From: Department of Planning and Parks

Re: **Al Foster Memorial Trailhead Project – Bidding Results**

Cc: The Honorable Timothy Woerther, Mayor
Administration/Public Works Committee Members of the City of Wildwood
Ryan S. Thomas, P.E., City Administrator
Rob Golterman, City Attorney
Rick Brown, P.E. and P.T.O.E., Director of Public Works
Kathy Arnett, Assistant Director of Planning and Parks
Gary Crews, Superintendent of Parks and Recreation

The Committee has been a part of the development of the design and engineering drawings for the planned improvement of the Al Foster Memorial Trailhead for many years. The Committee's role in this process began with the agreement to create a public engagement process and development review program for the trailhead's improvement that would engage the Glencoe Community and all of the City's partners in the Meramec River Valley, including its current users. This process and program that was followed is described below:

1. The planning process began with direct mailings to all residents, property owners, partners, and organizations with interest in the area asking for input about the current facility and their likes, dislikes, needs, concerns, and opportunities regarding it.
2. The input was formulated into a report used to determine the level of improvements considered on the site.
3. The report was presented at a community meeting to receive feedback upon the identified items and agreement on a list of priority improvements sought.
4. The list of prioritized improvements was presented to the Planning and Zoning Commission and City Council for their respective reviews and recommendations.
5. The agreed upon improvements was determined and the park designer was asked to formulate a plan reflecting these items upon it.
6. The plan, once completed, was circulated to all interested parties for review and comments (same groups noted in Item #1 above).
7. The received comments from this first review were presented to the community at a

meeting for input, suggestions, and changes.

8. The revised plan from these comments was then be presented to the Planning and Zoning Commission and City Council for review and direction.
9. The agreed upon plan was revised for the purposes of construction documents and specifications and this information was used for bidding purposes.
10. The bidding was completed and awarding of contracts followed, with City Council approving all required contracts.
11. The construction of improvements to the trailhead can now proceed, once the City Council authorizes contracts and all required documentation is addressed.

This process began in February 2011 and, for the most part, including reviews by all of the City's boards and commissions, along with City Council, took approximately five (5) years to complete Step #10, which is the project's current status. Through this process, from public input to the comments and additions by the City's boards and commissions, the project changed, but still respected its location in the Meramec River floodplain. Accordingly, the amount of funding set aside for this project has fluctuated over the course of time due to additions made through the lengthy review process.

Now with Step #10 underway, the final steps are ready to proceed. The bids were opened for this project on March 1, 2016 and six (6) firms responded to the advertisement. A summary of the bidding is provided below:

Bidder	Base (\$)	Alt. #1 (\$)	Alt. #2 (\$)	Alt. #3 (\$)	Alt. #4 (\$)	Alt. #5 (\$)	Alt. #6 (\$)	Total (\$)
		Overflow Parking	Overflow Parking - Landscaping	Info. Board	Site Furnishings	Disc Golf	Grated Trough	
Ideal Landscaping	514,868	67,900	9,000	14,500	16,300	16,415	9,900	648,883
Demien Construction	570,000	102,344	9,328	13,135	18,591	8,432	6,000	727,830
Gershenson Construction	601,500	91,000	15,000	14,500	16,000	13,800	16,500	768,300
Raiveri Construction	560,572	152,735	11,374	2,992	25,130	51,416	11,355	815,574
Tramar Contracting	642,000	207,000	17,200	20,000	34,000	29,500	8,000	957,700
RV Wagner	759,000	197,000	16,000	22,000	24,600	31,000	8,600	1,058,200

It is important to note that approximately \$450,000.00 was anticipated for this project in the 2016 Capital Improvements Budget, as part of the overall construction line item contained in it. In considering the results of this bidding process, the Department is recommending for the Committee's consideration of the following bid:

Bidder	Base Bid (\$)
Ideal Landscaping	514,868.00

Obviously, the bid amount is much greater than the amount set aside in the 2016 Capital Improvements Program Budget of four hundred fifty thousand dollars (\$450,000.00). Given this

circumstance, the Department of Planning and Parks requested the park designer meet with Ideal Landscaping, the low bidder, and attempt to find cost savings in its submitted bid. The outcome of this discussion was as follows:

Item	Cost (\$)
Base Bid	514,868
Alternate #4	16,000
Original Total	530,868
Eliminate thermo plastic logos from crosswalks and stripe only	-9,000
Remove one (1) of the non-ADA mini shelters	-11,500
Remove one (1) set of site furnishings from Alternate #4, i.e. picnic table, barbecue pit, and trash receptacle	-1,900
Remove bio-basin; seed and straw only	-8,900
Revised Total	499,568

The changes that are noted above will eliminate some items that had been recommended by the City’s Historic Preservation Commission, such as the overflow, special event parking area, but that cost alone, under the low bidder’s submittal, is \$67,900.00. Additionally, the number of mini-shelters will be reduced to two (2) instead of three (3) in total, but the larger shelter remains as it was bid.

To offset this additional cost of almost fifty thousand dollars (\$50,000.00), the Department is requesting the Committee’s support to reallocate this amount from the Capital Improvement Program’s 2016 Budget from the line item identified as ‘Future Trail Development – Construction,’ which has one million dollars (\$1,000,000.00) currently allocated to it, which would still leave nine hundred fifty thousand dollars (\$950,000.00) in that account and allow this project to proceed with the recommended bidder – ***Ideal Landscaping***.

This matter is being presented at tonight’s Work Session to the Committee for its review of the bids and, if acceptable, to provide a recommendation in this regard. If the Committee makes a favorable recommendation, the matter would then be forwarded to City Council for its consideration. With City Council’s endorsement, the contract for this project could be established by the end of April, with construction starting in late spring/early summer.

If any of the Committee Members have questions or comments about the plan sheets or the requested action, please feel free to contact the Department of Planning and Parks at (636) 458-0440. A presentation of this information is planned on this item at tonight’s meeting. Thank you for your consideration of this information and providing direction on the same.

ARTICLE 10

BID FORM PROPOSAL

PROJECT: AL FOSTER TRAILHEAD PARK SITE IMPROVEMENTS
WILDWOOD, MISSOURI
terraspec Project No. 10-015

OWNER: CITY OF WILDWOOD
16860 MAIN STREET
WILDWOOD, MISSOURI 63040

BIDDER: Ideal Landscape Construction, Inc.
6264 Lemay Ferry Road
St. Louis, MO 63129

TO: CITY OF WILDWOOD, MISSOURI

1. The undersigned (herein called the "Bidder") in compliance with your Invitation for Bids for the construction of the above-referenced project, having examined the drawings and specifications with related documents as prepared by *terraspec*, and having examined the site of the proposed work, being familiar with all of the conditions surrounding the construction of the proposed project including the availability of materials and supplies to construct within the time set forth therein, and at the prices stated below. These prices are to cover all expenses incurred in performing the work required under the Contract Documents, of which this proposal is a part.

2. **BASE PROPOSAL:** Bidder agrees to furnish all labor, materials, equipment and service required to construct and install all work shown on the drawings and called for in the specifications, except those items designated as add alternates. The bidder will complete this work as shown on the drawings and called for in the specifications, in accordance with said documents therewith for the sum indicated below.

BASE PROPOSAL TOTAL

Five hundred fourteen thousand eight hundred sixty eight DOLLARS (\$ 514,868.00)

3. **ALTERNATES:** The bidder will add the following work items as called for in the drawings and specifications in accordance with said documents therewith for the following itemized sums. The CITY reserves the right to select or reject any or all, or any combination of alternates.

ALTERNATE No. 1 - This alternate is for the addition of the Overflow Parking Area Pavement as indicated on the Drawings. **Note: Alternate includes, but not necessarily limited to, all elements necessary to construct Overflow Parking Area including grading, compaction testing, flush concrete curbs, grass pave aggregate base, grass pave surfacing, seeding/mulching and plastic insert striping .**

ADD Sixty seven thousand nine hundred DOLLARS (\$ 67,900.00)

CITY OF WILDWOOD, MISSOURI

ALTERNATE No. 2 - This alternate is for the addition of the Overflow Parking Area Landscape as indicated on the Drawings. Note: Alternate includes, but not necessarily limited to, all elements necessary to install landscaping including spaded edge, shrub bed soil preparation, shrub bed mulch, and plant materials. Topsoil, lawn seeding, mulch to replace existing aggregate parking lot to be removed shall be included in the Base Bid Proposal.

ADD Nine thousand DOLLARS (\$ 9,000.00)

ALTERNATE No. 3 - This alternate is for the addition of (1) Information Board as indicated on the Drawings.

ADD Fourteen thousand five hundred DOLLARS (\$ 14,500.00)

ALTERNATE No. 4 - This alternate is for the addition of (7) Picnic Tables, (4) Barbeque Pits, (7) Trash Receptacles, including associated concrete pads where applicable, as indicated on the Drawings. Note: Alternate includes all elements necessary to install the aforementioned site furnishings. Barbeque Pit at Main Shelter, Benches and Bike Rack at Restroom Building and Concrete Pads at Mini Shelters shall be included in the Base Bid Proposal.

ADD Sixteen thousand three hundred DOLLARS (\$ 16,300.00)

ALTERNATE No. 5 - This alternate is for the addition of 3 Disc Golf Holes as indicated on the Drawings. Note: Alternate includes all elements necessary to install the aforementioned Disc Golf Holes including, necessary Selective Tree and Brush Removal from Fairways, (9) Concrete Tee Pads, and (3) Heavy Duty Baskets

ADD Sixteen thousand four hundred fifteen DOLLARS (\$ 16,415.00)

ALTERNATE No. 6 - This alternate is for the addition of a Grated Drainage Trough across Grand Avenue, in lieu of the Reinforced Concrete Pipe, Flared End Sections and Drainage Swale Construction as indicated on the Drawings. Note: Alternate includes all elements necessary to install the aforementioned Grated Drainage Trough.

ADD Nine thousand nine hundred DOLLARS (\$ 9,900.00)

There will be no time extensions granted to the construction contract with the owner's acceptance of any alternate.

4. UNIT PRICES: Should the undersigned be required to perform work other than that shown on the submitted proposal, he will be paid an additional sum or shall credit the Owner, as the case may be, on the basis of the unit Prices quoted below. Such prices shall be the sum total installed compensation payable for all required work, including materials, installation, overhead and profit, and be valid for the duration of the contract. Any direction for changes will be given to the contractor in writing by the Owner.

ITEM DESCRIPTION

PRICE PER UNIT

NOTE: THIS SECTION (UNIT PRICES) NOT USED

CITY OF WILDWOOD, MISSOURI

5. Attached hereto is an affidavit in proof that the undersigned has not entered into any collusion with any person in respect to this proposal or any other proposal or the submitting of proposals for the contract for which this proposal is submitted.

6. The undersigned agrees that he will complete said work by **November 30, 2016** or allow the Owner as liquidated damages, the sum of Five Hundred Dollars (\$500.00) for each calendar day thereafter, that the Contract remains uncompleted. Computation of Contract time shall commence on the seventh (7th) day following the date of mailing by regular mail of the Notice to Proceed, and every calendar day following thereafter, except as provided herein, shall be counted as a working day.

7. The undersigned hereby represents that he has carefully examined the Bid Documents, and will execute the Contract and its items, covenants, and conditions all in strict conformance to these requirements.

8. All materials and equipment furnished by this Contract, and all construction involved in this Contract shall be, and the same is guaranteed by the Contractor, free from defects owing to faulty materials or workmanship for a period of one (1) year after the date of completion of the above work covered by this Contract, and any part, equipment, material, or work which proves defective by reason of faulty material or workmanship, within said period of one year shall be replaced by the Contractor free of cost to the Owner.

9. It is understood that the City reserves the right to reject any or all bids, to waive informalities in bidding, and to accept the bid most advantageous to the City.

10. All materials and equipment furnished by the undersigned shall be fully warranted as provided by the manufacturer(s). Any equipment which proves to be defective by reason of faulty parts, materials, or workmanship within the specified time period shall be replaced by the undersigned firm free of cost to the City.

11. The Bidder agrees that this bid shall be good and may not be withdrawn for a period of sixty (60) calendar days after the scheduled closing time for receiving bids.

12. Upon receipt of written notice of the acceptance of this bid, Bidder will execute the formal contract attached within five (5) days and deliver the required Surety Bond or Bonds.

13. The bid security attached in the sum of ^{Twenty five thousand seven} hundred forty three and four tenths (\$ 25,743.40) is to become the property of the Owner in the event the contract and bond are not executed within the time above set forth, as liquidated damages for the delay and additional expense to the owner caused thereby.

14. The undersigned hereby agrees to commence work under Contract a maximum of fourteen (14) days of receiving written "Notice to Proceed" from the Owner and to fully complete the total project in accordance with the time schedule set forth in the CITY - Contractor Agreement. The undersigned

CITY OF WILDWOOD, MISSOURI

further agrees to pay liquidated damages in accordance with the requirements of the Contract.

15. Bidder acknowledges receipt of the following Addenda:

Addendum No. <u>1</u>	Dated <u>02/25/16</u>
Addendum No. _____	Dated _____
Addendum No. _____	Dated _____

Respectfully submitted,

David Buckel-President

Name and Signature of Bidder

If an **INDIVIDUAL**

Name of Individual

Firm Name, if any

Residence Address

Address for Communications

If a **CORPORATION**

Ideal Landscape Construction, Inc.
Name of Corporation

David Buckel
President
Name and Title of Officer

6264 Lemay Ferry Road
St. Louis, MO 63129
Address for Communications

If a **PARTNERSHIP**

Name of Partnership

Partner

Address for Communications

1. Incorporated under the laws of the State of Name of Corporation?

2. Licensed to do business in Missouri?

Yes X No _____
(Check One)

State names and residence addresses of all partners

NON-COLLUSION AFFIDAVIT

STATE OF Missouri

COUNTY OF Jefferson

David Buckel, being first duly sworn, deposes and says that he is President *(sole owner, partner, president, secretary, etc.) of Ideal Landscape Construction, Inc., the party making the foregoing bid; that such bid is not made in the interest of or on behalf of any undisclosed person, partnership, company, association, organization or corporation; that such bid is genuine and not collusive or sham; that said bidder had not directly or indirectly induced or solicited any other bidder to put in a false or sham bid, and has not directly or indirectly colluded, conspired, connived, or agreed with any bidder or any one else to put in a sham bid, or that any one shall refrain from bidding; that said bidder has not in any manner, directly or indirectly, sought by agreement, communication or conference with any one to fix the bid price of said bidder or of any other bidder, or to fix any overhead, profit or cost element of such bid price, or of that of any other bidder, or to secure any advantage against the public body awarding the contract or any one interested in the proposed contract; that all statements contained in such bid are true; and, further, that said bidder had not, directly or indirectly, submitted his bid price or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, or paid and will not pay any fee in connection therewith to any corporation, partnership, company, association, organization, bid depository, or to any member or agent thereof, or to any other individual except to such person or persons as have a partnership or other financial interest with said bidder in his general business.

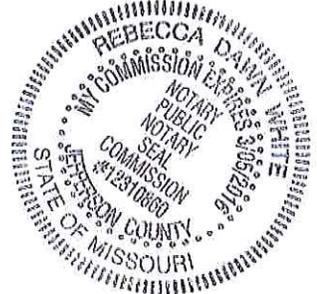
SIGNED:



Subscribed and sworn to before me this 3rd day of February, 2010.

Seal of Notary

Rebecca Dawn White
Notary Public



		Source Funds	FY 2016
Planned Project Expenditures			
Park and Trail Development			
40-480-07	Property Acquisitions	Local	900,000
40-480-11	Al Foster Trailhead Improvements - Construction	Local	450,000
40-480-21	Homestead Trail Design/Engineering and Improvements	Local	50,000
40-480-32	Wildwood Greenway - Phase VI - Construction	Local/Grant	350,000
40-480-33	Pedestrian Bridge Over Route 100, at Eatherton Road - Construction	Local/Grant	1,200,000
40-480-34	Kohn Park Repairs	Local	50,000
40-480-35	Old Pond School Repairs	Local	10,000
40-480-38	Capital Equipment/Facilities Purchase/Replacement	Local	50,000
40-480-39	Monarch Levee Trailhead	Local/Grant	200,000
40-480-41	Community Park - Phase II - Construction	Local/Grant	700,000
40-480-42	Community Park - Phase III - Design and Engineering	Local	150,000
40-480-44	Boardwalk Trail Between Mobil-On-The-Run and Pedestrian Bridge	Local	330,000
40-480-45	Future Trail Development - Design	Local	150,000
40-480-	Future Trail Development - Construction	Local	1,000,000
40-480-	Trail Resurfacing	Local	100,000
40-480-	Restroom Facilities - Old Pond School	Local	120,000
40-480-	Athletic Field Planning and Development	Local	50,000
40-480-	Bellevue Farms	Local/Grant	25,000
	Sub Total - Park Development		<u>5,885,000</u>
Other Capital Investment			
40-490-05	Great Streets Project(s)	Local	50,000
70-480-20	Vehicle Replacement / Purchase	Local	25,000
70-480-34	Rural Internet Access Project	Local	50,000
	Sub Total - Other Capital Investment		<u>125,000</u>
Total Expenditures			6,010,000

Al Foster Trail Head Park

Site Development

City of Wildwood, Missouri



WILDWOOD

PREPARED FOR:
 Department of Planning + Parks
 16860 Main Street Wildwood,
 Missouri 63040 (636) 458-0440
 CONTACT: Joe Vujnich jvujnich@cityofwildwood.com

PREPARED BY:



LAND PLANNING
 RECREATION PLANNING AND DESIGN
 LANDSCAPE ARCHITECTURE

5030 GRIFFIN ROAD
 ST. LOUIS, MO 63128
 (314)984-8211 FAX(314)843-1718

CONTACT: Ken Keitel kkeitel@terraspect.com

CONSULTING ENGINEERS

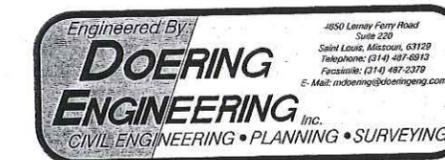
ELECTRICAL:



HEIDEMAN | ASSOCIATES, INC.

Consulting 13545 Barrett Parkway Dr.
 Civil, Surveying Suite 200
 Electrical St. Louis, Missouri 63021
 Mechanical Phone: 314-822-2217
 Engineers Fax: 314-822-7858

CIVIL:



STRUCTURAL:



Hawkinson Associates, LLC
 323 Fox Briar Lane Ballwin, MO 63021
 314.807.4386 Office/Cell 636.227.3776 Fax
 todd@hawkinsonassociates.com

LEGEND

EXISTING CONDITIONS	NEW IMPROVEMENTS
CONTOUR --- 500 ---	CONTOUR --- 500 ---
SPOT ELEVATION + 500.00	SPOT ELEVATION + 500.00
STORM SEWER	STORM SEWER
SANITARY SEWER	MANHOLE
MANHOLE	AREA INLET
CURB INLET	GRATE INLET
GRATE INLET	TO BE REMOVED T.B.R.
WATER LINE	USE IN PLACE U.I.P.
FIRE HYDRANT	ADJUST TO GRADE A.T.G.
GAS SERVICE	
ELECTRIC SERVICE	
TELEPHONE SERVICE	
UTILITY POLE	
BUY WIRE	
LIGHT STANDARD	
SIGN	
TREE	
BUSH	

GENERAL NOTES:

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF IMPROVEMENTS.
- TOPOGRAPHIC INFORMATION PROVIDED BY HEIDEMAN & ASSOC., INC AND DOERING ENGINEERING, INC.
- PROPOSED CONTOURS ARE SHOWN TO FINISHED GRADES. CONTRACTOR SHALL GRADE PAVEMENT AND BUILDING PAD AREAS TO FINISH GRADES INDICATED, UNLESS OTHERWISE INDICATED.
- PROPOSED GRADES SHALL BE WITHIN 0.1 FEET, MORE OR LESS, OF THOSE SHOWN ON THE GRADING PLAN.
- CONTRACTOR TO CALCULATE CUT/FILL QUANTITIES AND NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF BALANCE CONDITION CAN NOT BE MET.
- NO GRADING SHALL OCCUR ON THE SITE UNTIL A GRADING PERMIT IS SECURED WITH THE CITY OF WILDWOOD DEPARTMENT OF PUBLIC WORKS. SILTATION CONTROL DEVICES SHALL BE INSTALLED AND FUNCTIONING BEFORE A GRADING PERMIT WILL BE ISSUED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED AND STRAWED WITHIN 30 DAYS FROM THE COMPLETION OF GRADING OPERATIONS.
- STORM SEWER CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO LATEST METROPOLITAN ST. LOUIS SEWER DISTRICT "STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES", AND THE CITY OF WILDWOOD STANDARDS UNLESS OTHERWISE NOTED HEREIN.
- EXISTINGS ABOVE & BELOW GROUND UTILITIES TO BE PROTECTED AND USED IN PLACE, UNLESS OTHERWISE SPECIFIED (SEE DEMOLITION PLAN).
- MANHOLES AND INLET TOPS BUILT WITHOUT FURNISHED ELEVATIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- LOCATION AND ELEVATION OF EXISTING INLETS, MANHOLES AND PIPES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO AREA WITHIN THE LIMITS OF DISTURBANCE INDICATED ON THE PLAN UNLESS OTHERWISE INDICATED OR DIRECTED.

SITE GRADING NOTES:

- NOTIFY THE CITY OF WILDWOOD DEPARTMENT OF PUBLIC WORKS 48 HOURS PRIOR TO THE COMMENCEMENT OF GRADING AND/OR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- PARKING ON NON-SURFACED AREAS IS PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS. CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS.
- THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION ACCESS THERETO SHALL BE CLEANED THROUGHOUT THE DAY.
- EROSION AND SILTATION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR CONTROLLING REGULATORY AGENCY AND ADEQUATE VEGETATIVE GROWTH INSURES NO FURTHER EROSION OF THE SOIL.
- ADDITIONAL SILTATION CONTROL MAY BE REQUIRED AS DEEMED NECESSARY BY THE CITY OF WILDWOOD.
- TEMPORARY SILTATION CONTROL MEASURES (STRUCTURAL) SHALL BE MAINTAINED UNTIL VEGETATIVE COVER IS ESTABLISHED AT A SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON THE SITE.
- WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED TO SUCH A DENSITY AS TO PREVENT EROSION.
- WHEN CLEARING AND/OR GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 30 DAYS, ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO RETAIN SOIL MATERIALS ON SITE. PROTECTIVE MEASURES MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS / CITY ENGINEER SUCH AS PERMANENT SEEDING, PERIODIC MOWING, MULCHING, OR OTHER SUITABLE MEANS.
- IF CUT AND FILL OPERATIONS OCCUR DURING A SEASON NOT FAVORABLE FOR IMMEDIATE ESTABLISHMENT OF PERMANENT GROUND COVER, A FAST GERMINATING ANNUAL SUCH AS RYE GRASSES OR SUDAN GRASSES SHALL BE UTILIZED TO RETARD EROSION.
- NO EXCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PROPERTY OR ANY PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PUBLIC OR PRIVATE STREET OR PROPERTY FROM SETTLING, CRACKING OR OTHER DAMAGE.
- STORM WATER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING.
- SILTATION FENCES SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENT WHICH HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE SILTATION FENCE.
- ALL FILL PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557) FOR THE ENTIRE DEPTH OF THE FILL. COMPACTED GRANULAR BACKFILL IS REQUIRED IN ALL TRENCH EXCAVATION UNDER ALL PAVED AREAS. COMPACTION TESTING TO BE PERFORMED BY GEOTECHNICAL ENGINEER HIRED BY THE CONTRACTOR.
- SOFT SOILS IN THE BOTTOM OF BANKS OF ANY EXISTING OR FORMER POND SITES OR TRIBUTARIES OR ANY SEDIMENT BASINS OR TRAPS SHOULD BE REMOVED, SPREAD OUT AND PERMITTED TO DRY SUFFICIENTLY TO BE USED AS FILL. THIS MATERIAL SHALL BE PLACED PER RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER HIRED BY THE CONTRACTOR.
- ALL TRASH AND DEBRIS ON-SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
- EXISTING TREES INDICATED TO BE REMOVED MAY BE BURNED ON-SITE PROVIDED THE APPROPRIATE PERMITS ARE OBTAINED PRIOR TO BURN OPERATIONS.
- ROOTS OF EXISTING TREES INDICATED TO BE REMOVED SHALL BE GRUBBED TO A MIN. DEPTH OF 18" BELOW FINISH GRADE.
- ANY WELLS, CISTERNS AND/OR SPRINGS, WHICH MAY EXIST ON THIS PROPERTY, SHOULD BE LOCATED AND SEALED IN A MANNER ACCEPTABLE TO THE CITY OF WILDWOOD AND THE MISSOURI DEPARTMENT OF NATURAL RESOURCES.
- ALL EXCAVATIONS, GRADINGS OR FILLING SHALL HAVE A FINISHED GRADE NOT TO EXCEED A 3:1 SLOPE (93%), UNLESS SPECIFICALLY APPROVED OTHERWISE.

BENCHMARK INFORMATION:
 St. Louis County Highway and Transportation Benchmark Book:
 16-24 Elevation 453.75
 "Standard Table" stamped 53-75 S.L.C. at northwest entrance to La Salle
 Institute: on northwest end of east headwall along Highway 104 about 0.2 miles
 northwest of the intersection of Highway 104 and Old State Road.



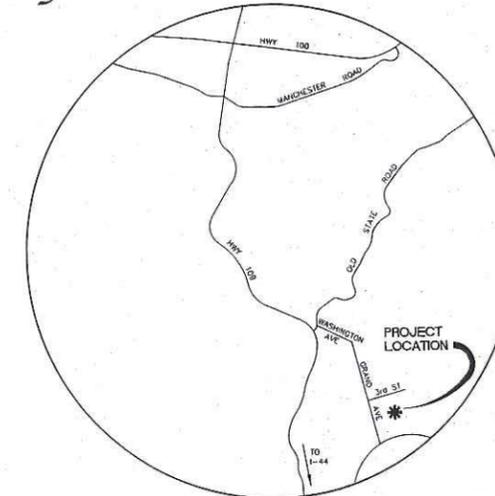
STOP! Call Before you DIG
 1-800-344-7483
 TOLL FREE

MISSOURI ONE-CALL SYSTEM INC.
 10223 NORTHEAST DR.
 JEFFERSON CITY, MO 65109

State Law requires 2 days advance notice. The law in the State of Missouri defines emergency excavation as one preventing danger to life, health, or property.

UTILITY SERVICES

WATER	MISSOURI AMERICAN WATER
SEWER	SEPTIC
FIRE	METRO WEST FIRE DISTRICT
ELECTRIC	AMEREN U.E.
GAS	LACLEDE GAS CO.
PHONE	AT T



LOCATION MAP
 February 2016

SHEET LIST

C1	DEMOLITION PLAN
C2	SITE LAYOUT PLAN
C3	SITE GRADING PLAN
C4	ENLARGED PLANS
SWPP	ENLARGED PLANS
E1	SITE ELECTRICAL PLAN
D1-D4	DETAILS
L1	LANDSCAPE PLAN
L2	DETAILS + SPECS
S1	SPECIFICATIONS
S2	SPECIFICATIONS

ALTERNATES

- ALT. #1 - Overflow Parking Area Pavement
 Flush Concrete Curbs, Grass Pave Agg. Base, Grass Pave Surfacing, Compaction Test, Seeding, Striping
- ALT. #2 - Overflow Parking Area Landscape
 Shrub Bed Soil Prep, Shrub Bed Mulch, Shrubs, (Topsoil/Seed/Mulch to replace aggregate parking removed shall be included in the Base Bid)
- ALT. #3 - Information Board
 Installation, Owner Supplied Roof Install
- ALT. #4 - Picnic Tables, BBQ Pits, Trash Receptacles
- ALT. #5 - 3 Station Disc Golf Course
 Heavy Duty Baskets, Conc. Tee Pads, Tee Signs, Selective Clearing
- ALT. #6 - Grated Drainage Trough
 In lieu of RCP and Swale Construction.

DEMOLITION KEYED NOTES:

REMOVE

- 1 REMOVE ASPHALT PAVEMENT AND BASE
REPLACE WITH TOPSOIL WHEN NO IMPROVEMENTS ARE INDICATED.
- 2 REMOVE TREES, STUMPS & BRUSH AS INDICATED (N.I.C.)
- 3 REMOVE 6' HT WOOD PRIVACY FENCE
- 4 REMOVE GRAVEL PARKING AREA
REPLACE WITH TOPSOIL WHEN NO IMPROVEMENTS ARE INDICATED.
- 5 REMOVE CONCRETE PAD
REPLACE WITH TOPSOIL WHEN NO IMPROVEMENTS ARE INDICATED.
- 6 REMOVE GRAVEL PATH
REPLACE WITH TOPSOIL WHEN NO IMPROVEMENTS ARE INDICATED.
- 7 ELECTRIC, TELEPHONE, CABLE LINES & POWER POLES REMOVED BY OTHERS
- 8 REMOVE SIGNS, STORE & REUSE AS DIRECTED.
- 9 REMOVE CONCRETE PLANTER CURBS
- 10 REMOVE CMP
- 11 EXISTING TREES TO BE RELOCATED AS DIRECTED BY OWNER/LANDSCAPE ARCHITECT
- 12 REMOVE LIMESTONE BOULDERS, STORE AND REUSE TO BUILD NEW BOULDER RETAINING WALL (APPROX. 30 BOULDERS)
- 13 SAWCUT, REMOVE & REPLACE EXIST. ASPHALT AS NEEDED TO REMOVE EXIST. CMP CULVERT AND REPLACE WITH NEW DRAINAGE STRUCTURE.
- 14 REMOVE EXISTING SURFACE APPLIED, DECORATIVE CROSSWALK.
- 15 REMOVE EXISTING WHEEL STOPS (14 QTY), STORE AND REUSE IN PROPOSED PARKING LOT.
- 16 6x6 POST TO BE REMOVED
- 17 REMOVE POST AND FENCE
- 18 REMOVE TREES & BRUSH AS NEEDED FOR DISC GOLF (ALT.#5)
SELECTIVE PRUNING AND/OR REMOVAL OF TREES AND BRUSH AS INDICATED FOR DISC GOLF (NO TREES LARGER THAN 8" TO BE REMOVED) (ALT.#5)

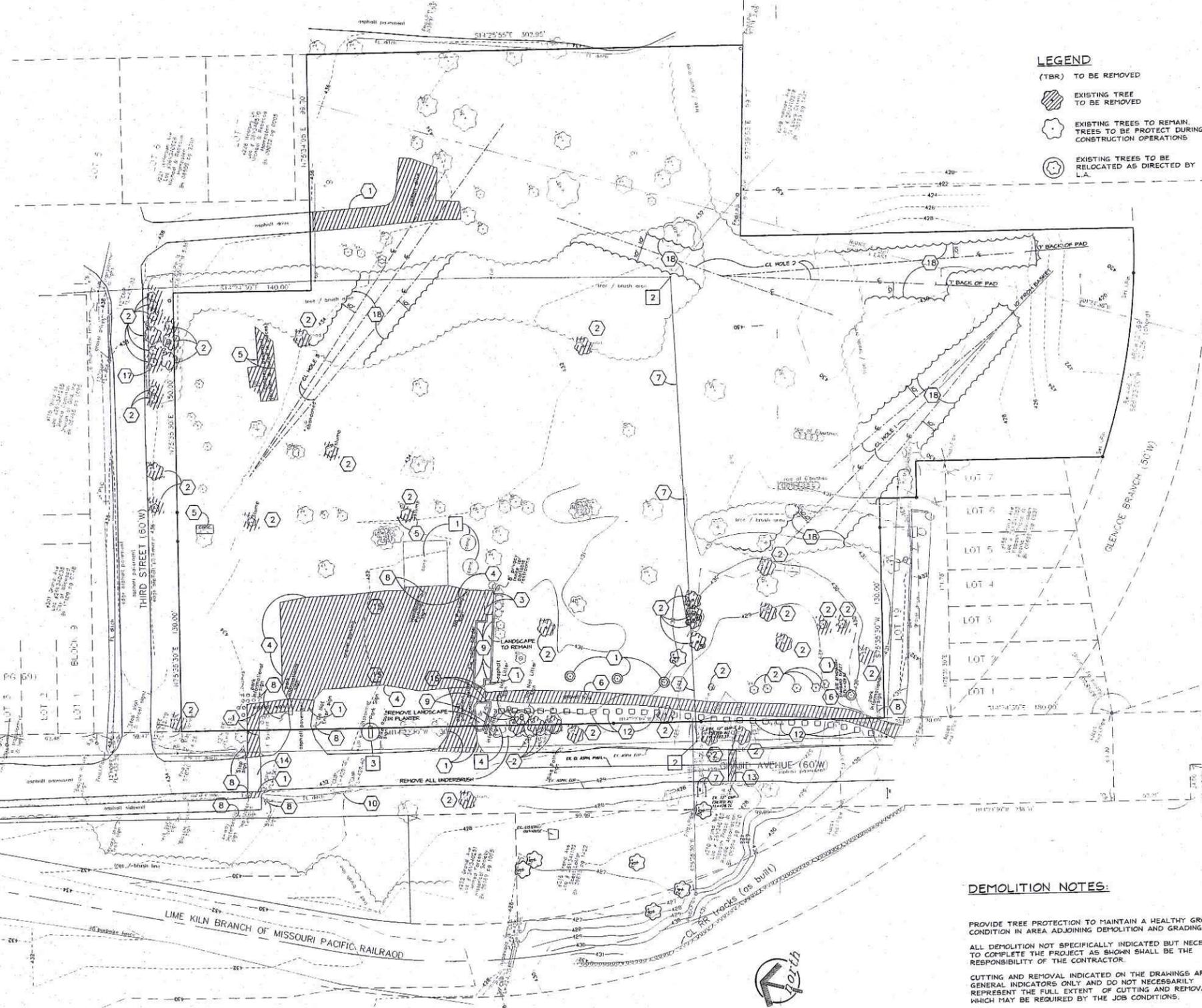
REMAIN

- 1 CONCRETE PADS TO REMAIN (PROTECT)
- 2 POWER POLES TO REMAIN (PROTECT)
- 3 PARK SIGN TO REMAIN (PROTECT)
- 4 TREE TO REMAIN

LEGEND

- (TBR) TO BE REMOVED
- EXISTING TREE TO BE REMOVED
- EXISTING TREES TO REMAIN. TREES TO BE PROTECT DURING CONSTRUCTION OPERATIONS
- EXISTING TREES TO BE RELOCATED AS DIRECTED BY L.A.

- LEGEND**
- FOUND MONUMENTATION
 - SET MONUMENTATION
 - CO CLEAN CUT
 - SIGN
 - GUY WIRE
 - UP UTILITY POLE
 - TELEPHONE BOX/PEDESTAL
 - OVERHEAD ELECTRIC TELEPHONE CABLE
 - BRUSH
 - TREE
 - TREE / BRUSH LINE



DEMOLITION NOTES:

PROVIDE TREE PROTECTION TO MAINTAIN A HEALTHY GROWING CONDITION IN AREA ADJOINING DEMOLITION AND GRADING.

ALL DEMOLITION NOT SPECIFICALLY INDICATED BUT NECESSARY TO COMPLETE THE PROJECT AS SHOWN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CUTTING AND REMOVAL INDICATED ON THE DRAWINGS ARE GENERAL INDICATORS ONLY AND DO NOT NECESSARILY REPRESENT THE FULL EXTENT OF CUTTING AND REMOVAL WHICH MAY BE REQUIRED BY THE JOB CONDITIONS.

EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED. (PROTECT)

LAND PLANNING
RECREATION PLANNING AND DESIGN
LANDSCAPE ARCHITECTURE

5080 GRIFFIN ROAD
ST. LOUIS, MO 63128
(314)984-8211 FAX(314)843-1718



Al Foster Trailhead Park
Grand Ave & 3rd St.
Wildwood, Missouri

OWNER:
City of Wildwood
16860 Main Street
Wildwood, MO
63040
Ph: 636-458-0440
Fax: (636) 458-6969

SHEET TITLE
Existing Condition/
Demo Plan

JOB NUMBER
10015
DATE 02/08/16 DRAWN BY DWD
REVISION

SHEET NUMBER
C1

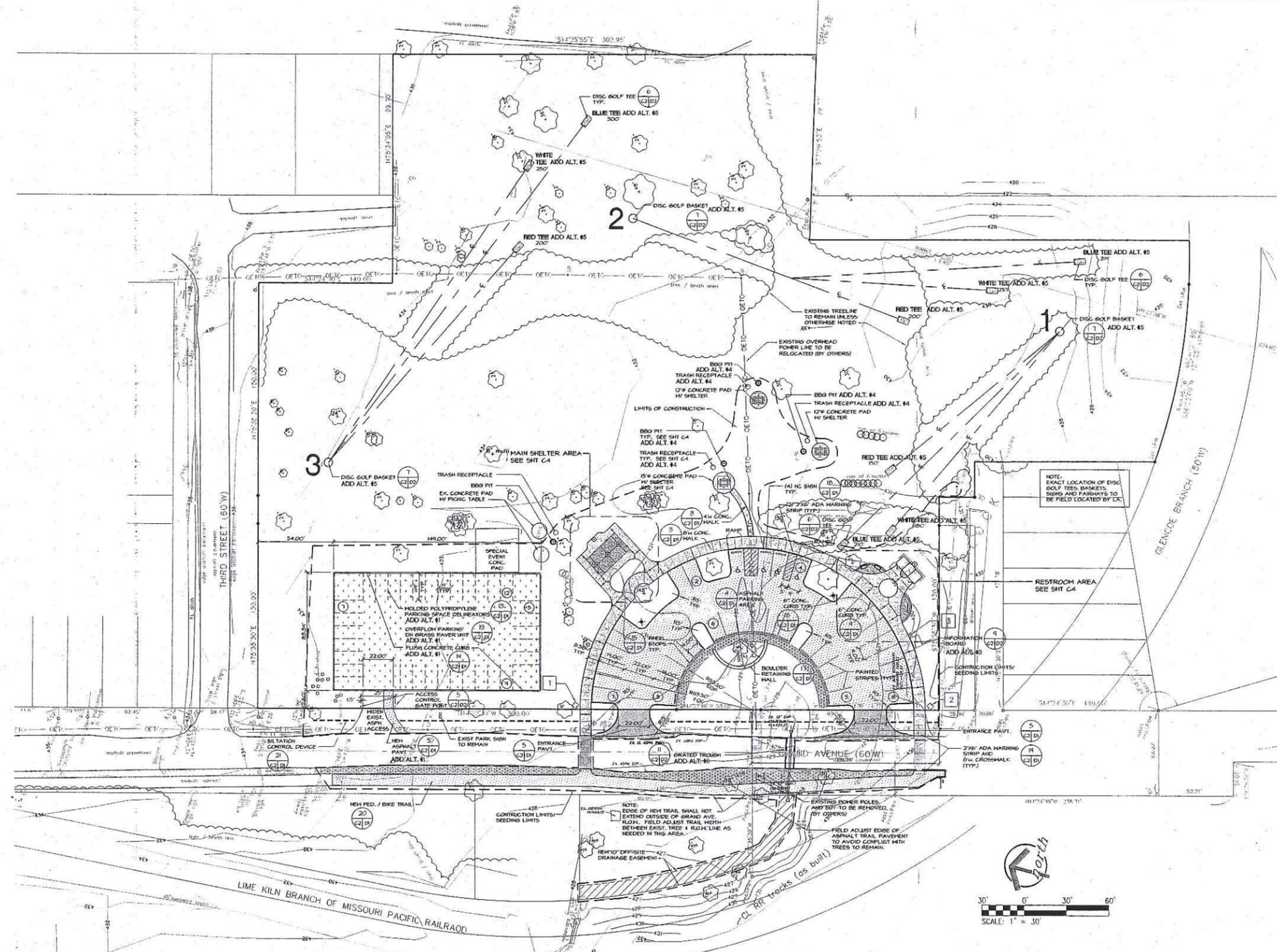
BENCHMARK INFORMATION:
ST LOUIS COUNTY HIGHWAY AND TRANSPORTATION BENCHMARK BOOK:
16-24 ELEVATION 453.75
"STANDARD TABLET" STAMPED 53-75 S.L.C. AT NORTHWEST ENTRANCE TO LA SALLE INSTITUTE; ON NORTHWEST END OF EAST HEADWALL ALONG HIGHWAY 109 ABOUT 0.8 MILES NORTHWEST OF THE INTERSECTION OF HIGHWAY 109 AND OLD STATE ROAD.

NOTE: UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM BEST AVAILABLE RECORDS, THEREFORE THE RELATIONSHIP BETWEEN PROPOSED WORK AND EXISTING FACILITIES, STRUCTURES, AND UTILITIES MUST BE CONSIDERED APPROXIMATE, AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXACT LOCATION AND THE EXISTENCE OF ANY NOT SHOWN.

LEGEND

- AREA INLET/CURB INLET
- MANHOLE
- FLARED END SECTION (FES)
- CLEAN OUT
- LIGHT STANDARD
- BOLLARD LIGHT
- GUY WIRE
- UTILITY POLE
- GAS VALVE
- WATER VALVE
- WATER METER
- BENCHMARK
- SIGN
- MAILBOX
- HANDICAP
- YARD FAUCET
- FLAGPOLE
- WATER LINE
- GAS LINE
- OVERHEAD ELECTRIC
- OVERHEAD TELEPHONE
- OVERHEAD ELECTRIC TELEPHONE CABLE
- BUSH
- DECIDUOUS TREE
- CONIFEROUS TREE
- EDGE OF PAVEMENT
- FACE OF CURB
- BACK OF CURB

NEW EXPANSION JOINT
SEE DETAIL 1/02



- SIGN RELOCATION KEYED NOTES**
- 1 RELOCATED SIGN - "WESTERN GREENWAY" HAMILTON CARR TRAIL MAP (DBL POST)
 - 2 RELOCATED SIGN - "HERAEG GREENWAY" AL FOSTER MEMORIAL TRAIL MAP (DBL POST)
 - 3 RELOCATED SIGN - "GLENCOE OPPORTUNITIES" HISTORICAL INFORMATION SIGN (SINGLE POST)

NOTE: Underground facilities, structures, and utilities have been plotted from best available records, therefore the relationship between proposed work and existing facilities, structures, and utilities must be considered approximate, and it is the contractor's responsibility to determine their exact location and the existence of any not shown.

LAND PLANNING
RECREATION PLANNING AND DESIGN
LANDSCAPE ARCHITECTURE
5030 GRIFFIN ROAD
ST. LOUIS, MO 63128
(314)984-8211 FAX(314)984-1718



**Al Foster
Trailhead Park**
Grand Ave & 3rd St.
Wildwood, Missouri

OWNER
City of Wildwood
16860 Main Street
Wildwood, MO
63040
Ph: 636-458-0440
Fax: (636) 458-6969

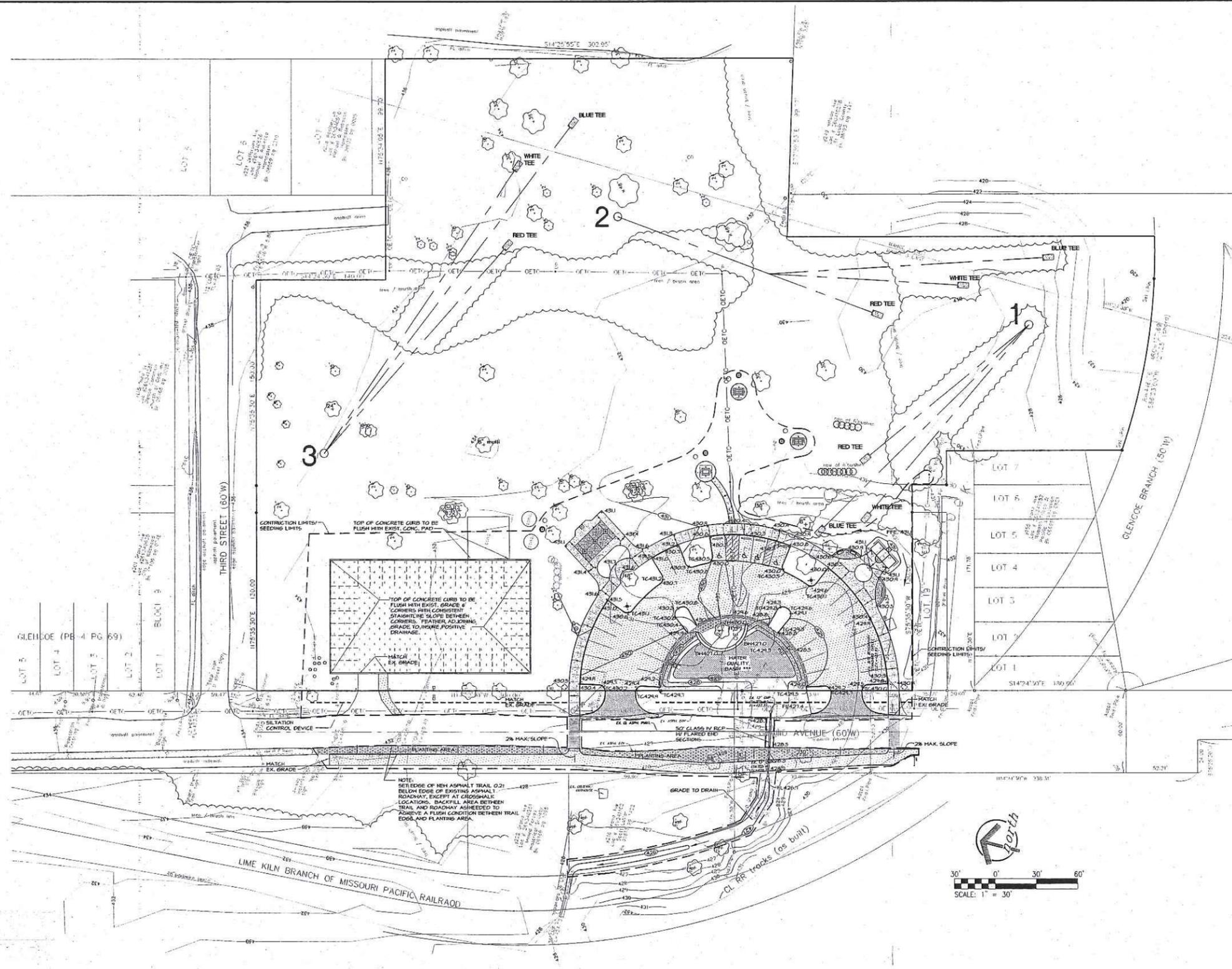
SHEET TITLE
**Site Layout
Plan**

JOB NUMBER
10015
DATE DRAWN BY
02/08/16 DWD
REVISION

SHEET NUMBER
C2

LEGEND

- AREA INLET/CHUB INLET
- MANHOLE
- ▭ FLARED END SECTION (FES)
- CLEAN OUT
- LIGHT STANDARD
- BOLLARD LIGHT
- OUT WIRE
- UP UTILITY POLE
- V GAS VALVE
- V WATER VALVE
- V WATER METER
- BENCHMARK
- SIGN
- MAILBOX
- HANDICAP
- YARD FAUCET
- FLAGPOLE
- WATER LINE
- GAS LINE
- OVERHEAD ELECTRIC
- OVERHEAD TELEPHONE
- OVERHEAD ELECTRIC TELEPHONE CABLE
- BUSH
- DECIDUOUS TREE
- CONIFEROUS TREE
- P EDGE OF PAVEMENT
- C FACE OF CURB
- B BACK OF CURB
- GRADING LIMITS
- EXIST. TREE TO REMAIN
- EXIST. TREE TO PROTECT
- NEW EXPANSION JOINT SEE DETAIL 1/02



TOP OF CONCRETE CURB TO BE FLUSH WITH EXIST. CONC. PAD

TOP OF CONCRETE CURB TO BE FLUSH WITH EXIST. GRADE & CORNERS WITH CONCRETE AT RIGHT ANGLE TO SLOPE BETWEEN CORNERS. TYPICAL ADJACENT GRADE TO INSURE POSITIVE DRAINAGE.

MATCH EX. GRADE

CONSTRUCTION LIMITS/SEEDING LIMITS

NOTE: SET EDGE OF NEW ASPHALT TRAIL 0.2' BELOW EDGE OF EXISTING ASPHALT ROADWAY, EXCEPT AT CROSSWALK LOCATIONS. BACKFILL AREA BETWEEN TRAIL AND ROADWAY AS NEEDED TO ACHIEVE A FLUSH CONDITION BETWEEN TRAIL EDGE AND PLANTING AREA.

GRADE TO DRAIN

CL RR tracks (as built)

NOTE: *** REMOVE ADDITIONAL 30" OF EXISTING SOIL BELOW PROPOSED FINISH GRADE WITHIN SHADDED AREA AND REPLACE WITH BIO RETENTION SOIL. SEE SHEET 11 FOR SPECS.



LAND PLANNING
RECREATION PLANNING AND DESIGN
LANDSCAPE ARCHITECTURE
5030 GRIFFIN ROAD
ST. LOUIS, MO 63128
(314)984-8211 FAX(314)843-1718

Al Foster
Trailhead Park
Grand Ave & 3rd St.
Wildwood, Missouri

OWNER
City of Wildwood
16860 Main Street
Wildwood, MO
63040
Ph: 636-458-0440
Fax: (636) 458-6969

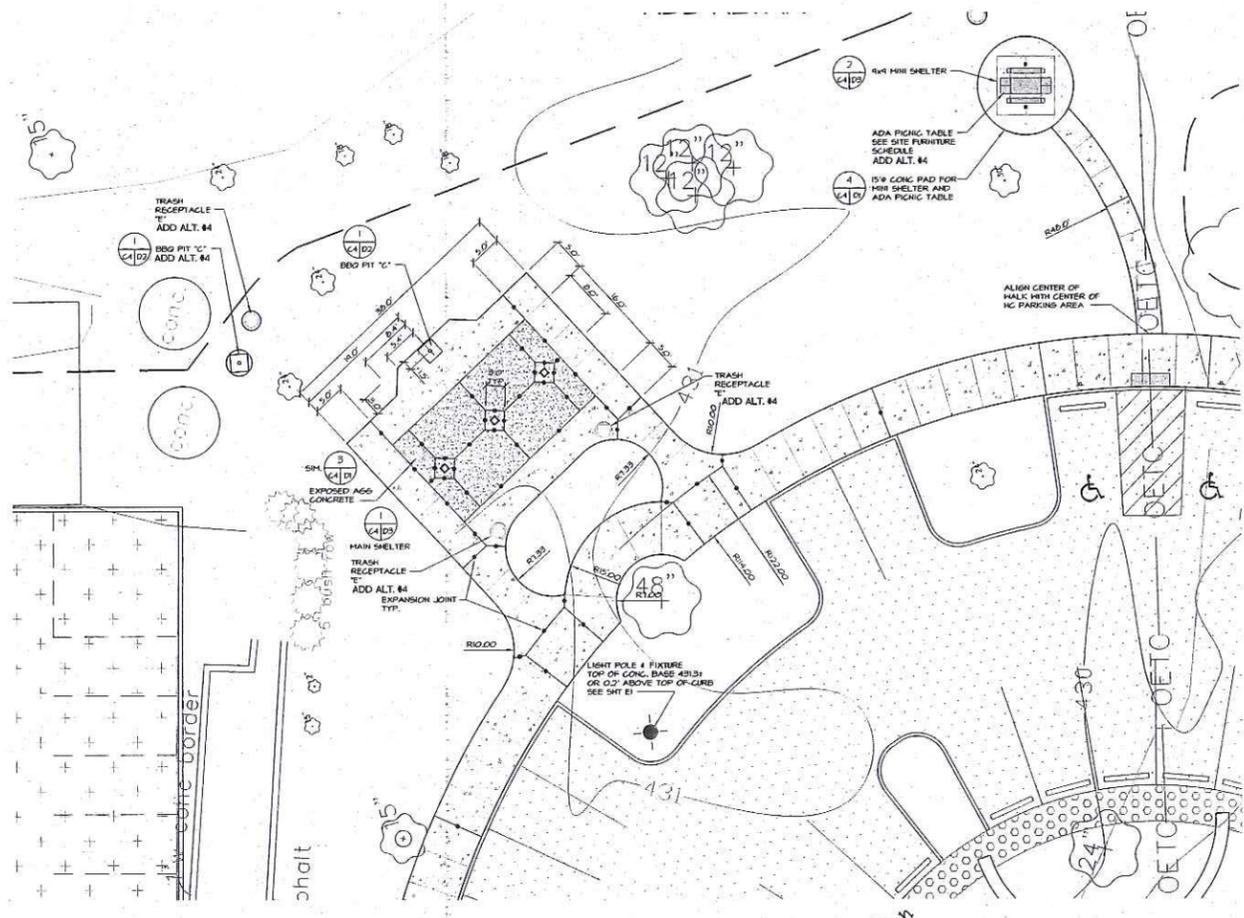
SHEET TITLE
Site Grading Plan

JOB NUMBER
10015

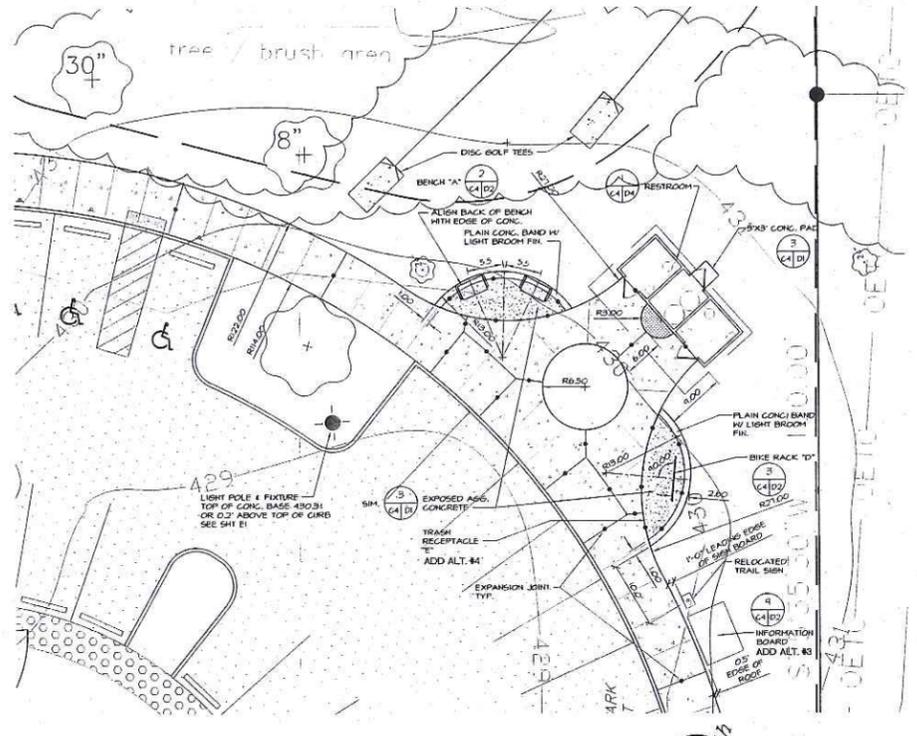
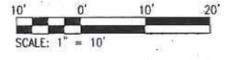
DATE DRAWN BY
02/08/16 DWD

SHEET NUMBER
C3

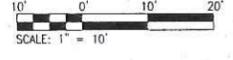
NOTE: Underground facilities, structures, and utilities have been plotted from best available records. Therefore the relationship between proposed work and existing facilities, structures, and utilities must be considered approximate, and it is the contractor's responsibility to determine their exact location and the existence of any not shown.



Main and ADA Mini Shelter Areas
SCALE: 1" = 10'-0"

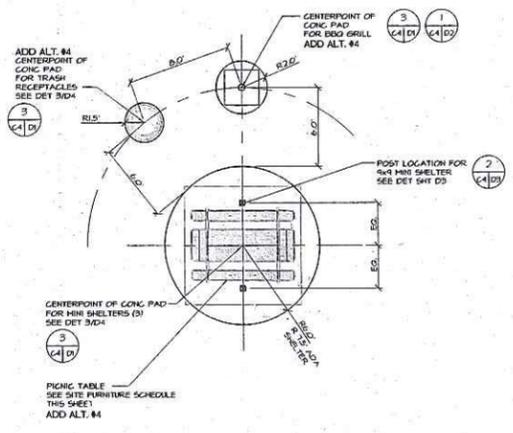


Restroom Area
SCALE: 1" = 10'-0"



LEGEND

- ⊠ AREA INLET/CURB INLET
- MANHOLE
- ▭ FLARED END SECTION (FES)
- ⊘ CLEAN OUT
- ⊕ LIGHT STANDARD
- ⊙ BOLLARD LIGHT
- GUY WIRE
- ⊕ UTILITY POLE
- ⊕ GAS VALVE
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ BENCHMARK
- ⊕ SIGN
- ⊕ MAILBOX
- ⊕ HANDICAP
- ⊕ YARD FAUCET
- ⊕ FLAGPOLE
- WATER LINE
- GAS LINE
- OVERHEAD ELECTRIC
- OVERHEAD TELEPHONE
- OVERHEAD ELECTRIC TELEPHONE CABLE
- BUSH
- DECIDUOUS TREE
- CONIFEROUS TREE
- EOP EDGE OF PAVEMENT
- FOC FACE OF CURB
- BOC BACK OF CURB



Picnic Table/Mini Shelter Area Detail
SCALE: 1" = 5'-0"



Site Furniture Schedule

KEY	ITEM	QUANTITY	MODEL	MANUFACTURER	LOCAL DISTRIBUTOR	REMARKS
A	4' BENCH	2	CN4100	WARSH VALLEY	FRY & ASSOCIATES 816-221-4825	COLORS: TO BE SELECTED
B	ADA PICNIC TABLE ADD ALT.#4	2	SG115 (D)	WARSH VALLEY	FRY & ASSOCIATES 816-221-4825	COLORS: TO BE SELECTED
	REG. PICNIC TABLE ADD ALT.#4	5	SG111 (D)	WARSH VALLEY	FRY & ASSOCIATES 816-221-4825	COLORS: TO BE SELECTED
C	BBO PIT ADD ALT.#4	1	D2-48-B2 W/ UTIL. SHELF 51	PILOT ROCK R.J. THOMAS MFG. 1-800-782-5007	FRY & ASSOCIATES 816-221-4825	COLOR - BLACK
	BBO PIT ADD ALT.#4	4	D2-48-B2 W/ UTIL. SHELF 51	PILOT ROCK R.J. THOMAS MFG. 1-800-782-5007	FRY & ASSOCIATES 816-221-4825	COLOR - BLACK
D	7' BIKE RACK	1	125-40	QUAMOR, INC 1-800-568-4018	FRY & ASSOCIATES 816-221-4825	COLOR: TO BE SELECTED POWDER COAT FINISH
E	32 GAL TRASH RECEPTACLES ADD ALT.#4	7	FR400 (D) W/ 50100 LID	WARSH	FRY & ASSOCIATES 816-221-4825	COLOR: TO BE SELECTED POWDER COAT FINISH

* NOTE:
CONTRACTOR MAY SUBMIT "EQUAL" SUBSTITUTIONS FOR ALL FURNITURE
AND EQUIPMENT TO OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL.
PROVIDED THEY ARE RECEIVED NO LATER THAN 5 DAYS PRIOR TO BID
OPENING.

LAND PLANNING
RECREATION PLANNING AND DESIGN
LANDSCAPE ARCHITECTURE
5030 GRIFFIN ROAD
ST. LOUIS, MO 63128
(314)984-8211 FAX(314)843-1718



**Al Foster
Trailhead Park**
Grand Ave & 3rd St.
Wildwood, Missouri

OWNER
City of Wildwood
16860 Main Street
Wildwood, MO
63040
Ph: 636-458-0440
Fax: (636) 458-6969

SHEET TITLE
**Enlarged
Site Layout
Plan**

JOB NUMBER
10015

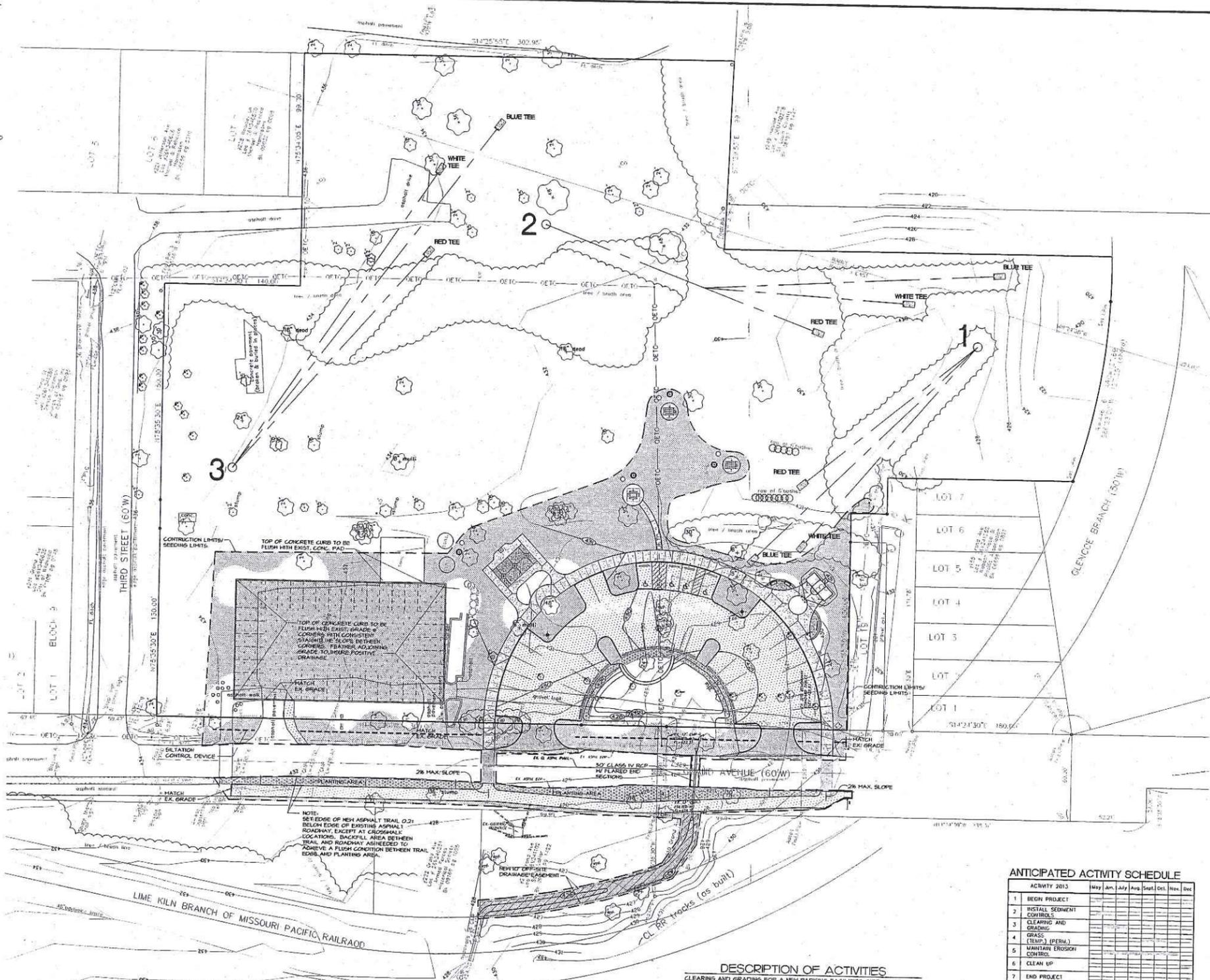
DATE 02/08/16 DRAWN BY DWD
REVISION

SHEET NUMBER
C4

NOTE: Underground facilities, structures, and utilities have been plotted from best available records. Therefore the relationship between proposed work and existing facilities, structures, and utilities must be considered approximate, and it is the contractor's responsibility to determine their exact location and the existence of any not shown.

SEDIMENT / EROSION CONTROL NOTES

- NOTIFY THE CITY OF WILDWOOD DEPARTMENT OF PUBLIC WORKS 48 HOURS PRIOR TO THE COMMENCEMENT OF GRADING AND/OR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- STORM WATER RUNOFF FROM THIS SITE DOES NOT FLOW TO A VALUABLE RESOURCE WATER AS DEFINED BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES.
- PROVIDE ADEQUATE OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES, PARKING ON NON-SURFACED AREAS IS PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.
- THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION ACCESS THERETO SHALL BE CLEANED AS NEEDED THROUGHOUT THE DAY.
- INTERIM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
- ADDITIONAL SILTATION CONTROL SHALL BE INSTALLED AS REQUIRED BY THE CITY OF WILDWOOD DEPARTMENT OF PUBLIC WORKS.
- EROSION AND SILTATION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR CONTROLLING REGULATORY AGENCY AND ADEQUATE VEGETATIVE GROWTH INSURES NO FURTHER EROSION OF THE SOIL.
- TEMPORARY SILTATION CONTROL MEASURES (STRUCTURAL) SHALL BE MAINTAINED UNTIL VEGETATIVE COVER IS ESTABLISHED AT A SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON THE SITE.
- WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED IN SUCH A DENSITY AS TO PREVENT EROSION.
- WHEN CLEARING AND/OR GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 5 DAYS, ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO RETAIN SOIL MATERIALS ON SITE. PROTECTIVE MEASURES MAY BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS SUCH AS PERMANENT SEEDINGS, PERIODIC MOWINGS, MULCHING, OR OTHER SUITABLE MEANS.
- IF CUT AND FILL OPERATIONS OCCUR DURING A SEASON NOT FAVORABLE FOR IMMEDIATE ESTABLISHMENT OF PERMANENT GRASS COVER, A FAST GERMINATING ANNUAL SUCH AS RYE GRASSES OR SUDAN GRASSES SHALL BE UTILIZED TO RETARD EROSION, IF ADEQUATE STORMWATER DETENTION AND EROSION CONTROL DEVICES HAVE NOT BEEN ESTABLISHED.
- ALL FINISHED GRADES (AREAS NOT TO BE DISTURBED BY FUTURE IMPROVEMENT) IN EXCESS OF 20% SLOPES (S.U.) SHALL BE MULCHED AND TACKED AT THE RATE OF 100 POUNDS PER 1000 SQUARE FEET WHEN SEEDING.
- NO ENCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PROPERTY OF ANY PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PUBLIC OR PRIVATE STREET OR PROPERTY FROM SETTLING, CRACKING OR OTHER DAMAGE.
- STORM WATER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING.
- SILTATION FENCES SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENT WHICH HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE SILTATION FENCE.
- EROSION CONTROL MEASURES OUTLINED ON THIS EROSION & SEDIMENT CONTROL PLAN ARE TO BE USED AS A GUIDE FOR THE CONTRACTOR IN THE MANAGEMENT OF SEDIMENT AND EROSION CONTROL. A STORM WATER POLLUTION PREVENTION MANUAL HAS ALSO BEEN PREPARED FOR THIS PROJECT AND SHALL ALSO BE USED IN THE MANAGEMENT OF SEDIMENT AND EROSION CONTROL FOR THE CONSTRUCTION SITE.
- ANY LAND CLEARING, CONSTRUCTION, OR DEVELOPMENT INVOLVING THE MOVEMENT OF EARTH SHALL BE IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN AND THE PERSON ISSUED A LAND DISTURBANCE PERMIT ASSUMES AND ACKNOWLEDGES RESPONSIBILITY FOR COMPLIANCE WITH THE APPROVED STORM WATER POLLUTION PLAN AT THE SITE OF THE PERMITTED ACTIVITY.
- AREAS SHALL BE IMMEDIATELY SEEDING (OR OTHERWISE STABILIZED) WHEN NO ACTIVITY IS EXPECTED TO OCCUR WITHIN FIVE (5) CALENDAR DAYS.
- PRIOR TO ANY MAJOR LAND DISTURBANCE ACTIVITY, A LAND DISTURBANCE PERMIT FROM THE STATE OF MISSOURI DEPARTMENT OF NATURAL RESOURCES WILL BE REQUIRED.
- SEDIMENT SHALL BE WASHED FROM ALL VEHICLES AT WASH DOWN STATION PRIOR TO LEAVING THE SITE. NO TRACKING OF MUD ONTO CITY OF WILDWOOD ROADS SHALL BE ALLOWED.
- THE PERMITEE SHALL AMEND THE STORM WATER POLLUTION PREVENTION PLAN WHENEVER:
 - DESIGN OPERATION OR MAINTENANCE OF BMP IS CHANGED
 - DESIGN OF THE CONSTRUCTION PROJECT IS CHANGED THAT COULD SIGNIFICANTLY AFFECT THE QUALITY OF THE STORM WATER DISCHARGES
 - SITE OPERATORS INSPECTIONS INDICATE DEFICIENCIES IN THE SWPPP OR ANY BMP
 - INSPECTIONS BY THE CITY OR BY MCDNR INDICATE DEFICIENCIES IN THE SWPPP OR ANY BMP
 - THE SWPPP IS DETERMINED TO BE INEFFECTIVE IN SIGNIFICANTLY MINIMIZING OR CONTROLLING EROSION OR EXCESSIVE SEDIMENT DEPOSITS IN STREAMS OR LAKES
 - THE SWPPP IS DETERMINED TO BE INEFFECTIVE IN PREVENTING POLLUTION OF WATERWAYS FROM CONSTRUCTION WASTE, CHEMICALS, FUELING FACILITIES, CONCRETE TRUCK WASHOUT, TOXIC OR HAZARDOUS MATERIALS, SITE LITTER OR ANY OTHER SUBSTANCES OR WASTES LIKELY TO HAVE AN ADVERSE IMPACT ON WATER QUALITY
 - THE TOTAL SETTLEABLE SOLIDS FROM A STORM WATER OUTFALL EXCEEDS 1/2 (0.5) mg/L IF DISCHARGE IS WITHIN THE PRESCRIBED PROXIMITY OF A "VALUABLE RESOURCE WATER" AS DEFINED BY MCDNR
 - THE TOTAL SETTLEABLE SOLIDS FROM A STORM WATER OUTFALL EXCEEDS 2 1/2 mg/L FOR ANY OTHER OUTFALL
 - THE CITY OR THE MCDNR DETERMINES VIOLATIONS OF WATER QUALITY STANDARDS MAY OCCUR OR HAVE OCCURRED



LEGEND

- AREA INLET/CURB INLET
- MANHOLE
- ▭ FLARED END SECTION (YES)
- CLEAN OUT
- LIGHT STANDARD
- BOLLARD LIGHT
- CUT WIRE
- UTILITY POLE
- GAS VALVE
- WATER VALVE
- WATER METER
- BENCHMARK
- SIGN
- MARKBOX
- HANDICAP
- YARD FAUCET
- FLAGPOLE
- WATER LINE
- GAS LINE
- OVERHEAD ELECTRIC
- OVERHEAD TELEPHONE
- OVERHEAD ELECTRIC TELEPHONE CABLE
- BUSH
- DECAIDUOUS TREE
- CONIFEROUS TREE

DESCRIPTION OF ACTIVITIES

CLEARING AND GRADING FOR A NEW PARKING FACILITIES, SIDEWALKS, SHELTER & PLAYGROUND AREA FOR RECREATION PARK.

ANTICIPATED ACTIVITY SCHEDULE

ACTIVITY	2013	May	Jun	July	Aug	Sept	Oct	Nov	Dec
1 BEGIN PROJECT									
2 INSTALL SEDIMENT CONTROLS									
3 CLEARING AND GRADING									
4 GRASS (TEMP) PERM.									
5 MAINTAIN EROSION CONTROL									
6 CLEAN UP									
7 END PROJECT									

BMP SUMMARY TABLE

BMP Description	Temporary	Permanent	Quantity
Construction Entrance	X		1 ea.
Wash Down Station	X		1 ea.
Silt Fence	X		300 ft.
Seeding & Mulching	X	X	4,545 sq. ft.

SWPPP CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS AND REGULATIONS OF ST. LOUIS COUNTY, THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, AND THE GENERAL PERMIT REQUIREMENTS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE INFORMATION CONTAINED IN THIS PLAN IS TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR KNOWINGLY SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINES AND IMPRISONMENT FOR THESE VIOLATIONS.

Signature: _____ Date: _____

STOP! Call Before you DIG
1-800-344-7483
TOLL FREE



MISSOURI ONE-CALL SYSTEM INC.
10223 NORTHEAST DR.
ATTERSON CITY, MO 63109



- SILTATION CONTROL DEVICE
- ▨ AREAS TO BE SEEDING & MULCHED, SEE LANDSCAPE PLAN & SPECS.

LAND PLANNING
RECREATION PLANNING AND DESIGN
LANDSCAPE ARCHITECTURE
5030 GRIFFIN ROAD
ST. LOUIS, MO 63128
(314) 984-8211 FAX (314) 984-1718



Al Foster Trailhead Park
Grand Ave & 3rd St.
Wildwood, Missouri

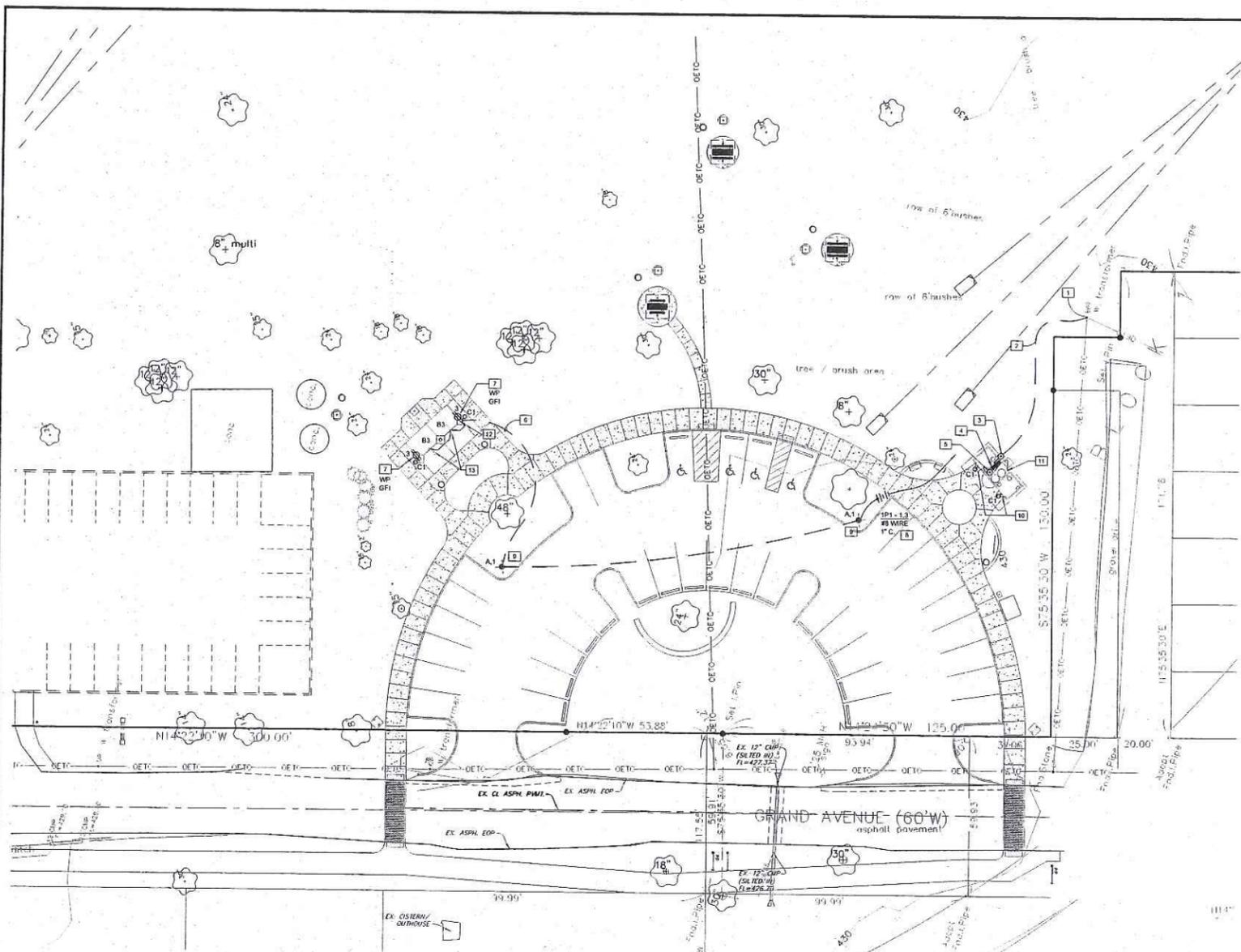
OWNER
City of Wildwood
16860 Main Street
Wildwood, MO 63040
Ph: 636-458-0440
Fax: (636) 458-6969

SHEET TITLE
Sediment & Erosion Control Plan

JOB NUMBER
10015

DATE DRAWN BY
02/08/16 DWD

SHEET NUMBER
CWDD

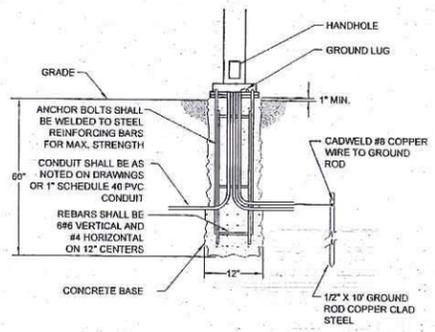


KEYED NOTES: (THIS DRAWING ONLY)

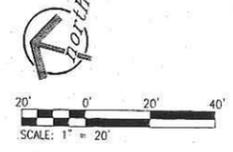
1. EXISTING AMEREN U.E. POWER POLE AND TRANSFORMER.
2. PROVIDE 4# 3 & 1# 8G, 1 1/2" CONDUIT FROM AMEREN POWER POLE. RUN FROM AMEREN U.E. POLE TO AMEREN U.E. METER MOUNTED ON WALL OF RESTROOM BUILDING. ALL ELECTRICAL INSTALLATION SHALL CONFORM TO AMEREN U.E. REQUIREMENTS.
3. AMEREN U.E. METER MOUNTED ON WALL OF RESTROOM BUILDING.
4. PANELBOARD '1P1' INCLUDED AS PART OF PRE MANUFACTURED RESTROOM BUILDING. PROVIDE CONNECTION OF THE PANELBOARD FROM THE AMEREN U.E. METER 4# 3, & 1# 8G, 1 1/2" C.
5. PROVIDE A TORK # 71202-18 ASTRONOMIC TIME CLOCK FOR CONTROL OF THE SITE LIGHTING. RUN CIRCUIT #1 THRU TIME CLOCK FOR CONTROL.
6. ROUTE CONDUIT WITHIN PAVILION STRUCTURE TO THE LIGHTING, FAN AND OUTLET FIXTURES. COORDINATE WITH PAVILION MANUFACTURER TO ACCOMMODATE INTERNAL ROUTING. FIXTURES TO BE SURFACE MOUNTED ON STRUCTURAL STEEL FRAME OF PAVILION. FIXTURE BOXES TO BE PAINTED SAME COLOR AS MOUNTING SURFACE.
7. PROVIDE TAMPER RESISTANT & WEATHER RESISTANT GROUND FAULT RECEPTACLES ON PAVILION STRUCTURE AT 18" ABOVE. SEE DETAIL ON DRAWING D3. DRESS OUT CONDUIT PER ARCHITECTURAL DETAIL.
8. TRANSITION FROM #6 WIRE TO #10 WIRE FOR TERMINATION TO LOADS. #6 WIRE PROVIDED FOR VOLTAGE DROP DUE TO LOAD DISTANCE FROM PANELBOARD. PROVIDE PROPER SIZE BOX FOR WIRE CAPACITY.
9. SITE LIGHTING FIXTURE (TYPE 'A'). SEE BASE DETAIL ON THIS DRAWING.
10. WALL MOUNTED LIGHTING FIXTURES TO BE INSTALLED CENTERED OVER DOORS ON CONTRACTOR FRAMED FRONT WALL EXTENSION ABOVE CONCRETE PORTION OF PREMANUFACTURED PORTION OF RESTROOM BUILDING AS INDICATED ON RESTROOM DETAIL SHEET D4.
11. ALL ELECTRICAL UTILITIES WITHIN THE RESTROOM BUILDING SHALL BE PROVIDED AND PREWIRED TO PANELBOARD '1P1' BY THE RESTROOM MANUFACTURER.
12. LOCATE FAN CONTROLLER ON PAVILION SUPPORT STRUCTURE.
13. MOUNT CEILING FANS AND ROUTE CONDUIT IN PAVILION PER MANUFACTURER AND ARCHITECTURAL DETAILS. SEE NOTE #12 FOR FAN CIRCUITING AND CONTROLS.

GENERAL NOTES: (THIS DRAWING ONLY)

1. ALL WORK SHALL CONFORM TO THE ENFORCED 2008 NEC & ALL LOCAL CODES THAT APPLY.
2. ALL CONDUIT BELOW GRADE SHALL BE SCHEDULE 40 PVC AND RGS ABOVE GRADE.
3. ALL WIRING SHALL BE "RHW" 90°C.
4. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL UNDERGROUND CONDUIT AND FEEDERS IN CONDUIT FROM AMEREN POWER POLE TO NEW SERVICE PANEL '1P1'. THE ELECTRICAL CONTRACTOR SHALL STUB THE CONDUIT UP THE AMEREN POLE APPROX. 3' AND COIL UP APPROX. 30' OF CABLE AT THE POLE BASE FOR AMEREN TO RUN UP THE POLE AND TERMINATE ON THE POLE MOUNTED TRANSFORMER. AMEREN WILL PROVIDE THE CONDUIT UP THE POLE.
5. THE ELECTRICAL CONTRACTOR WILL PROVIDE AND INSTALL THE METER BASE. ALL WIRING THRU THE METER BASE TO THE NEW SERVICE PANEL. AMEREN WILL PROVIDE AND INSTALL THE METER.
6. ALL WORK SHALL CONFORM TO THE AMEREN U.E. REQUIREMENTS.
7. AMEREN U.E. CHARGES SHALL BE PAID FOR BY THE OWNER AND NOT INCLUDED IN THE BID.



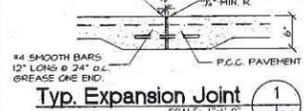
FIXTURE TYPE 'A' BASE DETAIL
SCALE: NONE



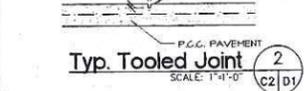
PANEL: 1P1															
CIRCUIT	TYPE	VOLTAGE	WIRING					MOUNTING					LOAD		
			W	C	R	H	L	M	N	C	M	W		C	M
1	120V 15A	120V													
2	120V 15A	120V													
3	120V 15A	120V													
4	120V 15A	120V													
5	120V 15A	120V													
6	120V 15A	120V													
7	120V 15A	120V													
8	120V 15A	120V													
9	120V 15A	120V													
10	120V 15A	120V													
11	120V 15A	120V													
12	120V 15A	120V													
13	120V 15A	120V													
14	120V 15A	120V													
15	120V 15A	120V													
16	120V 15A	120V													
17	120V 15A	120V													
18	120V 15A	120V													
19	120V 15A	120V													
20	120V 15A	120V													
21	120V 15A	120V													
22	120V 15A	120V													
23	120V 15A	120V													
24	120V 15A	120V													
25	120V 15A	120V													
26	120V 15A	120V													
27	120V 15A	120V													
28	120V 15A	120V													
29	120V 15A	120V													
30	120V 15A	120V													
31	120V 15A	120V													
32	120V 15A	120V													
33	120V 15A	120V													
34	120V 15A	120V													
35	120V 15A	120V													
36	120V 15A	120V													
37	120V 15A	120V													
38	120V 15A	120V													
39	120V 15A	120V													
40	120V 15A	120V													
41	120V 15A	120V													
42	120V 15A	120V													
43	120V 15A	120V													
44	120V 15A	120V													
45	120V 15A	120V													
46	120V 15A	120V													
47	120V 15A	120V													
48	120V 15A	120V													
49	120V 15A	120V													
50	120V 15A	120V													
51	120V 15A	120V													
52	120V 15A	120V													
53	120V 15A	120V													
54	120V 15A	120V													
55	120V 15A	120V													
56	120V 15A	120V													
57	120V 15A	120V													
58	120V 15A	120V													
59	120V 15A	120V													
60	120V 15A	120V													
61	120V 15A	120V													
62	120V 15A	120V													
63	120V 15A	120V													
64	120V 15A	120V													
65	120V 15A	120V													
66	120V 15A	120V													
67	120V 15A	120V													
68	120V 15A	120V													
69	120V 15A	120V													
70	120V 15A	120V													
71	120V 15A	120V													
72	120V 15A	120V													
73	120V 15A	120V													
74	120V 15A	120V													
75	120V 15A	120V													
76	120V 15A	120V													
77	120V 15A	120V													
78	120V 15A	120V													
79	120V 15A	120V													
80	120V 15A	120V													
81	120V 15A	120V													
82	120V 15A	120V													
83	120V 15A	120V													
84	120V 15A	120V													
85	120V 15A	120V													
86	120V 15A	120V													
87	120V 15A	120V													
88	120V 15A	120V													
89	120V 15A	120V													
90	120V 15A	120V													
91	120V 15A	120V													
92	120V 15A	120V													
93	120V 15A	120V													
94	120V 15A	120V													
95	120V 15A	120V													
96	120V 15A	120V													
97	120V 15A	120V													
98	120V 15A	120V													
99	120V 15A	120V													
100	120V 15A	120V													

LIGHTING FIXTURE SCHEDULE									
TYPE	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	MOUNTING	FIXTURE / LAMP DATA				VOLT	NOTES
				QUANTITY	WATTAGE	LAMP TYPE	BALLAST TYPE		
A	SITE LIGHTING	USA-800P115-LED							

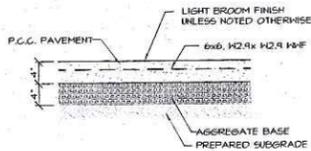
HOLD EXP. MAT. 5" BELOW FIN. CONC. SURFACE. SEAL ALL EXP. JOINTS W/ POLYURETHANE SELF-LEVELING SEALANT. ASTM C420, CLASS 25, USES T, M AND A; NR-200 WREKSPAN BY PECORA CORP. OR APPROVED EQUAL. COLOR - TO BE SELECTED BY OWNER.



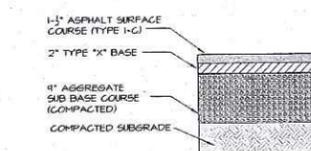
Typ. Expansion Joint (1) SCALE: 1"-1'-0" (C2/D1)



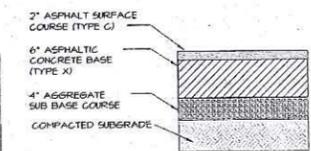
Typ. Tooled Joint (2) SCALE: 1"-1'-0" (C2/D1)



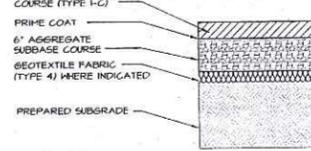
Typ. Concrete Pavement (3) SCALE: 1"-1'-0" (C2/D1)



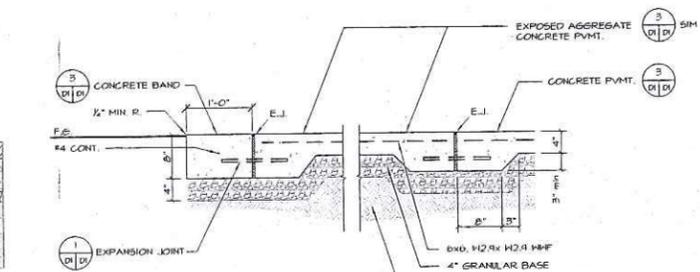
Asphalt Pavement (4) SCALE: 1"-1'-0" (C2/D1)



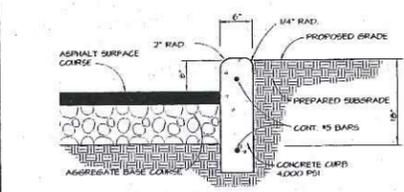
Entrance Pavement (5) (WITHIN R.O.W.) SCALE: 1"-1'-0" (C2/D1)



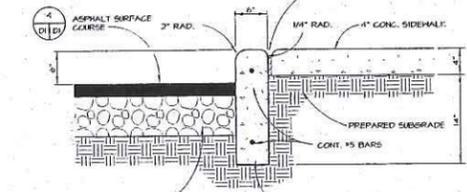
Asphalt Trail (6) SCALE: 1"-1'-0" (C2/D1)



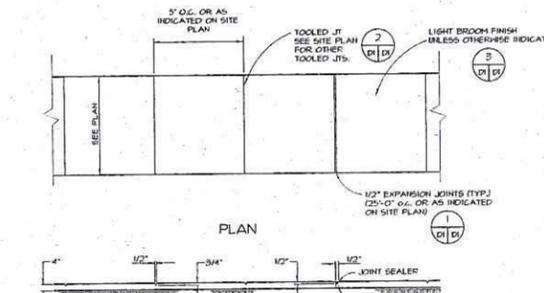
Exposed Agg. Concrete (7) SCALE: 1"-1'-0" (C2/D1)



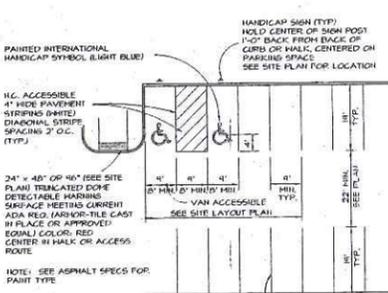
6 inch Vertical Concrete Curb (8) N.T.S. (C2/D1)



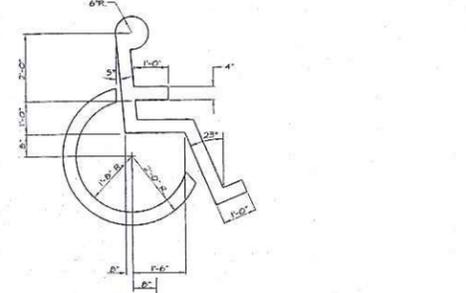
6 inch Vertical Concrete Curb With Sidewalk (9) N.T.S. (C2/D1)



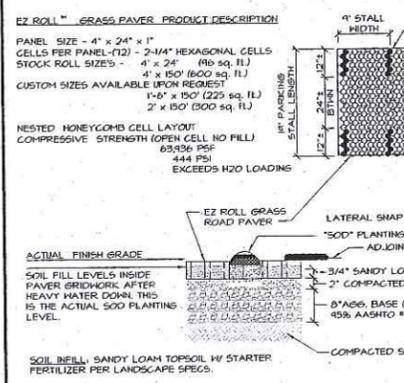
Concrete Sidewalk Detail (10) N.T.S. (C2/D1)



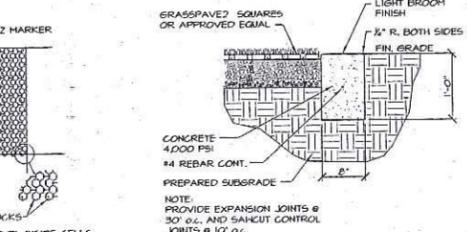
Typical Parking Detail (11) N.T.S. (C2/D1)



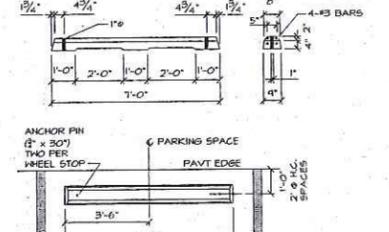
International Handicap Symbol (12) N.T.S. (C2/D1)



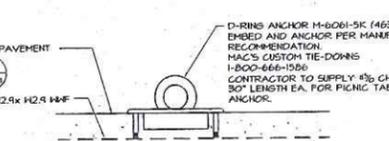
Grass Paver Unit (13) ADD ALT. #1 SCALE: 1"-1'-0" (C2/D1)



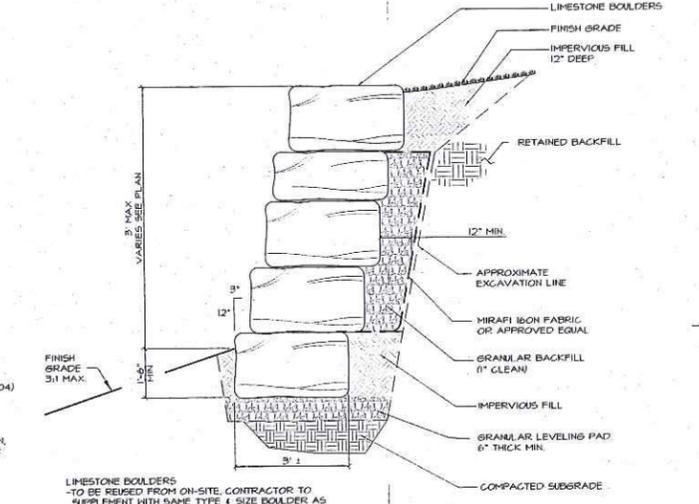
Flush Concrete Curb (14) ADD ALT. #1 SCALE: 1"-1'-0" (C2/D1)



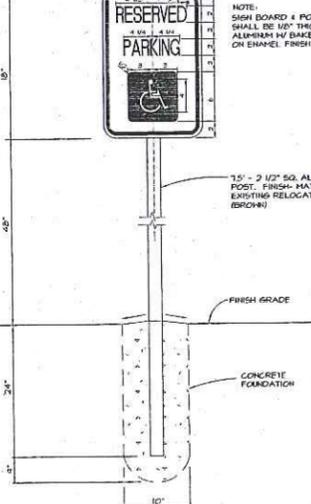
Typ. Conc Wheel Stops (15) SCALE: 3/8"-1'-0" (C2/D1)



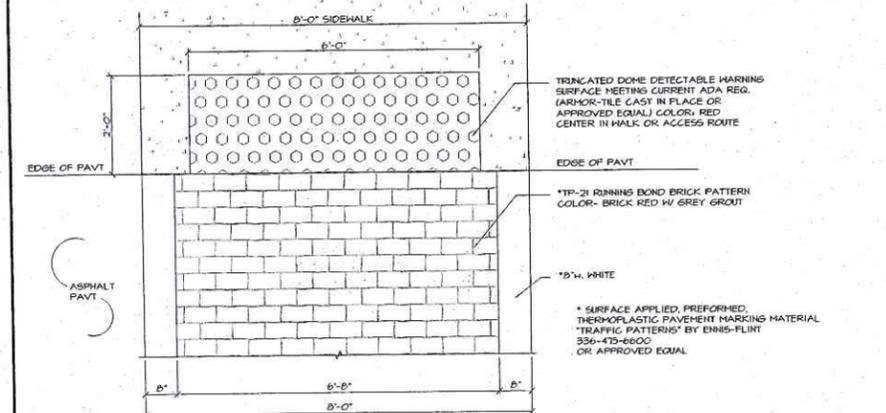
Picnic Table Anchor (16) SCALE: 3/4"-1'-0" (C2/D1)



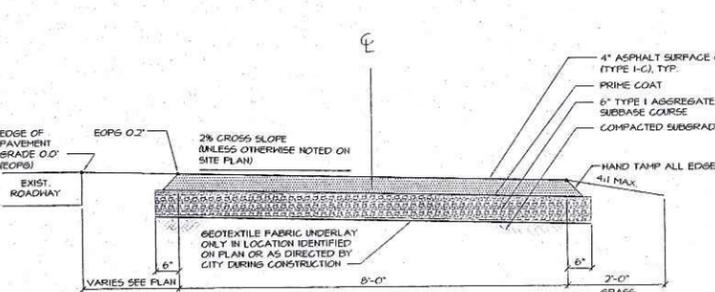
Typical Boulder Wall Section-Non Reinforced (17) 3' Max. Height SCALE: 1/2"-1'-0" (C2/D1)



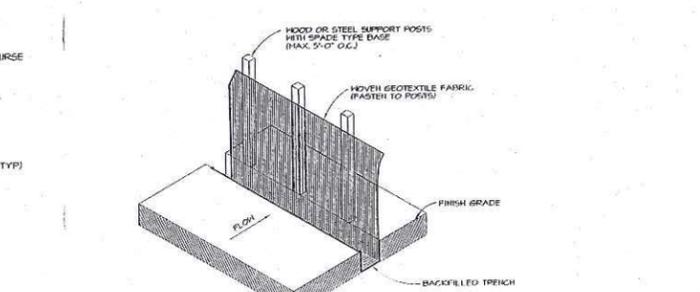
Handicap Sign Detail (18) N.T.S. (C2/D1)



Cross Walk Detail (19) SCALE: 3/4"-1'-0" (C2/D1)



Typ. Trail Pavt Cross Section (20) N.T.S. (C2/D1)



Siltation Control Device (21) N.T.S. (C2/D1)

LAND PLANNING
RECREATION PLANNING AND DESIGN
LANDSCAPE ARCHITECTURE

terraspec

5030 GRIFFIN ROAD
ST. LOUIS, MO 63128
(314) 994-8211 FAX (314) 843-1718

Al Foster Trailhead Park
Grand Ave & 3rd St.
Wildwood, Missouri

OWNER
City of Wildwood
16860 Main Street
Wildwood, MO
63040
Ph: 636-458-0440
Fax: (636) 458-6969

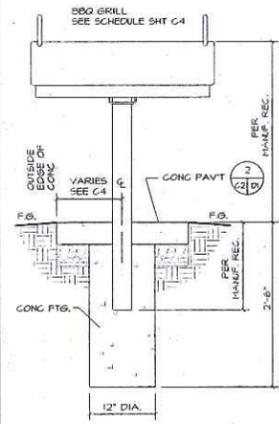
SHEET TITLE
Details

JOB NUMBER
10015

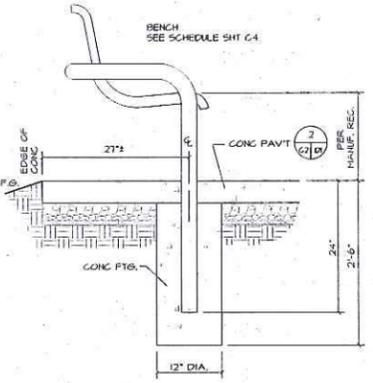
DATE DRAWN BY
02/08/16 DWD

REVISION

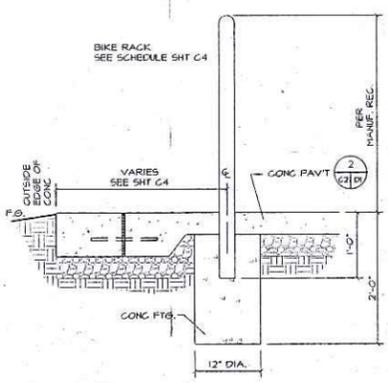
SHEET NUMBER
D1



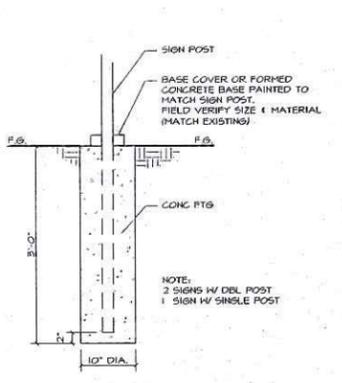
BBO Pit Ftg Detail 1
SCALE: 1" = 1'-0"
C4/D2



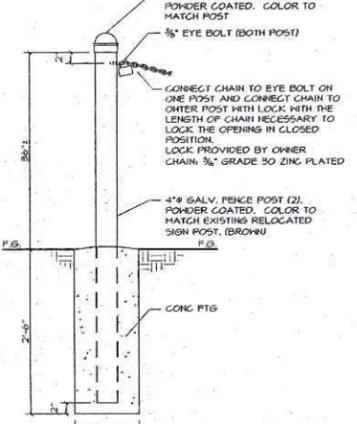
Bench Ftg Detail 2
SCALE: 1" = 1'-0"
C4/D2



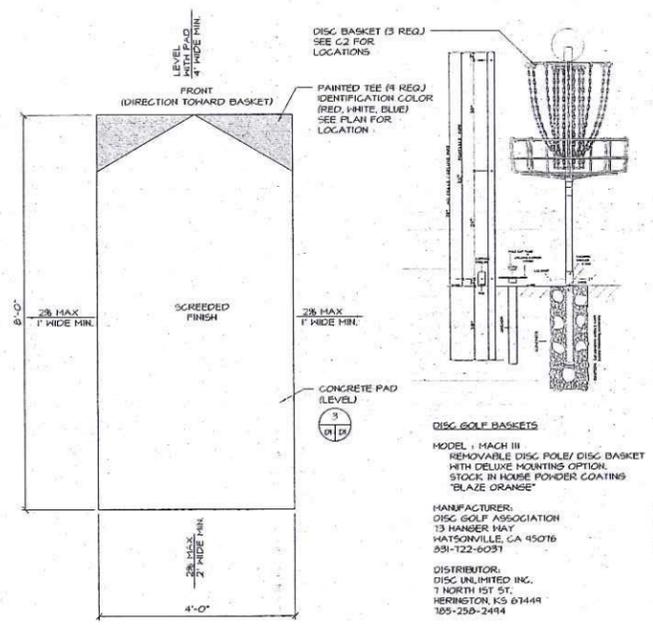
Bike Rack Ftg Detail 3
SCALE: 1" = 1'-0"
C4/D2



Relocated Sign Ftg Detail 4
SCALE: 1" = 1'-0"
C2/D2

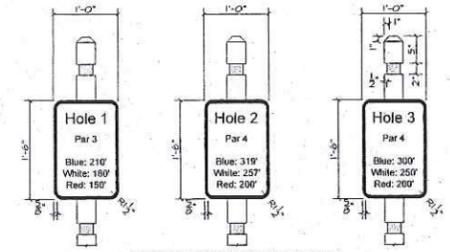


Access Control Gate Post Detail 5
SCALE: 1" = 1'-0"
ADD ALT. #1
C2/D2

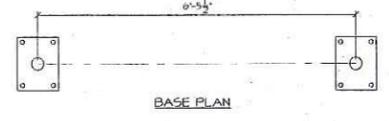


Disc Golf Tee 6
SCALE: 3/4" = 1'-0"
ADD ALT. #5
C2/D2

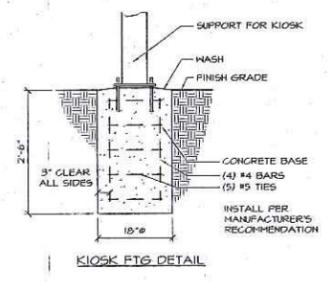
Disc Golf Basket 7
SCALE: 3/4" = 1'-0"
ADD ALT. #5
C2/D2



Disc Golf Tee + Rules Signs 8
SCALE: 1" = 1'-0"
C2/D1



BASE PLAN



KIOSK FTG DETAIL

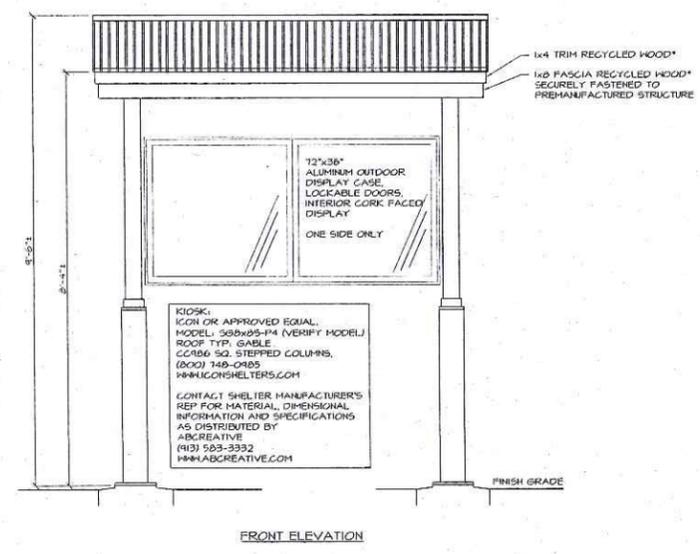
12"x18" STANDARD METAL SIGN PANELS
0.020" THICK, ALUMINUM HIGH INTENSITY PRISMATIC. INSTALLATION HARDWARE TO BE STAINLESS STEEL.

3/8" DIA. MOUNTING HOLES (2 REQUIRED)

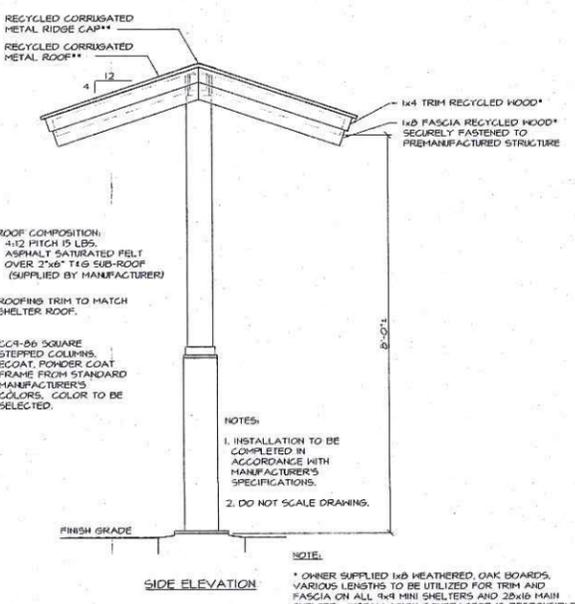
NOTE:
- COORDINATE LETTER SIZE AND STYLE WITH SIGN MANUFACTURER.
- VERIFY TEE TO HOLE DISTANCE.
- SIGNS TO BE FIELD LOCATED BY I.A.

COLORS:
TEXT # - BLACK
HOLE # - BLACK
PAR # - BLACK
BLUE: xxx - BLUE
WHITE: xxx - WHITE
RED: xxx - RED

BACKGROUND - YELLOW
SIGN BACK - NO COLOR



FRONT ELEVATION



SIDE ELEVATION

KIOSK, KIOSK OR APPROVED EQUAL, MODEL: 36x36x36-P4 (VERIFY MODEL) ROOF TYP. GABLE CORNER 50\"/>

CONTACT SHELTER MANUFACTURER'S REP FOR MATERIAL, DIMENSIONAL INFORMATION AND SPECIFICATIONS AS DISTRIBUTED BY ABCREATIVE (813) 503-3332 WWW.ABCREATIVE.COM

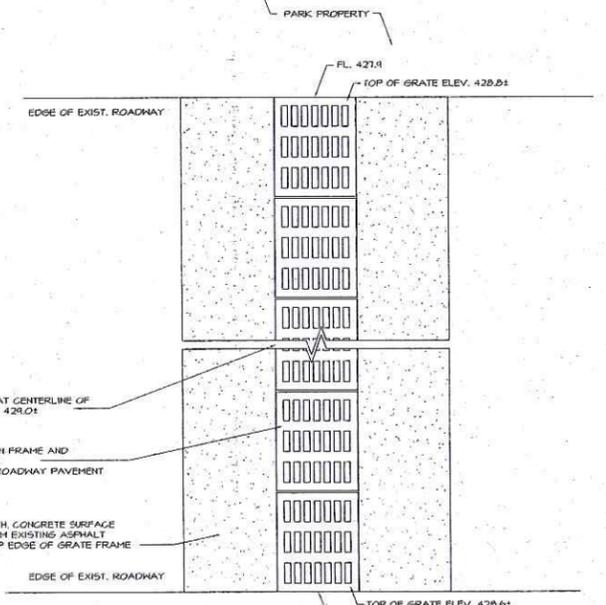
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.

* OWNER SUPPLIED 1x6 WEATHERED OAK BOARDS. VARIOUS LENGTHS TO BE UTILIZED FOR TRIM AND FASCIA ON ALL 1x4 MINI SHELTERS AND 28x48 MAIN SHELTER. INSTALLATION CONTRACTOR IS RESPONSIBLE FOR RIPPING MATERIAL TO SIZES INDICATED.

** PRE-MANUFACTURED STRUCTURE TO BE SUPPLIED WITHOUT ROOF SURFACE MATERIAL. INSTALLATION CONTRACTOR TO UTILIZE OWNER SUPPLIED CORRUGATED METAL SURFACE. INSTALL PER SAME DETAILS & PROCEDURES AS REQUIRED BY MANUFACTURER SUPPLIED ROOFING SPECIFIED FOR MAIN SHELTER AND RESTROOM BUILDING.

Information Board 9
SCALE: 3/4" = 1'-0"
ADD ALT. #3
C2/D2

Disc Golf Sign/ Post 10
SCALE: 3/4" = 1'-0"
C2/D2



Grated Drainage Trough Detail 11
SCALE: 3/4" = 1'-0"
ADD ALT. #6
C2/D2

LAND PLANNING
RECREATION PLANNING AND DESIGN
LANDSCAPE ARCHITECTURE
5030 GRIFFIN ROAD
ST. LOUIS, MO 63128
(314) 984-8211 FAX (314) 843-1718

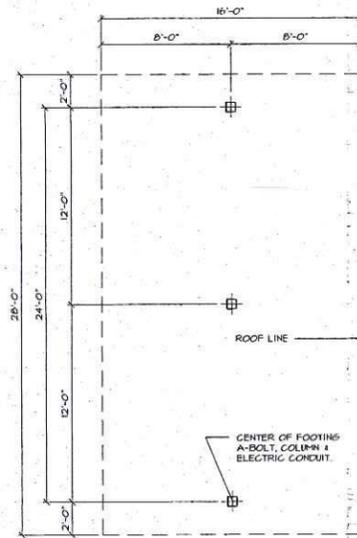


Al Foster Trailhead Park
Grand Ave & 3rd St.
Wildwood, Missouri

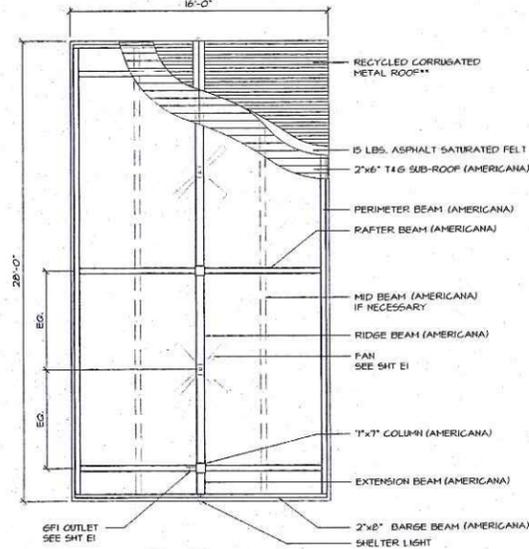
OWNER
City of Wildwood
16860 Main Street
Wildwood, MO 63040
Ph: 636-458-0440
Fax: (636) 458-6969

SHEET TITLE
Details
JOB NUMBER
10015
DATE
02/08/16
DRAWN BY
DWD
REVISION

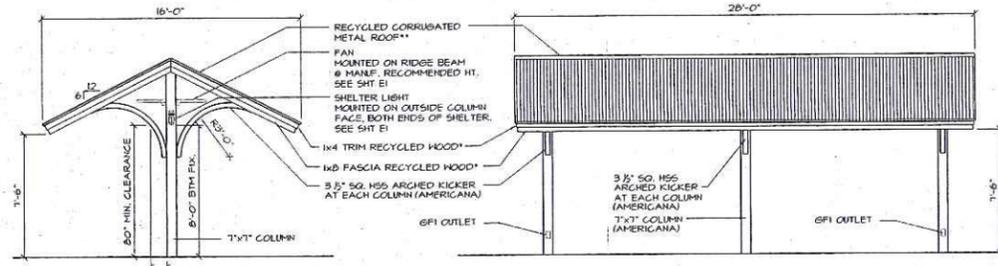
SHEET NUMBER
D2



Layout Plan
SCALE: 1/4" = 1'-0"



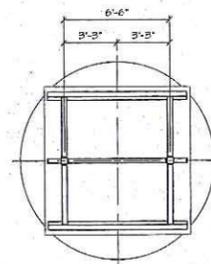
Plan View
SCALE: 1/4" = 1'-0"



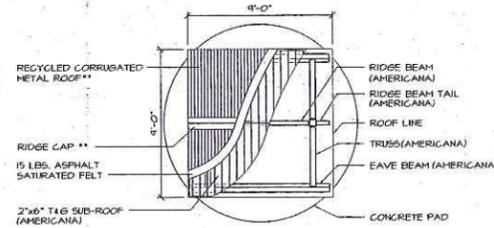
End Elevation
SCALE: 1/4" = 1'-0"

Side Elevation
SCALE: 1/4" = 1'-0"

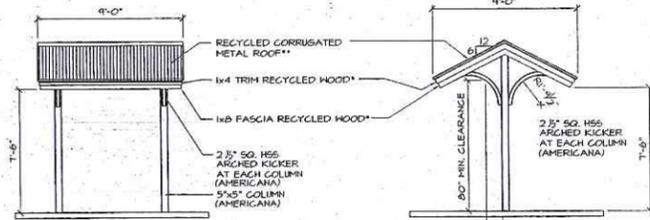
* OWNER SUPPLIED 1x6 WEATHERED, OAK BOARDS, VARIOUS LENGTHS TO BE UTILIZED FOR TRIM AND FASCIA ON ALL 6'x4 MINI SHELTERS AND 28'x16' MAIN SHELTER. INSTALLATION CONTRACTOR IS RESPONSIBLE FOR RIPPING MATERIAL TO SIZES INDICATED.
** OWNER SUPPLIED 2'x10' WEATHERED, CORRUGATED METAL PANELS TO BE UTILIZED FOR ROOFING ON ALL 6'x4 MINI SHELTERS AND 28'x16' MAIN SHELTER. INSTALLATION CONTRACTOR IS RESPONSIBLE FOR RIPPING MATERIAL TO SIZES INDICATED.



Layout Plan
SCALE: 1/4" = 1'-0"



Plan View
SCALE: 1/4" = 1'-0"



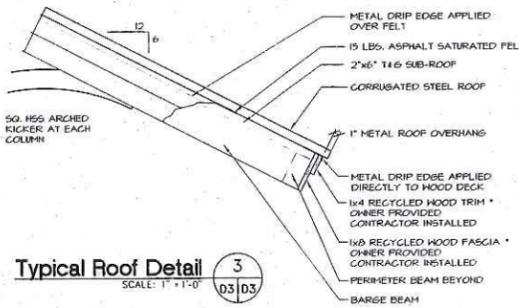
Side Elevation
SCALE: 1/4" = 1'-0"

End Elevation
SCALE: 1/4" = 1'-0"

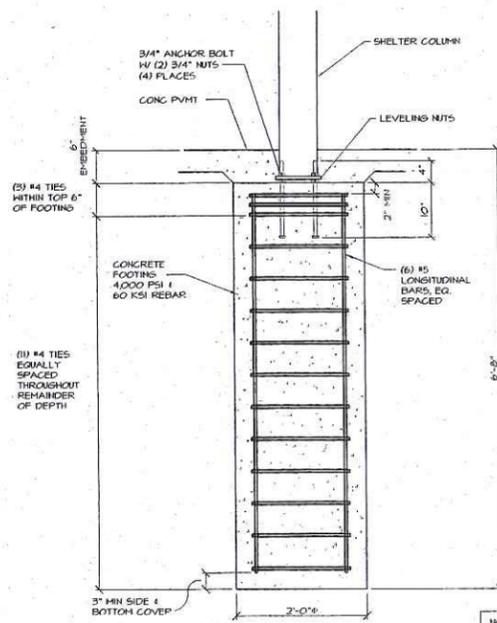
* OWNER SUPPLIED 1x6 WEATHERED, OAK BOARDS, VARIOUS LENGTHS TO BE UTILIZED FOR TRIM AND FASCIA ON ALL 6'x4 MINI SHELTERS AND 28'x16' MAIN SHELTER. INSTALLATION CONTRACTOR IS RESPONSIBLE FOR RIPPING MATERIAL TO SIZES INDICATED.
** OWNER SUPPLIED 2'x10' WEATHERED, CORRUGATED METAL PANELS TO BE UTILIZED FOR ROOFING ON ALL 6'x4 MINI SHELTERS AND 28'x16' MAIN SHELTER. INSTALLATION CONTRACTOR IS RESPONSIBLE FOR RIPPING MATERIAL TO SIZES INDICATED.

9'x9' Mini Shelter
SCALE: 1/4" = 1'-0"

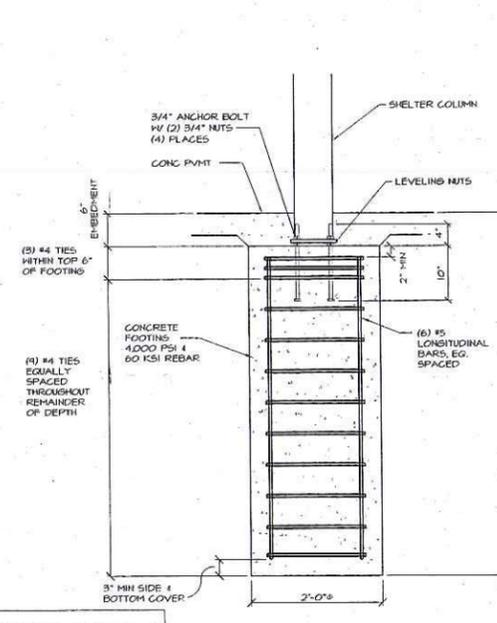
28'x16' Main Shelter
SCALE: 1/4" = 1'-0"



Typical Roof Detail
SCALE: 1" = 1'-0"



28'x16' Shelter
Column Base-Plate / Footing Detail
SCALE: 1" = 1'-0"



9'x9' Shelter
Column Base-Plate / Footing Detail
SCALE: 1" = 1'-0"

NOTE: SOILS NEED TO BE VERIFIED AND CAPABLE OF HANDLING 2,000 PSF AND HAVE ALLOWABLE LATERAL PASSIVE SOIL RESISTANCE OF 40 PSF/FT.

LAND PLANNING
RECREATION PLANNING AND DESIGN
LANDSCAPE ARCHITECTURE
5030 GRIFFIN ROAD
ST. LOUIS, MO 63128
(314)984-8211 FAX(314)843-1718



Al Foster Park
Trailhead Park
Grand Ave & 3rd St.
Wildwood, Missouri

OWNER
City of Wildwood
16860 Main Street
Wildwood, MO
63040
Ph: 636-458-0440
Fax: (636) 458-6969

SHEET TITLE
Shelter
Details

JOB NUMBER
10015
DATE
02/08/16
DRAWN BY
DWD
REVISION

SHEET NUMBER
D3

- GENERAL NOTES**
1. SHELTER DESIGN
 - A. THIS SHELTER HAS BEEN DESIGNED AS AN OPEN STRUCTURE. THE ADDITION OF ANY ENCLOSURE SUCH AS WALLS, INSECT MESH, OR SHADE SCREENS SHALL BE PROHIBITED AS INCREASED WIND FORCES MAY RESULT.
 2. FOUNDATION
 - A. THE FOUNDATION SHALL REST ON SOUND SOIL THAT IS FREE OF ORGANIC AND DELETERIOUS MATERIALS AND CAPABLE OF SUPPORTING 1000 PSF VERTICAL BEARING PRESSURE.
 - B. FOUNDATION DESIGN SHOWN IS A RECOMMENDATION ONLY. OWNER SHALL VERIFY ACTUAL SOIL CONDITIONS AT EACH JOB SITE AND ANY REQUIRED ADJUSTMENTS TO THE FOOTING DESIGN SHALL BE DESIGNED BY OTHERS.
 3. CONCRETE
 - A. COMPRESSION STRENGTH OF ALL REINFORCED CONCRETE SHALL NOT BE LESS THAN 2500 PSI AT 28 DAYS.
 - B. REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO THE REQUIREMENTS OF MINIMUM ASTM A615 GRADE 40 FOR #4 AND SMALLER BARS AND GRADE 60 FOR BARS LARGER THAN #4.
 - C. MINIMUM CONCRETE CLEAR COVER FOR REINFORCING BARS SHALL BE 2", UNLESS NOTED OTHERWISE.
 - D. ANCHOR RODS SHALL BE #11SSA GRADE 36 ROD, HEADED, OR WITH HEAVY HEX NUT TACKED TO ROD.
 4. STRUCTURAL STEEL
 - A. STEEL PLATE SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36.
 - B. HOLLOW STRUCTURAL SECTIONS (HSS) SHALL CONFORM TO THE REQUIREMENTS OF ASTM A588, GRADE B.
 - C. WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WELDING SOCIETY'S SPECIFICATION FOR THE MATERIAL BEING WELDED.
 - D. WELDING ELECTRODES SHALL BE E70XX.
 - E. STRUCTURAL STEEL COMPONENTS SHALL BE COATED WITH ANTI-GRAFFITI POLYESTER TGIC POWDER COAT FINISH MEETING AAMA 2604-02 SPECIFICATION.
 5. ROOF DECK
 - A. ROOF DECK SHALL BE TONGUE AND GROOVE WOOD, SOUTHERN YELLOW PINE OR WESTERN RED CEDAR #1 GRADE OR BETTER, KILN DRIED 2x6 NOMINAL DIMENSION.
 - B. TONGUE AND GROOVE DECK SHALL BE COVERED BY HOOPING MATERIALS BY OTHERS AS NOTED ON THE DRAWING.
 6. FASTENERS
 - A. HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A325 OR A307 (SEE DETAILS).
 - B. HIGH STRENGTH BOLTS SHALL BE HOT DIP GALVANIZED.
 - C. ALL BOLTS SHALL BE TIGHTENED TO A SNUG-TIGHT CONDITION AS DEFINED IN THE 2004 RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCSC) SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A307 BOLTS.
 7. SHOP FABRICATION AND FIELD ASSEMBLY
 - A. ALL STRUCTURAL STEEL COMPONENTS SHALL BE SHOP FABRICATED SO THAT FIELD ASSEMBLY OF CONNECTIONS CAN BE PERFORMED USING ONLY BOLTING AND SCREW PLACEMENT.
 - B. ALL SHOP WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS.
 - C. ALL SHOP WELDS SHALL BE IN STRICT ACCORDANCE WITH THE STRUCTURAL WELDING CODE AWS D1.1 OF THE AMERICAN WELDING SOCIETY SPECIFICATIONS. ALL STRUCTURAL WELDS SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF "FIRE QUALIFIED" WELDED JOINTS USING ASTM A325 OR A307 BOLTS.
 - D. FIELD WELDING SHALL NOT BE REQUIRED.

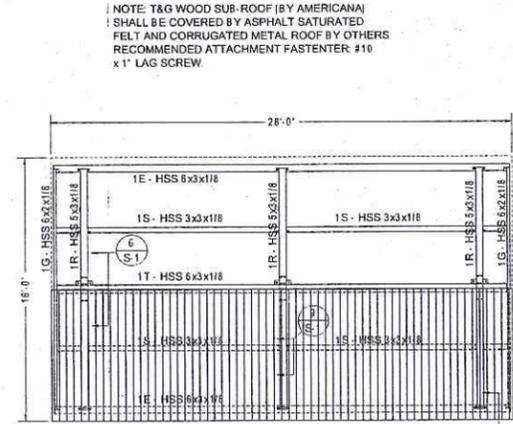
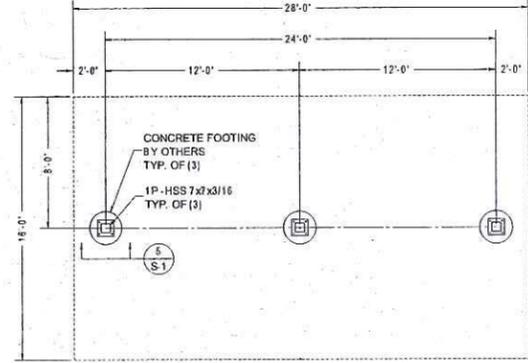
BASIS OF DESIGN

DESIGN PARAMETERS	
ROOF LIVE LOAD	20 PSF
GROUND SNOW LOAD	20 PSF
DESIGN ROOF DEAD LOAD	5 PSF
WIND CRITERIA / EXPOSURE C	99 MPH
SOIL DESIGN BEARING STRENGTH	1000 PSF
CODES	2009 IBC ASCE 7-05

BUILDING DATA	
OCCUPANCY CLASSIFICATION	A-3 (NONSEPARATE USE)
CONSTRUCTION TYPE	TYPE II-B
FLOOR AREA	448 SQ. FT.
OCCUPANCY LOAD	7 SQ. FT. / OCCUPANT = #4 OCCUPANTS / SHELTER

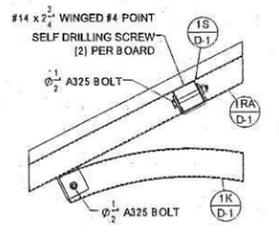
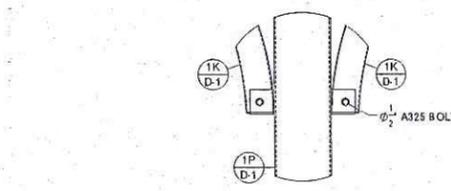
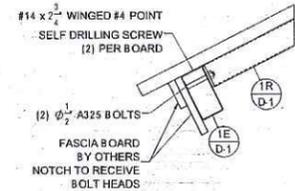
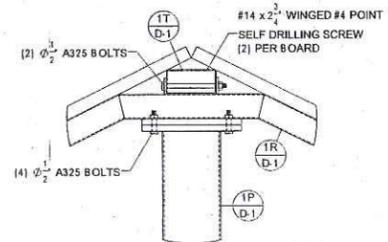
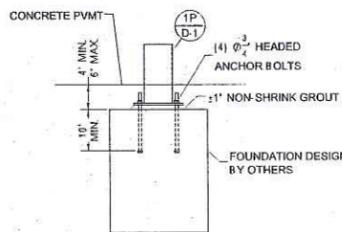
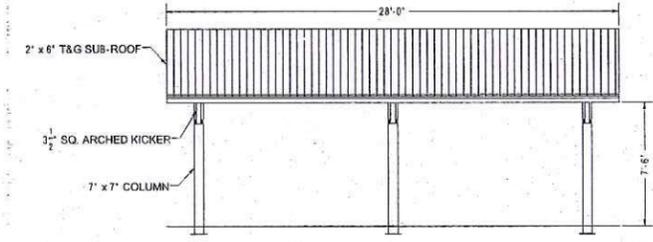
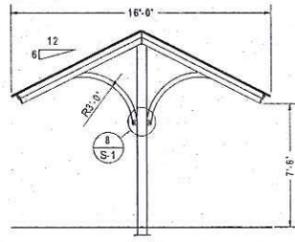
DESIGN CRITERIA

WIND DESIGN CRITERIA	99 MPH
BASIC WIND SPEED	99 MPH
WIND IMPORTANCE FACTOR	I _w = 1.0
OCCUPANCY CATEGORY	II
WIND EXPOSURE	C
INTERNAL PRESSURE COEFFICIENT	KA (OPEN STRUCTURE)
DESIGN WIND PRESSURE COMPONENTS & CLADDING	SEE CALC.
SEISMIC DESIGN CRITERIA	
SEISMIC IMPORTANCE FACTOR	I _s = 1.0
OCCUPANCY CATEGORY	II
SPECTRAL RESPONSE ACCELERATION, 0.2 SECOND	S _s = 0.505
SPECTRAL RESPONSE ACCELERATION, 1.0 SECOND	S ₁ = 0.155
SITE CLASS	D (ASSUMED)
SPECTRAL RESPONSE COEFFICIENT, R _{ms}	0.416
SPECTRAL RESPONSE COEFFICIENT, R _s	0.225
SEISMIC DESIGN CATEGORY	D
BASIC SEISMIC FORCE RESISTING SYSTEM	CANTILEVERED COLUMN SYSTEM
DESIGN BASE SHEAR	V = C _v W
RESPONSE MODIFICATION FACTOR	R = 1.25
ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE



NOTE: T&G WOOD SUB-ROOF (BY AMERICANA) SHALL BE COVERED BY ASPHALT SATURATED FELT AND CORRUGATED METAL ROOF BY OTHERS. RECOMMENDED ATTACHMENT FASTENER: #10 x 1" LAG SCREW.

NOT FOR CONSTRUCTION
THIS DRAWING FOR ESTIMATING PURPOSES ONLY



AMERICANA BUILDING PRODUCTS
#2 INDUSTRIAL DRIVE · SALEM, IL 62881
(800) 851-0865 · www.americana.com

PRELIMINARY
THIS DRAWING IS FOR
ESTIMATING USE ONLY.
NOT FOR CONSTRUCTION USE.

16'-0" x 28'-0"
CHEROKEE SHELTER
WILDWOOD, MO 63038

DRAWN BY	AY
CHECKED BY	
SCALE	SEE DETAILS
DATE	12/31/2015
REVISION DATE	12/18/2015
P.O. NO.	
JOB NO.	
DRAWING NO.	
SHEET	S-1
OF 1 SHEETS	

LAND PLANNING
RECREATION PLANNING AND DESIGN
LANDSCAPE ARCHITECTURE
5030 GRIFFIN ROAD
ST. LOUIS, MO 63128
(314) 984-8211 FAX (314) 843-1718



Al Foster
Trailhead Park
Grand Ave & 3rd St.
Wildwood, Missouri

OWNER
City of Wildwood
16860 Main Street
Wildwood, MO
63040
Ph: 636-458-0440
Fax: (636) 458-6969

SHEET TITLE
16x28
Shelter

JOB NUMBER
10015
DATE DRAWN BY
02/08/16 DWD
REVISION

SHEET NUMBER
D3A

PART 1 - GENERAL

SUMMARY

THIS SECTION INCLUDES PROVISIONS FOR THE FOLLOWING ITEMS:

- TREES
- SHRUBS
- GROUND COVER
- LAWN PREPARATIONS
- SOIL AMENDMENTS
- INITIAL MAINTENANCE OF LANDSCAPE MATERIALS

QUALITY ASSURANCE

SUBCONTRACT LANDSCAPE WORK TO A SINGLE FIRM SPECIALIZING IN LANDSCAPE WORK.

SOURCE QUALITY CONTROL

GENERAL: SUP LANDSCAPE MATERIALS WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNING AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS.

DO NOT MAKE SUBSTITUTIONS, IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL, FOR USE OF EQUIVALENT MATERIAL.

ANALYSIS AND STANDARDS: PACKAGE STANDARD PRODUCTS WITH MANUFACTURER'S CERTIFIED ANALYSIS FOR OTHER MATERIALS. PROVIDE ANALYSIS BY RECOGNIZED LABORATORY MADE IN ACCORDANCE WITH METHODS ESTABLISHED BY THE ASSOCIATION OF OFFICIAL AGRICULTURE CHEMISTS, WHEREVER APPLICABLE.

TREES, SHRUBS AND PLANTS: PROVIDE TREES, SHRUBS, AND PLANTS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK, AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z601 "AMERICAN STANDARD FOR NURSERY STOCK", PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT.

LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE IDENTIFICATION OF BOTANICAL AND COMMON NAME.

WHERE FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS ARE SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND LABEL WITH NUMBER TO ASSURE SYMMETRY IN PLANTING.

INSPECTION: THE LANDSCAPE ARCHITECT MAY INSPECT TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. ARCHITECT RETAINS RIGHT TO FURTHER INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL, AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.

INSTALLATION

PLANT AND MATERIAL CERTIFICATIONS

CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES.

MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR SOIL AMENDMENTS AND FERTILIZER MATERIALS.

LABEL DATA SUBSTANTIATING THAT PLANTS, TREES, SHRUBS AND PLANTING MATERIALS COMPLY WITH SPECIFIED REQUIREMENTS.

SEED VENDOR'S CERTIFIED STATEMENT FOR EACH GRASS SEED MIXTURE REQUIRED, STATING BOTANICAL AND COMMON NAME, PERCENTAGES BY WEIGHT, AND PERCENTAGE OF PURITY, GERMINATION, AND VIBRANT SEED FOR EACH GRASS SEED SPECIES.

DELIVERY, STORAGE AND HANDLING

PACKAGED MATERIALS: DELIVER PACKAGED MATERIALS IN CONTAINERS SHOWING HEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETEIORATION DURING DELIVERY, AND WHILE STORED AT SITE.

SOD: TIME DELIVERY SO THAT SOD WILL BE PLACED WITHIN 24 HOURS AFTER STRIPPING. PROTECT SOD AGAINST DRYING AND BREAKING OF ROLLED STRIPS.

TREES AND SHRUBS: PROVIDE FRESHLY DIGG TREES AND SHRUBS DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT. DO NOT BEND OR BIND TREES OR SHRUBS IN SUCH MANNER AS TO DAMAGE BARK, BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING DELIVERY. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY.

DELIVER TREES AND SHRUBS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME.

JOB CONDITIONS

UTILITIES: DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE, AS REQUIRED, MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.

EXCAVATION: WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, NOTIFY LANDSCAPE ARCHITECT BEFORE PLANTING.

SEQUENCING AND SCHEDULING

PLANTING TIME: PROCEED WITH AND COMPLETE LANDSCAPE WORK AS RAPIDLY AS PORTIONS OF SITE BECOME AVAILABLE. WORKING WITHIN SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED.

PLANT OR INSTALL MATERIALS DURING NORMAL PLANTING SEASONS FOR EACH TYPE OF PLANT MATERIAL REQUIRED.

SPECIAL PROJECT WARRANTY

WARRANTY TREES AND SHRUBS: FOR A PERIOD OF ONE YEAR AFTER DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND LANDSCAPE INSTALLER'S CONTROL.

REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNSATISFACTORY CONDITION DURING WARRANTY PERIOD. MAKE REPLACEMENTS DURING GROWTH SEASON FOLLOWING END OF WARRANTY PERIOD. REPLACE TREES AND SHRUBS WHICH ARE IN DUBIOUS CONDITION AT END OF WARRANTY PERIOD, UNLESS, IN OPINION OF LANDSCAPE ARCHITECT, IT IS ADVISABLE TO EXTEND WARRANTY PERIOD FOR A FULL GROWING SEASON.

ANOTHER WARRANTY INSPECTION WILL BE CONDUCTED AT END OF EXTENDED WARRANTY PERIOD. IF ANY, TO DETERMINE ACCEPTANCE OR REJECTION. ONLY ONE REPLACEMENT (PER TREE, SHRUB OR PLANT) WILL BE REQUIRED AT END OF WARRANTY PERIOD, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH SPECIFIED REQUIREMENTS.

PART 2 - PRODUCTS TOPSOIL

PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL, AND REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STEMS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.

OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY WELL-DRAINING SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES. DO NOT OBTAIN FROM BOGGS OR MARSHES.

SOIL AMENDMENTS

PEAT HAMS: FINELY DIVIDED PEAT, SO COMPLETELY DECOMPOSED AND FREE OF FIBERS THAT ARTS BIOLOGICAL IDENTITY IS LOST. PROVIDE IN GRANULAR FORM, FREE OF HAND LUMPS AND WITH A RANGE SUITABLE FOR INTENDED USE.

HANURE: WELL ROTTED, UNDECACHED STABLE OR CATTLE HANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW SANDWIST OR OTHER BEDDING MATERIALS AND CONTAINING NO CHEMICALS OR INGREDIENTS HARMFUL TO PLANTS.

MULCH: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS AND CONSISTING OF SHREDDED HARDWOOD.

COMMERCIAL FERTILIZER: COMPLETE FERTILIZER OF NEUTRAL CHARACTER, WITH SOME ELEMENTS DERIVED FROM ORGANIC SOURCES AND CONTAINING FOLLOWING PERCENTAGES OF AVAILABLE PLANT NUTRIENTS:

FOR TREES AND SHRUBS: PROVIDE FERTILIZER WITH NOT LESS THAN 20 PERCENT (20%) TOTAL NITROGEN, 10 PERCENT (10%) AVAILABLE PHOSPHORIC ACID AND 5 PERCENT (5%) SOLUBLE POTASH. THIS FERTILIZER SHALL BE PROVIDED IN SLOW RELEASE TABLET FORM.

FOR SODDED LAWNS: AFTER INSTALLATION OF SOD, PROVIDE FERTILIZER WITH NOT LESS THAN 10% PERCENT (10%) AVAILABLE NITROGEN AND NOT LESS THAN SIX PERCENT (6%) PHOSPHORIC ACID AND NOT LESS THAN FOUR PERCENT (4%) POTASH. IRRIGATE AFTER APPLICATION.

FOR SOIL PREPARATION OF ALL LAWN AREAS, PROVIDE STARTER FERTILIZER 10-24-0.

PLANT MATERIALS

QUALITY: TREES, SHRUBS, AND OTHER PLANTS OF SIZE, GENUS, SPECIES, AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK, AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z601 "AMERICAN STANDARD FOR NURSERY STOCK".

DECIDUOUS TREES: PROVIDE TREES OF HEIGHT AND CALIPER SCHEDULED OR SHOWN AND DECIDUOUS TREES. PROVIDE TREES OF HEIGHT AND CALIPER SCHEDULED OR SHOWN AND DECIDUOUS TREES. PROVIDE TREES OF HEIGHT AND CALIPER SCHEDULED OR SHOWN AND DECIDUOUS TREES. PROVIDE TREES OF HEIGHT AND CALIPER SCHEDULED OR SHOWN AND DECIDUOUS TREES.

PROVIDE BALLED AND BURLAPPED (B&B) DECIDUOUS TREES. CONTAINER GROWN DECIDUOUS TREES SHALL BE ACCEPTABLE IN LIEU OF BALLED AND BURLAPPED DECIDUOUS TREES SUBJECT TO SPECIFIED LIMITATIONS OF ANSI Z601 FOR CONTAINER STOCK.

DECIDUOUS SHRUBS: PROVIDE SHRUBS OF THE HEIGHT SHOWN OR LISTED AND WITH NOT LESS THAN MINIMUM NUMBER OF CANES REQUIRED BY ANSI Z601 FOR TYPE AND HEIGHT OF SHRUB REQUIRED.

PROVIDE BALLED AND BURLAPPED (B&B) DECIDUOUS SHRUBS. CONTAINER GROWN DECIDUOUS SHRUBS WILL BE ACCEPTABLE IN LIEU OF BALLED AND BURLAPPED DECIDUOUS SHRUBS SUBJECT TO SPECIFIED LIMITATIONS FOR CONTAINER GROWN STOCK.

CONIFEROUS AND BROADLEAFED EVERGREENS: PROVIDE EVERGREENS OF SIZES SHOWN OR LISTED. DIMENSIONS INDICATE MINIMUM SPREAD FOR SPREADING AND SEMI-SPREADING TYPE EVERGREENS AND HEIGHT FOR OTHER TYPES, SUCH AS GLOBE ARBORVITAE, CORE PIRAMIDAL, ORCAD SPRUCE, AND COLUMBIAR. PROVIDE NORMAL QUALITY EVERGREENS WITH WELL BALANCED FORM, COMPLYING WITH REQUIREMENTS FOR OTHER SIZE RELATIONSHIPS TO THE PRIMARY DIMENSION SHOWN.

PROVIDE BALLED AND BURLAPPED (B&B) EVERGREENS. CONTAINER GROWN EVERGREENS WILL BE ACCEPTABLE, SUBJECT TO SPECIFIED LIMITATIONS FOR CONTAINER GROWN STOCK.

PLANT MULCH BACKFILL: PLANT MIX SHALL BE USED TO BACKFILL AROUND ALL TREE/SHRUB PLANTINGS AND IN ALL PLANTERS, AS INDICATED ON THE DRAWINGS.

GRASS MATERIALS

GRASS SEED: PROVIDE FRESH, CLEAN, NON-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES AND PROPORTIONS AS INDICATED BELOW. SEED SHALL NOT EXCEED ONE (1) PERCENT WEED CONTACT.

30-50% ANNUAL RYEGRASS
10-20% K-31 TALL FESCUE
OR SIMILAR "CONTRACTOR'S" SEED MIX

GROUND COVER

PROVIDE PLANTS ESTABLISHED AND WELL ROOTED IN REMOVABLE CONTAINERS OR INTEGRAL PEAT POTS AND WITH NOT LESS THAN MINIMUM NUMBER AND LENGTH OF BANNERS REQUIRED BY ANSI Z601 FOR THE POT SIZE SHOWN OR LISTED.

MISCELLANEOUS LANDSCAPE MATERIALS

ANTI-EROSION MULCH: PROVIDE CLEAN, SEED-FREE SALT HAT OR THRESHED STRAW OF PEAT, RYE, OATS, OR BARLEY.

ANTI-DESICCANT: EMULSION TYPE, FILM-FORMING AGENT DESIGNED TO PERMIT TRANSPIRATION BUT RETARD EXCESSIVE LOSS OF MOISTURE FROM PLANTS. DELIVER IN MANUFACTURER'S FULLY IDENTIFIED CONTAINERS AND MIX IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

FILTRATION/SEPARATION FABRIC: WATER PERMEABLE FILTRATION FABRIC OF POLYPROPYLENE FABRIC OR AS NOTED ON DRAWINGS.

PART 3 - EXECUTION

INSTALLATION

PROCEED WITH AND COMPLETE THE LANDSCAPE WORK AS RAPIDLY AS PORTIONS OF THE SITE BECOME AVAILABLE, WORKING WITHIN SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED.

COORDINATE WITH ANY OTHER CONTRACTORS AND TRADES WHICH MAY BE WORKING IN ANY ADJACENT TO THE LANDSCAPE WORK AREAS. EXAMINE DRAWINGS WHICH SHOW THE DEVELOPMENT OF THE ENTIRE SITE AND BECOME FAMILIAR WITH THE SCOPE OF ALL WORK REQUIRED.

EXCAVATION FOR PLANTING

WHERE RUBBLE FILL IS ENCOUNTERED, PREPARE PLANTING PITS PROPERLY BY REMOVAL OF RUBBLE OR OTHER ACCEPTABLE MATERIALS.

OBSTRUCTIONS IN SOIL, UNDERGROUND CONSTRUCTION WORK, OR OTHER OBSTRUCTIONS ARE ENCOUNTERED IN EXCAVATION FOR PLANTING OF TREES OR SHRUBS, NOTIFY THE LANDSCAPE ARCHITECT. NEW LOCATIONS MAY BE SELECTED BY THE LANDSCAPE ARCHITECT.

DRAINAGE: IF SUBSOIL CONDITIONS INDICATE THE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE INDICATING PRESENCE OF OTHER VEGETATION COMPLETELY INCLUDING ROOTS) PRIOR TO SOIL PREPARATION.

SOIL PREPARATION

LAWN PREPARATION TO AREAS WHICH WILL BE PLANTED IN THE IMMEDIATE FUTURE AND TO AREAS WHERE MAIN AND LATERAL IRRIGATION LINES HAVE BEEN INSTALLED.

IMMEDIATELY PRIOR TO APPLICATION OF THE REQUIRED AMENDMENTS, THE AREA SHALL BE THOROUGHLY RIPPED, DISKED, OR CULTIVATED TO A DEPTH OF SIX INCHES (6").

PREPARE SOIL FOR LAWN AS FOLLOWS: THE HANURE SHALL BE APPLIED UNIFORMLY TO ALL LAWN AREAS AT THE RATE OF THREE (3) CU. YARDS/1000 SQ. FT.

AFTER PLACEMENT OF HANURE TO PROPER RATES, THOROUGHLY ROTOTILL TO A DEPTH OF SIX INCHES (6") ALL AREAS TO BE SOIL PREPARED IMMEDIATELY AFTER SPREADING OF THE SOIL AMENDMENTS. DISKING OR RIPPING IN AMENDMENTS WILL NOT BE ACCEPTABLE.

THE GRASSES

FINISH GRASSING AND SOIL CULTIVATION TECHNIQUES SHALL BE USED TO PRODUCE A SOIL CONDITION ACCEPTABLE FOR SOODING, SEEDING, GROUND COVER BEDS, SHRUB AREAS, OR MULCHED AREAS AS SHOWN ON THE PLANS. IN SOODING AREAS, THE FINISH GRADE SHALL BE HELD TWO INCHES (2") BELOW EXISTING OR PROPOSED LEVELS (7') BELOW SODA ELEMENTS AND MULCHED AREAS SHALL BE HELD ONE INCH (1") GREATER THAN SPECIFIED DEPTH OF THE MULCH.

DRAINAGE SWALES, DRAIN PIPES, OR OTHER OPEN SHEET DRAINAGE AREAS REQUIRING PARTICULARLY ACCURATE GRADE PROPER DRAINAGE. GRASSED SWALES SHALL BE CONTAINED BETWEEN 1/2" AND 4% GRADES UNLESS OTHERWISE SPECIFIED. DRAINAGEWAYS SHALL NOT CONTAIN ANY WATER. HOLDING CONSPICUOUS.

FOUNDATIONS OR OTHER EARTH FORMS SHALL BE CONSTRUCTED TO PLANS AND/OR INSTRUCTIONS OF LANDSCAPE ARCHITECT AND SHALL BE INSPECTED AND APPROVED PRIOR TO FINISH LANDSCAPE TREATMENT. CONTRACTOR SHALL USE APPROPRIATE GRASSING EQUIPMENT TO INSURE DETAIL UNIFORM OF EARTHWORKS AS SHOWN ON PLANS OR DIRECTED BY LANDSCAPE ARCHITECT.

THE CONTRACTOR SHALL PREPARE THE SITE IN AN ORDERLY CONDITION FREE OF ALL DEBRIS SO THAT SEEDING, SOODING, PLANTING, AND OTHER CONSTRUCTION OPERATIONS MAY PROCEED IMMEDIATELY. ALL AREAS OUTSIDE THE CONTRACT LIMITS WHICH HAVE BEEN DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION IN ACCORDANCE WITH PROCEDURES AS DESCRIBED HEREIN AT CONTRACTOR'S EXPENSE.

1/2" SODDED PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS VERY DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY OFF BEFORE PLANTING OF LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION OR CAUSE SURFACE EROSION.

RESTORE PREPARED AREAS TO SPECIFIED CONDITION IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRASSING AND PRIOR TO PLANTING.

AFTER FINISH GRASSING, APPLY STARTER FERTILIZER (10-24-0) AT A RATE OF FOUR POUNDS (4 LBS) PER THOUSAND SQ. FT. UNIFORMLY ACROSS THE LANDSCAPE AREAS.

EXCAVATION FOR TREES AND SHRUBS

EXCAVATE PITS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.

FOR BALLED AND BURLAPPED (B&B) TREES AND SHRUBS, MAKE EXCAVATIONS AT LEAST HALF AGAIN AS WIDE AS THE BALL DIAMETER AND EQUAL TO THE BALL DEPTH, PLUS FOLLOWING ALLOWANCE FOR SETTING OF BALL ON A LAYER OF COMPACTED BACKFILL:

ALLOW FOR 3 INCH THICK SETTING LAYER OF PLANTING SOIL MIXTURE.

FOR CONTAINER GROWN STOCK, EXCAVATE AS SPECIFIED FOR BALLED AND BURLAPPED STOCK, ADJUSTED TO SIZE OF CONTAINER WIDTH AND DEPTH.

FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW WATER TO PERCOLATE OUT PRIOR TO PLANTING.

PLANTING TREES AND SHRUBS

SET BALLED AND BURLAPPED (B&B) STOCK ON LAYER OF COMPACTED PLANTING SOIL MIXTURE. PLUMB AND IN CENTER OF PIT OR TRENCH WITH TOP OF BALL AT SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES. REMOVE BURLAP FROM SIDES OF BALLS RETAIN ON BOTTOMS. WHEN SET, PLACE ADDITIONAL BACKFILL BEHIND AND AROUND SIDES OF BALL, AND WORK EACH LAYER TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR ROCKETS. WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL.

SET CONTAINER GROWN STOCK, AS SPECIFIED, FOR BALLED BURLAPPED STOCK, EXCEPT CUT LAWS OR 2 SIDES WITH AN APPROVED CAN CUTTER, REMOVE BOTTOMS OF WOODEN BOXES AFTER PARTIAL BACKFILLING SO AS NOT TO DAMAGE ROOT BALLS.

AT THE TIME OF PLANTING, SLOW RELEASE FERTILIZER TABLETS SHALL BE APPLIED TO EACH PLANT AT THE MANUFACTURER'S PRESCRIBED RATE. IN CASE OF MULTIPLE STEM, THE DIAMETER WILL BE CUMULATIVE MEASUREMENTS. THE TABLETS WILL BE PLACED NO MORE THAN FOUR INCHES (4") AWAY FROM PLANT ROOTS OR BALL AND ABOUT 2/4 INCHES (1/2") BELOW FINISHED GRADE.

DISH TOP OF BACKFILL TO ALLOW FOR MULCHING.

MULCH PITS, TRENCHES, AND PLANTED AREAS PROVIDE NOT LESS THAN 4 INCHES (4") THICKNESS OF MULCH ON TOP OF BACKFILL.

APPLY ANTI-DESICCANT, USING POWER SPRAY, TO PROVIDE AN ADEQUATE FILM OVER BRANCHES, STEMS, TWIGS AND FOLIAGE.

IF DECIDUOUS TREES OR SHRUBS ARE MOVED WHEN IN FULL LEAF SPRAY WITH ANTI-DESICCANT AT NURSERY BEFORE MOVING AND SPRAY AGAIN 2 WEEKS AFTER PLANTING.

PRUNE, TRIM CUT, AND SHAPE TREES AND SHRUBS IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD, UNLESS OTHERWISE DIRECTED BY ARCHITECT. DO NOT CUT TREE LEAVES, AND REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES. IF ANY, PRUNE SHRUBS TO RETAIN NATURAL CHARACTER.

REMOVE AND REPLACE EXCESSIVELY PRUNED OR MISFORMED STOCK RESULTING FROM IMPROPER PRUNING.

MULCH: BEFORE MULCH IS PLACED, GRANULAR PRE-EMERGENCE WEED KILLER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS OVER ALL MULCHED AREAS. EVEN CORRECT APPLICATION OF PRE-EMERGENCE IS INEFFECTIVE. ANY PLANTS FOUND TO BE IN UNHEALTHY CONDITION AS A RESULT OF IMPROPER APPLICATION SHALL IMMEDIATELY BE REMOVED AND REPLACED BY THE CONTRACTOR.

MULCH TREE PITS AND ENTIRE SHRUB BEDS WITH FOUR INCHES (4") OF MULCH. INSTALL SHROUD BED MULCH OVER WEED CONTROL FABRIC. MAKE SURE MULCH IS TO SPECIFIED DEPTH AT EDGES OF MULCH AND OTHER HAVED SURFACES, AND DOES NOT PROTRUDE ABOVE ADJACENT FINISHED GRADE OF SAME SURFACES.

SEEDING HIGH LAWNS

DO NOT USE WET SEED OR SEED THAT IS MOULDY OR OTHERWISE DAMAGED IN TRASH OR STORAGE.

SOIL SEED USING A SPREADER OR SEEDING MACHINE. DO NOT SEED WHEN WIND VELOCITY EXCEEDS 5 MPH PER HOUR. DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SCOWING EQUAL QUANTITY IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

SOIL SEED SPECIFIED SEED AT A RATE OF 10 LBS/1000 SQ. FT.

RAKE SEED SLIGHTLY INTO TOP 1/8 INCH OF SOIL. ROLL LIGHTLY AND WATER WITH A FINE SPRAY.

PROTECT SEEDED AREAS AGAINST EROSION BY SPREADING SPECIFIED LAWN MULCH AFTER COMPLETION OF SEEDING OPERATIONS. SPREAD UNIFORMLY TO FORM A CONTINUOUS BLANKET NOT LESS THAN 1/2 INCHES THICK MEASURED OVER SEEDED AREAS.

STRAW MULCH SHALL BE APPLIED TO ALL SEEDED AREAS. RATE OF APPLICATION SHALL BE 1/2 TONS PER ACRE.

EROSION CONTROL NETTING SHALL BE INSTALLED ON ALL SLOPES GREATER THAN 4:1.

PLANTING GROUND COVER

SPACE GROUND COVER PLANTS AS INDICATED OR SCHEDULED.

DIG HOLES LARGE ENOUGH TO ALLOW FOR SPREADING OF ROOTS AND BACKFILL WITH PLANTING SOIL. WORK SOIL AROUND ROOTS TO ELIMINATE AIR ROCKETS AND LEAVE SURFACE SMOOTH. HOLD PLANTS TO HOLD WATER. WATER THOROUGHLY AFTER PLANTING TAKING CARE NOT TO COVER CROWNS OF PLANTS WITH WET SOIL.

MULCH AREAS BETWEEN GROUND COVER PLANTS; PLACE NOT LESS THAN 3 INCHES THICK, UNLESS OTHERWISE NOTED.

MAINTENANCE

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.

MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD:

30 DAYS AFTER SUBSTANTIAL COMPLETION OF PLANTING.

MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SNAGS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER WEAPPOINTING SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.

CLEANUP AND PROTECTION

DURING LANDSCAPE WORK, KEEP PAVEMENTS CLEAN AND WORK AREA IN AN ORDERLY CONDITION.

PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND TRAFFIC. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.

INSPECTION AND ACCEPTANCE

WHEN LANDSCAPE WORK IS COMPLETED, INCLUDING MAINTENANCE, LANDSCAPE ARCHITECT WILL, UPON REQUEST, MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY.

LANDSCAPE WORK MAY BE INSPECTED FOR ACCEPTANCE IN PORTIONS AS DEEMED APPROPRIATE BY ARCHITECT. PROVIDED EACH PORTION OF WORK OFFERED FOR INSPECTION IS COMPLETE, INCLUDING MAINTENANCE.

WHEN INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED BY ARCHITECT AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS PROMPTLY FROM PROJECT SITE.





I. EARTHWORK

- PROJECT CONDITIONS**

EXISTING UTILITIES: LOCATE EXISTING UNDERGROUND UTILITIES IN AREAS OF EXCAVATION WORK. IF UTILITIES ARE INDICATED TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING EARTHWORK OPERATIONS.

SHOULDN'T BE UNCHARTERED OR INCORRECTLY CHARTERED, PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONSULT UTILITY OWNER IMMEDIATELY FOR DIRECTIONS. COOPERATE WITH OWNER AND UTILITY COMPANIES IN KEEPING RESPECTIVE SERVICES AND FACILITIES IN OPERATION. REPAIR DAMAGED UTILITIES TO SATISFACTION OF UTILITY OWNER.

PROTECTION OF PERSONS AND PROPERTY: BARRICADE OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK.

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, HASKOUT, AND OTHER HAZARDS CREATED BY EARTHWORK OPERATIONS.

PERFORM EXCAVATION BY HAND WITHIN DRILLPILE OF LARGE TREES TO REPAIR. PROTECT ROOT SYSTEMS FROM DAMAGE OR DRY OUT TO THE GREATEST EXTENT POSSIBLE. MAINTAIN MOIST CONDITION FOR ROOT SYSTEM AND COVER EXPOSED ROOTS WITH MOISTENED MULCH.
- SOIL MATERIALS**

SUBBASE MATERIAL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, CRUSHED SLAG AND NATURAL OR CRUSHED SAND.

BACKFILL AND FILL MATERIALS: SATISFACTORY SOIL MATERIALS FREE OF CLAY, ROCK, OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION AND OTHER DELETERIOUS MATTER.
- EXCAVATION**

EARTH EXCAVATION INCLUDES EXCAVATION OF PAVEMENTS AND OTHER OBSTRUCTIONS VISIBLE ON SURFACE, UNDERGROUND STRUCTURES, UTILITIES AND OTHER ITEMS INDICATED TO BE DEMOLISHED AND REMOVED, TOGETHER WITH EARTH AND OTHER MATERIALS ENCOUNTERED THAT ARE NOT CLASSIFIED AS ROCK.
- DEWATERING**

PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM FLOWING INTO EXCAVATIONS AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.

DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, WELL POINTS, Sumps, SUCTION AND DISCHARGE LINES AND OTHER DRAINAGE SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS.

ESTABLISH AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS TO CONVEY RAINWATER AND WATER REMOVED FROM EXCAVATIONS TO COLLECTING OR RECEIPT AREAS. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.
- STORAGE OF EXCAVATED MATERIALS**

STOCKPILE EXCAVATED MATERIALS ACCEPTABLE FOR BACKFILL AND FILL WHERE DIRECTED. PLACE, GRADE AND SHAPE STOCKPILES FOR PROPER DRAINAGE.

LOCATE AND RETAIN SOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS. DO NOT STORE WITHIN DRIP LINE OF TREES INDICATED TO REMAIN.
- EXCAVATION FOR STRUCTURES**

CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN WITHIN A TOLERANCE OF PLUS OR MINUS 0.10 FOOT AND EXTENDING A SUFFICIENT DISTANCE FROM FOOTINGS AND FOUNDATIONS TO PERMIT PLACING AND REMOVAL OF CONCRETE FORMWORK, INSTALLATION OF SERVICES AND OTHER CONSTRUCTION AND FOR INSPECTION.

EXCAVATIONS FOR FOOTINGS AND FOUNDATIONS: DO NOT DISTURB BOTTOM OF EXCAVATION. EXCAVATE BY HAND TO FINAL GRADE JUST BEFORE CONCRETE REINFORCEMENT IS PLACED. TRIM BOTTOMS TO REQUIRED LINES AND GRADES TO LEAVE SOLID BASE TO RECEIVE OTHER WORK.
- EXCAVATION FOR PAVEMENTS**

CUT SURFACE UNDER PAVEMENTS TO COMPLY WITH CROSS-SECTIONS, ELEVATIONS AND GRADES AS INDICATED.
- COLD WEATHER PROTECTION**

PROTECT EXCAVATION BOTTOMS AGAINST FREEZING WHEN ATMOSPHERIC TEMPERATURE IS LESS THAN 35 DEGREES.
- BACKFILL AND FILL**

GENERAL: PLACE SOIL MATERIAL IN LAYERS TO REQUIRED SUBGRADE ELEVATIONS FOR EACH AREA CLASSIFICATION LISTED BELOW.

UNDER GRASSED AREAS, USE SATISFACTORY EXCAVATED OR BORROW MATERIAL.

UNDER WALKS AND PAVEMENTS, USE SUBBASE MATERIAL, SATISFACTORY EXCAVATED OR BORROW MATERIAL OR A COMBINATION UNDER STEPS, USE SUBBASE MATERIAL.

BACKFILL EXCAVATIONS AS PROMPTLY AS WORK PERMITS, BUT NOT UNTIL COMPLETION OF THE FOLLOWING:

 - ACCEPTANCE OF CONSTRUCTION BELOW FINISH GRADE.
 - REMOVAL OF CONCRETE FORMWORK.
 - REMOVAL OF TRASH AND DEBRIS FROM EXCAVATION.
- PLACEMENT AND COMPACTION**

GROUND SURFACE PREPARATION: REMOVE VEGETATION, DEBRIS, OBSTRUCTIONS AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACEMENT OF FILLS. FLOW STRIP, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO THAT FILL MATERIAL WILL BOND WITH EXISTING SURFACE.

WHEN EXISTING GROUND SURFACE HAS A DENSITY LESS THAN THAT SPECIFIED UNDER "COMPACTION" FOR PARTICULAR AREA CLASSIFICATION, BREAK UP SURFACE, FULVIZE, MOISTURE-CONDITION TO OBTAIN MOISTURE CONTENT AND COMPACT TO REQUIRED DEPTH AND PERCENTAGE OF MAXIMUM DENSITY.

PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.

BEFORE COMPACTION, MOISTEN OR AERATE EACH LAYER AS NECESSARY TO PROVIDE OPTIMUM MOISTURE CONTENT. COMPACT EACH LAYER TO REQUIRED PERCENTAGE OF MAXIMUM DRY DENSITY OR RELATIVE DRY DENSITY FOR EACH AREA CLASSIFICATION. DO NOT PLACE BACKFILL OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE.

CONTROL SOIL AND FILL COMPACTION, PROVIDING MINIMUM PERCENTAGE OF DENSITY SPECIFIED FOR EACH AREA CLASSIFICATION INDICATED BELOW.

PERCENTAGE OF MAXIMUM DENSITY REQUIREMENTS: COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DENSITY, IN ACCORDANCE WITH ASTM D 1557.

 - UNDER LAWN OR UNPAVED AREAS, COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 40 PERCENT MAXIMUM DENSITY.
 - UNDER SIDEWALKS, COMPACT TOP 6 INCHES OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 45 PERCENT MAXIMUM DENSITY.
 - UNDER STEPS AND PAVEMENTS, COMPACT TOP 12" OF SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 45 PERCENT MAXIMUM DENSITY.

II. GRADING

- GENERAL**

UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING UNDER THIS SECTION, INCLUDING ADJACENT TRANSITION AREAS. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, COMPACT WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED OR BETWEEN SUCH POINTS AND EXISTING GRADES.

LAWN OR UNPAVED AREAS: FINISH AREAS TO RECEIVE TOPSOIL TO WITHIN NOT MORE THAN 0.10 FOOT ABOVE OR BELOW REQUIRED SUBGRADE ELEVATIONS.

PAVEMENT & WALKS: SHAPE SURFACE OF AREAS UNDER WALKS TO LINE, GRADE AND CROSS-SECTION WITH FINISH SURFACE NOT MORE THAN 0.10 FOOT ABOVE OR BELOW REQUIRED SUBGRADE ELEVATION.

COMPACTION: AFTER GRADING, COMPACT SUBGRADE SURFACES TO THE DEPTH AND INDICATED PERCENTAGE OF MAXIMUM OR RELATIVE DENSITY FOR EACH AREA CLASSIFICATION.
- EROSION CONTROL**

PROVIDE EROSION CONTROL METHODS IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- MAINTENANCE**

PROTECTION OF GRADED AREAS: PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION. KEEP FREE OF TRASH AND DEBRIS. REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUINED AREAS TO SPECIFIED TOLERANCES.

RECONDITIONING COMPACTED AREAS: WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, SCARIFY SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.
- DISPOSAL OF EXCESS AND WASTE MATERIALS**

EXCESS EXCAVATED MATERIAL SHALL BE DISTRIBUTED ON SITE PER OWNER AND/OR ARCHITECT DIRECTION. NO EXCESS EXCAVATED MATERIAL ANTICIPATED.

REMOVE WASTE MATERIALS, INCLUDING TRASH AND DEBRIS AND DISPOSE OF IT OFF OWNER'S PROPERTY.

III. ASPHALT PAVING

- SITE CONDITIONS**

WEATHER LIMITATIONS: APPLY PRIME AND TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES F (10 DEGREES C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES F (1 DEGREE C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS AN EXCESS OF MOISTURE.

CONTRACT HOT-MIXED ASPHALT SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40 DEGREES F (4 DEGREES C) AND WHEN BASE IS DRY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 50 DEGREES F (10 DEGREES C) AND RISING.

GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS.
- MATERIALS**

GENERAL: USE LOCALLY AVAILABLE MATERIALS AND GRADATIONS THAT EXHIBIT A SATISFACTORY RECORD OF PREVIOUS INSTALLATIONS. COURSE AGGREGATE: 50/10 ANGULAR CRUSHED STONE, CRUSHED GRAVEL OR PROPERLY CURED CRUSHED ELAST FURNACE SLAG, COMPLYING WITH ASTM D 642-80.

FINE AGGREGATE: SHARP-EDGED NATURAL SAND OR SAND PREPARED FROM STONE, PROPERLY CURED BLAST FURNACE SLAG, GRAVEL, OR COMBINATIONS THEREOF, COMPLYING WITH ASTM D 1375.

ASPHALT CEMENT: ASTM D 3301 FOR VISCOSITY-GRADED MATERIAL; ASTM D 446 FOR PENETRATION-GRADED MATERIAL.

PRIME COAT: CUT-BACK ASPHALT TYPE, ASTM D 2027, MC-30, MC-10 OR MC-250.
- ASPHALT-AGGREGATE MIXTURE**

PERFORM PLANT-MIXED, HOT-LAID ASPHALT-AGGREGATE MIXTURE COMPLYING WITH ST. LOUIS COUNTY STANDARD SPECIFICATIONS FOR TYPE "C" AND TYPE "I" ASPHALTIC CONCRETE.
- SURFACE PREPARATION**

GENERAL: REMOVE LOOSE MATERIAL FROM COMPACTED GRANULAR BASE SURFACE IMMEDIATELY BEFORE APPLYING PRIME COAT.

PRIME COAT: CUT-BACK ASPHALT TYPE, ASTM D 2027, MC-30, MC-10 OR MC-250 APPLY AT RATE OF 0.20 TO 0.50 GALLON PER 50 YD. OVER COMPACTED BASE.

TACK COAT: EMULSIFIED ASPHALT; ASTM D1111 APPLY TO CONTACT SURFACES OF PREVIOUSLY CONSTRUCTED ASPHALT SURFACES AT A RATE OF 0.05 TO 0.15 GAL. PER 50 YD. OF SURFACE.
- PLACING MIX**

GENERAL: PLACE HOT-MIXED ASPHALT MIXTURE ON PREPARED SURFACE, SPREAD, AND STRIKE OFF.

SPREAD MIXTURE AT MINIMUM TEMPERATURE OF 225 DEGREES F (101 DEGREES C).

PLACE AREAS INACCESSIBLE TO EQUIPMENT BY HAND. PLACE EACH COURSE TO REQUIRED GRADE, CROSS-SECTION, AND COMPACTED THICKNESS.
- ROLLING**

GENERAL: BEGIN ROLLING WHEN MIXTURE WILL BEAR ROLLER HEIGHT WITHOUT EXCESSIVE DISPLACEMENT.

COMPACT MIXTURE WITH HOT HAND TAMPERS OR VIBRATING PLATE COMPACTORS IN AREAS INACCESSIBLE TO ROLLERS.

BREAKDOWN ROLLING: ACCOMPLISH BREAKDOWN OR INITIAL ROLLING IMMEDIATELY FOLLOWING ROLLING OF JOINTS AND OUTSIDE EDGE. CHECK SURFACE AFTER BREAKDOWN ROLLING AND REPAIR DISPLACED AREAS BY LOOSENING AND FILLING, IF ROLLING WITH HOT MATERIAL.

SECOND ROLLING: FOLLOW BREAKDOWN ROLLING AS SOON AS POSSIBLE, WHILE MIXTURE IS HOT. CONTINUE SECOND ROLLING UNTIL MIXTURE HAS BEEN EVENLY COMPACTED.

FINISH ROLLING: PERFORM FINISH ROLLING WHILE MIXTURE IS STILL WARM ENOUGH FOR REMOVAL OF ROLLER MARKS. CONTINUE ROLLING UNTIL ROLLER MARKS ARE ELIMINATED AND COURSE HAS ATTAINED 95 PERCENT LABORATORY DENSITY.

PATCHING: REMOVE AND REPLACE PAVING AREAS MIXED WITH FOREIGN MATERIALS AND DEFECTIVE AREAS. CUT OUT SUCH AREAS AND FILL WITH FRESH HOT-MIXED ASPHALT. COMPACT BY ROLLING TO SPECIFIED SURFACE DENSITY AND SMOOTHNESS.

PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.

IV. PORTLAND CEMENT CONCRETE PAVING

- JOB CONDITIONS**

TRAFFIC CONTROL: MAINTAIN ACCESS FOR VEHICULAR AND PEDESTRIAN TRAFFIC AS REQUIRED FOR OTHER CONSTRUCTION ACTIVITIES.
- MATERIALS**

FORMS: STEEL, WOOD, OR OTHER SUITABLE MATERIAL OF SIZE AND STRENGTH TO RESIST MOVEMENT DURING CONCRETE PLACEMENT AND TO RETAIN HORIZONTAL AND VERTICAL ALIGNMENT UNTIL REMOVAL. USE STRAIGHT FORMS, FREE OF DISTORTION AND DEFECTS.

USE FLEXIBLE SPRING STEEL FORMS OR LAMINATED BOARDS TO FORM RADIUS BENDS AS REQUIRED.

COAT FORMS WITH A NONSTAINING FORM RELEASE AGENT THAT WILL NOT DISCOLOR OR DEFACE SURFACE OF CONCRETE.

HELDED WIRE MESH: HELDED PLAIN GOLD-DRAWN STEEL WIRE FABRIC, ASTM A 105.

REINFORCING BARS: DEFORMED STEEL BARS, ASTM A 615, GRADE 60.

JOINT DOGEL BARS: PLAIN STEEL BARS, ASTM A 615, GRADE 60. CUT BARS TRUE TO LENGTH WITH ENDS SQUARE AND FREE OF BURRS.

CONCRETE MATERIALS: COMPLY WITH REQUIREMENTS OF APPLICABLE "CONCRETE" NOTES FOR CONCRETE MATERIALS, ADMIXTURES, BONDING MATERIALS, CURING MATERIALS AND OTHERS AS REQUIRED.
- CONCRETE MIX DESIGN AND TESTING**

COMPLY WITH REQUIREMENTS OF APPLICABLE "CONCRETE" NOTES FOR CONCRETE MIX DESIGN AND AS HEREIN SPECIFIED.

DESIGN MIX TO PRODUCE NORMAL-HEIGHT CONCRETE CONSISTING OF PORTLAND CEMENT, AGGREGATE, WATER-REDUCING OR HIGH-RANGE WATER-REDUCING ADMIXTURE (SUPERPLASTICIZER), AIR-ENTRAINING ADMIXTURE AND WATER TO PRODUCE THE FOLLOWING PROPERTIES:

 - COMPRESSIVE STRENGTH: 4000 PSI, MINIMUM AT 28 DAYS, UNLESS OTHERWISE INDICATED.
 - SUMP LIMITS: 8 INCHES MINIMUM FOR CONCRETE CONTAINING HIGH-RANGE WATER-REDUCING ADMIXTURE (SUPERPLASTICIZER); 4 INCHES FOR OTHER CONCRETE.
 - AIR CONTENT: 5 TO 8 PERCENT.
- SURFACE PREPARATION**

REMOVE LOOSE MATERIAL FROM COMPACTED SUBGRADE SURFACE IMMEDIATELY BEFORE PLACING CONCRETE.
- FORM CONSTRUCTION**

SET FORMS TO REQUIRED GRADES AND LINES, BRACED AND SECURED. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO THAT FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
- REINFORCEMENT**

LOCATE, PLACE, AND SUPPORT REINFORCEMENT AS SPECIFIED IN "CAST IN PLACE CONCRETE" NOTES, UNLESS OTHERWISE INDICATED.
- CONCRETE PLACEMENT**

GENERAL: COMPLY WITH REQUIREMENTS OF "CONCRETE" NOTES FOR MIXING AND PLACING CONCRETE, AND AS HEREIN INDICATED. PLACE CONCRETE BY METHODS THAT PREVENT SEGREGATION OF MIX. CONSOLIDATE CONCRETE ALONG FACE OF FORMS AND ADJACENT TO TRANSVERSE JOINTS WITH INTERNAL VIBRATOR. KEEP VIBRATOR AWAY FROM JOINT ASSEMBLIES, REINFORCEMENT, OR SIDE FORMS. USE ONLY SQUARE-FACED SHOVELS FOR HAND-SPREADING AND CONSOLIDATION. CONSOLIDATE WITH CARE TO PREVENT DISLOCATION OF REINFORCING, DOGELS, AND JOINT DEVICES.
- JOINTS**

GENERAL: CONSTRUCT EXPANSION HEAVY-BEAD-PLANE (CONTRACTION), AND CONSTRUCTION JOINTS TRUE TO LINE WITH FACE PERPENDICULAR TO SURFACE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO THE CENTERLINE, UNLESS OTHERWISE INDICATED.

TOOLED JOINTS: FORM HEAVY-BEAD-PLANE JOINTS IN FRESH CONCRETE BY GROOVING TOP PORTION WITH A RECOMMENDED CUTTING TOOL AND FINISHING EDGES WITH A JOINTER.

EXPANSION JOINTS: PROVIDE 1/2"x4" PREFORMED EXPANSION JOINT MATERIAL FOR EXPANSION JOINTS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, AND OTHER FIXED OBJECTS, UNLESS OTHERWISE INDICATED. JOINTS SHALL BE FULL DEPTH WITH TOP EDGE 1/2" HIGH BELOW FINISH SURFACE OF CONCRETE AND SEALED.

EXTEND JOINT MATERIAL FULL WIDTH AND DEPTH OF JOINT.

FINISH JOINT MATERIAL IN ONE-PIECE LENGTHS FOR FULL WIDTH BEING PLACED WHEREVER POSSIBLE.

PROTECT TOP EDGE OF JOINT MATERIAL DURING CONCRETE PLACEMENT WITH A METAL CAP OR OTHER TEMPORARY MATERIAL. REMOVE PROTECTION AFTER CONCRETE HAS BEEN PLACED ON BOTH SIDES OF JOINT.
- CONCRETE FINISHING**

AFTER STRIKING-OFF AND CONSOLIDATING CONCRETE, SMOOTH SURFACE BY SCREERING AND FLOATING.

AFTER FLOATING, TEST SURFACE FOR TRUENESS WITH A 10-FT. STRAIGHTEDGE. DISTRIBUTE CONCRETE AS REQUIRED TO REMOVE SURFACE IRREGULARITIES, AND REFLOAT REPAIRED AREAS TO PROVIDE A CONTINUOUS SMOOTH FINISH.

WORK EDGES OF SLABS, GUTTERS, BACK: TOP EDGE OF CURB AND FORMED JOINTS WITH AN EDGING TOOL, AND ROUND TO 1/4" RADIUS, UNLESS OTHERWISE INDICATED. ELIMINATE TOOL MARKS ON CONCRETE SURFACE.

AFTER COMPLETION OF FLOATING AND WHEN EXCESS MOISTURE OR SURFACE SHEEN HAS DISAPPEARED, COMPLETE TROWELING AND FINISH SURFACE AS INDICATED ON DRAWINGS.

DO NOT REMOVE FORMS FOR 24 HOURS AFTER CONCRETE HAS BEEN PLACED. AFTER FORM REMOVAL, CLEAN ENDS OF JOINTS AND POINT-UP ANY MINOR HONEYCOMBED AREAS. REMOVE AND REPLACE AREAS OR SECTIONS WITH MAJOR DEFECTS, AS DIRECTED.

V. CAST-IN PLACE CONCRETE

- QUALITY ASSURANCE**

CODES AND STANDARDS: COMPLY WITH PROVISIONS OF FOLLOWING CODES, SPECIFICATIONS AND STANDARDS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SHOWN OR SPECIFIED.

ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".

CONCRETE REINFORCING STEEL INSTITUTE (CRSI), "MANUAL OF STANDARD PRACTICE".
- FORM MATERIALS**

FORMS FOR EXPOSED FINISH CONCRETE: PLYWOOD, METAL, METAL-FRAMED PLYWOOD FACED, OR OTHER ACCEPTABLE PANEL-TYPE MATERIALS, TO PROVIDE CONTINUOUS, STRAIGHT, SMOOTH EXPOSED SURFACES. FURNISH IN LARGEST PRACTICABLE SIZES TO MINIMIZE NUMBER OF JOINTS AND TO CONFORM TO JOINT SYSTEM SHOWN ON DRAWINGS.

FORMS FOR UNEXPOSED FINISH CONCRETE: PLYWOOD, LUMBER, METAL, OR OTHER ACCEPTABLE MATERIAL. PROVIDE LUMBER DRESSED ON AT LEAST 2 EDGES AND ONE SIDE FOR TIGHT FIT.

FORMS FOR CYLINDRICAL COLUMNS AND SUPPORTS: METAL, FIBERGLASS-REINFORCED PLASTIC, OR PAPER OR PAPER TUBES. PROVIDE PAPER OR FIBER TUBES OF LAMINATED PLYS WITH WATER-RESISTANT ADHESIVE AND MAX-IMPREGNATED EXTERIOR FOR WEATHER AND MOISTURE PROTECTION. PROVIDE UNITS WITH SUFFICIENT WALL THICKNESS TO RESIST 1.5X CONCRETE LOADS WITHOUT DEFORMATION.

FORM COATINGS: PROVIDE COMMERCIAL FORMULATION FORM-COATINGS COMPONDS WITH A MAXIMUM VOC OF 350 HSB THAT WILL NOT BOND WITH STAIN OR ADVERSELY AFFECT CONCRETE SURFACES AND WILL NOT IMPAIR SUBSEQUENT TREATMENTS OF CONCRETE SURFACES.

FORM TIES: FACTORY-FABRICATED, ADJUSTABLE-LENGTH REMOVABLE OR SNAP-OFF METAL FORM TIES, DESIGNED TO PREVENT FORM DEFLECTION AND TO PREVENT SPILLING CONCRETE UPON REMOVAL. PROVIDE UNITS THAT WILL LEAVE NO METAL CLOSER THAN 1/2 INCHES TO EXPOSED SURFACE.
- REINFORCING MATERIALS**

REINFORCING BARS: ASTM A 615, GRADE 60 DEFORMED.
- CONCRETE MATERIALS**

PORTLAND CEMENT: ASTM C 150, TYPE I.

USE ONE BRAND OF CEMENT THROUGHOUT PROJECT UNLESS OTHERWISE ACCEPTABLE TO ARCHITECT.

NORMAL WEIGHT AGGREGATES: ASTM C 33 AND AS HEREIN SPECIFIED. PROVIDE AGGREGATES FROM A SINGLE SOURCE FOR EXPOSED CONCRETE.

FOR EXTERIOR EXPOSED SURFACES, DO NOT USE FINE OR COARSE AGGREGATES CONTAINING SPILLING-CAUSING DELETERIOUS SUBSTANCES.

WATER: DRINKABLE.
- PROPORTIONS AND DESIGN OF MIXES**

DESIGN MIXES TO PROVIDE NORMAL HEIGHT CONCRETE WITH THE FOLLOWING PROPERTIES, AS INDICATED ON DRAWINGS AND SCHEDULES:

 - 4000-PSI, 28-DAY COMPRESSIVE STRENGTH; W/C RATIO, 0.58 MAXIMUM (NON-AIR-ENTRAINED), 0.46 MAXIMUM (AIR-ENTRAINED).
 - SUMP LIMITS: PROPORTION AND DESIGN MIXES TO RESULT IN CONCRETE SUMP AT POINT OF PLACEMENT AS FOLLOWS:
 - REINFORCED FOUNDATION SYSTEMS: NOT LESS THAN 1 INCH AND NOT MORE THAN 3 INCHES.
 - OTHER CONCRETE: NOT MORE THAN 4 INCHES.
- CONCRETE MIXING**

READY-MIX CONCRETE: COMPLY WITH REQUIREMENTS OF ASTM C 94, AND AS SPECIFIED.

WHEN AIR TEMPERATURE IS BETWEEN 65 DEGREES F (19 DEGREES C) AND 90 DEGREES F (32 DEGREES C), REDUCE MIXING AND DELIVERY TIME FROM 1-1/2 HOURS TO 15 MINUTES, AND WHEN AIR TEMPERATURE IS ABOVE 90 DEGREES F (32 DEGREES C), REDUCE MIXING AND DELIVERY TIME TO 60 MINUTES.
- PLACING REINFORCEMENT**

GENERAL: COMPLY WITH CONCRETE REINFORCING STEEL INSTITUTE'S RECOMMENDED PRACTICE FOR "PLACING REINFORCING BARS" FOR DETAILS AND METHODS OF REINFORCEMENT PLACEMENT AND SUPPORTS AND HEREIN SPECIFIED.

CLEAN REINFORCEMENT OF LOOSE RUST AND MILL SCALE, EARTH, ICE, AND OTHER MATERIALS THAT REDUCE OR DESTROY BOND WITH CONCRETE.

ACCUATELY POSITION SUPPORT AND SECURE REINFORCEMENT AGAINST DISPLACEMENT.

PLACE REINFORCEMENT TO OBTAIN AT LEAST MINIMUM COVERAGE FOR CONCRETE PROTECTION, ARRANGE, SPACE, AND SECURE THE BARS AND BAR SUPPORTS TO HOLD REINFORCEMENT IN POSITION DURING CONCRETE PLACEMENT OPERATIONS. SET WIRE TIES SO ENDS ARE DIRECTED INTO CONCRETE, NOT TOWARD EXPOSED CONCRETE SURFACES.

INSTALL HELDED WIRE FABRIC IN AS LONG LENGTHS AS PRACTICABLE. LAP ADJOINING PIECES AT LEAST ONE FULL MESH AND LACE SPLICES WITH WIRE. OFFSET LAPS OF ADJOINING WIDTHS TO PREVENT CONTINUOUS LAPS IN EITHER DIRECTION.
- PREPARATION OF FORM SURFACES**

GENERAL: COAT CONTACT SURFACES OF FORMS WITH AN APPROVED, NONRESIDUAL, LOW-VOC, FORM-COATING COMPOUND BEFORE REINFORCEMENT IS PLACED.

DO NOT ALLOW EXCESS FORM-COATING MATERIAL TO ACCUMULATE IN FORMS OR TO COME INTO CONTACT WITH IN-PLACE CONCRETE SURFACES AGAINST WHICH FRESH CONCRETE WILL BE PLACED. APPLY IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS.

COAT STEEL FORMS WITH A NONSTAINING, RUST-PREVENTATIVE MATERIAL. RUST-STAINED STEEL FORMWORK IS NOT ACCEPTABLE.
- CONCRETE PLACEMENT**

INSPECTION: BEFORE PLACING CONCRETE, INSPECT AND COMPLETE FORMWORK, INSTALLATION REINFORCING STEEL, AND ITEMS TO BE EMBEDDED OR CAST IN. NOTIFY OTHER TRADES OF THEIR WORK; COOPERATE WITH OTHER TRADES IN SETTING SUCH WORK.

GENERAL: COMPLY WITH ACI 304, "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE", AND AS HEREIN SPECIFIED.

DEPOSIT CONCRETE CONTINUOUSLY OR IN LAYERS OF SUCH THICKNESS THAT NO CONCRETE WILL BE PLACED ON CONCRETE THAT HAS HARDENED SUFFICIENTLY TO CAUSE THE FORMATION OF SEAMS OR PLANES OF WEAKNESS. IF A SECTION CANNOT BE PLACED CONTINUOUSLY, PROVIDE CONSTRUCTION JOINTS AS HEREIN SPECIFIED. DEPOSIT CONCRETE TO AVOID SEGREGATION AT ITS FINAL LOCATION.

PLACING CONCRETE IN FORMS: DEPOSIT CONCRETE IN FORMS IN HORIZONTAL LAYERS NOT DEEPER THAN 24 INCHES AND IN A MANNER TO AVOID UNNECESSARY CONSTRUCTION JOINTS. WHERE PLACEMENT CONSISTS OF SEVERAL LAYERS, PLACE EACH LAYER WHILE PRECEDING LAYER IS STILL PLASTIC TO AVOID COLD JOINTS.

CONSOLIDATE PLACED CONCRETE BY MECHANICAL VIBRATING EQUIPMENT SUPPLEMENTED BY HAND-SPADING, RODDING, OR TAMPING. USE EQUIPMENT AND PROCEDURES FOR CONSOLIDATION OF CONCRETE IN ACCORDANCE WITH ACI 304.

DO NOT USE VIBRATORS TO TRANSPORT CONCRETE INSIDE FORMS. INSERT AND WITHDRAW VIBRATORS VERTICALLY AT UNIFORMLY SPACED LOCATIONS NOT FARTHER THAN VISIBLE EFFECTIVENESS OF MACHINE. PLACE VIBRATORS TO RAPIDLY PENETRATE PLACED LAYER, AND AT LEAST 6 INCHES INTO PRECEDING LAYER. DO NOT INSERT VIBRATORS INTO LOWER LAYERS OF CONCRETE THAT HAVE BEGUN TO SET. AT EACH INSERTION LIMIT DURATION OF VIBRATION TO THE NECESSARY TO CONSOLIDATE CONCRETE AND COMPLETE EMBEDMENT OF REINFORCEMENT AND OTHER EMBEDDED ITEMS WITHOUT CAUSING SEGREGATION OF MIX.

PLACING CONCRETE SLABS: DEPOSIT AND CONSOLIDATE CONCRETE SLABS IN A CONTINUOUS OPERATION WITHIN LIMITS OF CONSTRUCTION JOINTS, UNTIL THE PLACING OF A PANEL OR SECTION IS COMPLETED.

CONSOLIDATE CONCRETE DURING PLACING OPERATIONS SO THAT CONCRETE IS THOROUGHLY WORKED AROUND REINFORCEMENT AND OTHER EMBEDDED ITEMS AND INTO CORNERS.

BRING SLAB SURFACES TO CORRECT LEVEL WITH STRAIGHTEDGE AND STRIKE OFF. USE BULL FLOATS OR DARBIES TO SMOOTH SURFACE, FREE OF HIPS OR HOLLONS. DO NOT DISTURB SLAB SURFACES PRIOR TO BEGINNING FINISHING OPERATIONS.

MAINTAIN REINFORCING IN PROPER POSITION DURING CONCRETE PLACEMENT.

COLD-WEATHER PLACING: COMPLY WITH PROVISIONS OF ACI 306 AND AS FOLLOWS. PROTECT CONCRETE WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH THAT COULD BE CAUSED BY FROST, FREEZING ACTIONS, OR LOW TEMPERATURES. WHEN AIR TEMPERATURE HAS FALLEN TO OR IS EXPECTED TO FALL BELOW 40 DEGREES F (4 DEGREES C), UNIFORMLY HEAT WATER AND AGGREGATES BEFORE MIXING TO OBTAIN A CONCRETE MIXTURE TEMPERATURE OF NOT LESS THAN 50 DEGREES F (10 DEGREES C) AND NOT MORE THAN 80 DEGREES F (27 DEGREES C) AT POINT OF PLACEMENT.

DO NOT USE FROZEN MATERIALS OR MATERIALS CONTAINING ICE OR SNOW. DO NOT PLACE CONCRETE ON FROZEN SUBGRADE OR ON SUBGRADE CONTAINING FROZEN MATERIALS.

DO NOT USE CALCIUM CHLORIDE, SALT, AND OTHER MATERIALS CONTAINING ANTIFREEZE AGENTS OR CHEMICAL ACCELERATORS UNLESS OTHERWISE ACCEPTED IN MIX DESIGN.

HOT-WEATHER PLACING: WHEN HOT WEATHER CONDITIONS EXIST THAT WOULD SERIOUSLY IMPAIR QUALITY AND STRENGTH OF CONCRETE, PLACE CONCRETE IN COMPLIANCE WITH ACI 305 AND AS HEREIN SPECIFIED.

COOL INGREDIENTS BEFORE MIXING TO MAINTAIN CONCRETE TEMPERATURE AT TIME OF PLACEMENT BELOW 90 DEGREES F (32 DEGREES C). MIXING WATER MAY BE CHILLED, OR CHOPPED ICE MAY BE USED TO CONTROL TEMPERATURE PROVIDED WATER EQUIVALENT OF ICE IS CALCULATED TO TOTAL AMOUNT OF MIXING WATER. USE OF LIQUID NITROGEN TO COOL CONCRETE IS CONTRACTOR'S OPTION.

VI. ROUGH CARPENTRY

GENERAL

1. THIS SECTION INCLUDES FRAMING WITH DIMENSION LUMBER, FRAMING WITH ENGINEERED WOOD PRODUCTS, HOOD BLOCKING AND HAILERS.
2. DEFINITIONS:
EXPOSED FRAMING: FRAMING NOT CONCEALED BY OTHER CONSTRUCTION.
DIMENSION LUMBER: LUMBER OF 2 INCHES NOMINAL OR GREATER BUT LESS THAN 5 INCHES NOMINAL IN LEAST DIMENSION.

3. DELIVERY, STORAGE, AND HANDLING: STACK LUMBER FLAT WITH SPACERS BENEATH AND BETWEEN EACH BUNDLE TO PROVIDE AIR CIRCULATION. PROTECT LUMBER FROM WEATHER BY COVERING WITH WATERPROOF SHEETING, SECURELY ANCHORED. PROVIDE FOR AIR CIRCULATION AROUND STACKS AND UNDER COVERINGS.

PRODUCTS

4. HOOD PRODUCTS, GENERAL:

LUMBER: 100% K1520 AND APPLICABLE RULES OF GRADING AGENCIES INDICATED. IF NO GRADING AGENCY IS INDICATED, PROVIDE LUMBER THAT COMPLIES WITH THE APPLICABLE RULES OF ANY RULES-WRITING AGENCY CERTIFIED BY THE ALSO BOARD OF REVIEW. PROVIDE LUMBER GRADED BY AN AGENCY CERTIFIED BY THE ALSO BOARD OF REVIEW TO INSPECT AND GRADE LUMBER UNDER THE RULES INDICATED.

FACTORY MARK EACH PIECE OF LUMBER WITH GRADE STAMP OF GRADING AGENCY.

PROVIDE DRESSED LUMBER, S4S, UNLESS OTHERWISE INDICATED.

MAXIMUM MOISTURE CONTENT OF LUMBER: 14 PERCENT FOR 2-INCH NOMINAL THICKNESS OR LESS, NO LIMIT FOR MORE THAN 2-INCH NOMINAL, UNLESS OTHERWISE INDICATED.

ENGINEERED WOOD PRODUCTS: PROVIDE ENGINEERED WOOD PRODUCTS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION AND FOR WHICH CURRENT MODEL CODE RESEARCH OR EVALUATION REPORTS EXIST THAT SHOW COMPLIANCE WITH BUILDING CODE IN EFFECT FOR PROJECT.

5. DIMENSION LUMBER FRAMING

LOAD-BEARING WALLS: NO.2 GRADE.
SPECIES: HEM-FIR (NORTH), NLGA, SOUTHERN PINE SP1B, DOUGLAS FIR-LARCH-KLDB OR WYPA.

RAFTERS AND OTHER FRAMING: CONSTRUCTION OR NO.2 GRADE.
SPECIES: HEM-FIR (NORTH), NLGA, SOUTHERN PINE SP1B, DOUGLAS FIR-LARCH-KLDB OR WYPA.

EXPOSED EXTERIOR FRAMING: PROVIDE MATERIAL HAND-SELECTED FOR UNIFORMITY OF APPEARANCE AND FREEDOM FROM CHARACTERISTICS ON EXPOSED SURFACES AND EDGES, THAT WOULD IMPAIR FINISH APPEARANCE, INCLUDING DECAY, HONEYCOMB, KNOT-HOLES, SHAKE SPLITS, TORN GRAIN, AND WANE.
SPECIES AND GRADE: AS INDICATED ABOVE FOR LOAD-BEARING CONSTRUCTION OF SAME TYPE.

6. ENGINEERED WOOD PRODUCTS

LAMINATED-VENEER LUMBER: STRUCTURAL COMPOSITE LUMBER MADE FROM WOOD VENEERS WITH GRAIN PRIMARILY PARALLEL TO MEMBER LENGTHS EVALUATED AND MONITORED ACCORDING TO ASTM D7556 AND MANUFACTURED WITH AN EXTERIOR-TYPE ADHESIVE COMPLYING WITH ASTM D7559.

7. MISCELLANEOUS LUMBER

GENERAL: PROVIDE MISCELLANEOUS LUMBER INDICATED AND LUMBER FOR SUPPORT OR ATTACHMENT OF OTHER CONSTRUCTION, INCLUDING BLOCKING AND HAILERS.
FOR ITEMS OF DIMENSION LUMBER SIZE, PROVIDE CONSTRUCTION OR NO.2 GRADE LUMBER OF ANY SPECIES.

FOR BLOCKING NOT USED FOR ATTACHMENT OF OTHER CONSTRUCTION, UTILITY STUD, OR NO.3 GRADE LUMBER OF ANY SPECIES MAY BE USED PROVIDED THAT IT IS CUT AND SELECTED TO ELIMINATE DEFECTS THAT WILL INTERFERE WITH ITS ATTACHMENT AND PURPOSE.

FOR BLOCKING AND HAILERS USED FOR ATTACHMENT OF OTHER CONSTRUCTION, SELECT AND CUT LUMBER TO ELIMINATE KNOTS AND OTHER DEFECTS THAT WILL INTERFERE WITH ATTACHMENT OF OTHER WORK.

8. FASTENERS

GENERAL: PROVIDE FASTENERS OF SIZE AND TYPE INDICATED THAT COMPLY WITH REQUIREMENTS SPECIFIED IN THIS ARTICLE FOR MATERIAL AND MANUFACTURE.

WHERE ROUGH CARPENTRY IS EXPOSED TO WEATHER, IN GROUND CONTACT, PRESSURE-PRESERVATIVE TREATED, OR IN AREA OF HIGH RELATIVE HUMIDITY, PROVIDE FASTENERS WITH HOT-DIP ZINC COATING COMPLYING WITH ASTM A153/A153M OR GALVANIZED-STEEL SHEET. HOT-DIP, ZINC-COATED STEEL SHEET COMPLYING WITH ASTM A653/A653M, 660 COATING DESIGNATION.

JOIST HANGERS: U-SHAPED JOIST HANGERS WITH 2-INCH LONG SEAT AND 1/4-INCH WIDE HAILING FLANGES AT LEAST 85 PERCENT OF JOIST DEPTH, THICKNESS: 0.030 INCH.

EXECUTION

9. INSTALLATION, GENERAL

SET ROUGH CARPENTRY TO REQUIRED LEVELS AND LINES, WITH MEMBERS PLUMB, TRUE TO LINE, CUT, AND FITTED. FIT ROUGH CARPENTRY TO OTHER CONSTRUCTION, SCRIBE AND COPE AS NEEDED FOR ACCURATE FIT. LOCATE FURRINS, HAILERS, BLOCKING, AND SIMILAR SUPPORTS TO COMPLY WITH REQUIREMENTS FOR ATTACHING OTHER CONSTRUCTION. FRAMING STANDARD. COMPLY WITH AFPA'S WCD1, "DETAILS FOR CONVENTIONAL WOOD FRAME CONSTRUCTION" UNLESS OTHERWISE INDICATED.

FRAMING WITH ENGINEERED WOOD PRODUCTS: INSTALL ENGINEERED WOOD PRODUCTS TO COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS UNLESS OTHERWISE INDICATED.

PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FINISH MATERIALS, FIXTURES, SPECIALTY ITEMS, AND TRIM.

SORT AND SELECT LUMBER SO THAT NATURAL CHARACTERISTICS WILL NOT INTERFERE WITH INSTALLATION OR WITH FASTENING OTHER MATERIALS TO LUMBER. DO NOT USE MATERIALS WITH DEFECTS THAT INTERFERE WITH FUNCTION OF MEMBER OR PIECES THAT ARE TOO SMALL TO USE WITH MINIMUM NUMBER OF JOINTS OR OPTIMUM JOINT ARRANGEMENT.

SECURELY ATTACH ROUGH CARPENTRY WORK TO SUBSTRATE BY ANCHORS AND FASTENING AS INDICATED, COMPLYING WITH THE FOLLOWING: RESINER-212 FOR POWER-DRIVEN FASTENERS.

USE STEEL COMMON NAILS UNLESS OTHERWISE INDICATED. SELECT FASTENERS OF SIZE THAT WILL NOT FULLY PENETRATE MEMBERS WHERE OPPOSITE SIDE WILL BE EXPOSED TO VIEW OR WILL RECEIVE FINISH MATERIALS. MAKE TIGHT CONNECTIONS BETWEEN MEMBERS. INSTALL FASTENERS WITHOUT SPLITTING WOOD. DRIVE NAILS SANE BUT DO NOT CONSIDER NAIL HEADS UNLESS OTHERWISE INDICATED.

FOR EXPOSED WORK, ARRANGE FASTENERS IN STRAIGHT ROWS PARALLEL WITH EDGES OF MEMBERS, WITH FASTENERS EVENLY SPACED, AND WITH ADJACENT ROWS STAGGERED.

10. HOOD BLOCKING, AND HAILER INSTALLATION

INSTALL WHERE INDICATED AND WHERE REQUIRED FOR ATTACHING OTHER WORK. FORM TO SHAPES INDICATED AND CUT AS REQUIRED FOR TRUE LINE AND LEVEL OF ATTACHED WORK. COORDINATE LOCATIONS WITH OTHER WORK INVOLVED.

ATTACH ITEMS TO SUBSTRATES TO SUPPORT APPLIED LOADS. RECESS BOLTS AND NUTS FLUSH WITH SURFACES UNLESS OTHERWISE INDICATED.

11. RAFTER FRAMING INSTALLATION

RAFTERS: NOTCH TO FIT EXTERIOR WALL PLATES AND USE METAL FRAMING ANCHORS. DOUBLE RAFTERS TO FORM HEADERS AND TRIMMERS AT OPENINGS IN ROOF FRAMING, IF ANY, AND SUPPORT WITH METAL HANGERS. WHERE RAFTERS ABUT AT RIDGE, PLACE DIRECTLY OPPOSITE EACH OTHER AND NAIL TO RIDGE MEMBER OR USE METAL RIDGE HANGERS.

PROVIDE SPECIAL FRAMING AS INDICATED FOR EAVES, OVERHANGS, DORMERS, AND SIMILAR CONDITIONS IF ANY.

VI. SHEATHING

GENERAL

1. THIS SECTION INCLUDES WALL SHEATHING AND ROOF SHEATHING.

2. DELIVERY, STORAGE, AND HANDLING

STACK PANELS FLAT WITH SPACERS BENEATH AND BETWEEN EACH BUNDLE TO PROVIDE AIR CIRCULATION. PROTECT SHEATHING FROM WEATHER BY COVERING WITH WATERPROOF SHEETING, SECURELY ANCHORED. PROVIDE FOR AIR CIRCULATION AROUND STACKS AND UNDER COVERINGS.

PRODUCTS

3. WALL SHEATHING

ORIENTED-STRAND-BOARD WALL SHEATHING: EXPOSURE 1, SHEATHING, NOMINAL THICKNESS: NOT LESS THAN 1/2 INCH

4. ROOF SHEATHING

ORIENTED-STRAND-BOARD ROOF SHEATHING: EXPOSURE 1, SHEATHING, NOMINAL THICKNESS: NOT LESS THAN 1/2 INCH.

5. FASTENERS

GENERAL: PROVIDE FASTENERS OF SIZE AND TYPE INDICATED THAT COMPLY WITH REQUIREMENTS SPECIFIED IN THIS ARTICLE FOR MATERIAL AND MANUFACTURE.
FOR ROOF AND WALL SHEATHING, PROVIDE FASTENERS WITH HOT-DIP ZINC COATING COMPLYING WITH ASTM A153/A153M.

EXECUTION

6. INSTALLATION, GENERAL

DO NOT USE MATERIALS WITH DEFECTS THAT IMPAIR QUALITY OF SHEATHING OR PIECES THAT ARE TOO SMALL TO USE WITH MINIMUM NUMBER OF JOINTS OR OPTIMUM JOINT ARRANGEMENT. ARRANGE JOINTS SO THAT PIECES DO NOT SPAN BETWEEN FEWER THAN THREE SUPPORT MEMBERS.

CUT PANELS AT PENETRATIONS, EDGES, AND OTHER OBSTRUCTIONS OF WORK; FIT TIGHTLY AGAINST ADJUTING CONSTRUCTION UNLESS OTHERWISE INDICATED.

USE COMMON WIRE NAILS UNLESS OTHERWISE INDICATED. SELECT FASTENERS OF SIZE THAT WILL NOT FULLY PENETRATE MEMBERS WHERE OPPOSITE SIDE WILL BE EXPOSED TO VIEW OR WILL RECEIVE FINISH MATERIALS. MAKE TIGHT CONNECTIONS. INSTALL FASTENERS WITHOUT SPLITTING WOOD.

COORDINATE WALL AND ROOF SHEATHING INSTALLATION WITH FLASHING AND JOINT-SEALANT INSTALLATION SO THESE MATERIALS ARE INSTALLED IN SEQUENCE AND MANNER THAT PREVENT EXTERIOR MOISTURE FROM PASSING THROUGH COMPLETED ASSEMBLY.

COORDINATE SHEATHING INSTALLATION WITH INSTALLATION OF MATERIALS INSTALLED OVER SHEATHING SO SHEATHING IS NOT EXPOSED TO PRECIPITATION OR LEFT EXPOSED AT END OF THE WORKDAY WHEN RAIN IS FORECAST.

VI. MISCELLANEOUS CARPENTRY

1. THE GENERAL CONTRACTOR MUST ASSUME THE RESPONSIBILITY OF VERIFYING DETAILS AND DIMENSIONS, SELECTING FABRICATION PROCESSES AND SHORING. VERIFY ALL COLOR SELECTIONS WITH THE OWNER. OBTAIN ALL BUILDING AND FIRE PERMITS BEFORE BEGINNING CONSTRUCTION.

2. SHEET METAL FLASHING AND CORNER FLASHING SHALL BE WATER/TIGHT/WATERPROOF AND COMPLY WITH "ARCHITECTURAL SHEET METAL MANUAL" BY SHAGNA. FLASHING SHALL BE ALUMINUM UNLESS OTHERWISE NOTED, REQUIRED BY MANUFACTURERS, AND/OR WHERE ALUMINUM IS INCOMPATIBLE WITH OTHER COMPONENTS OR PRODUCTS.

3. ROOFING: PROVIDE AND/OR INSTALL THE ROOFING SHOWN ON THE DRAWINGS AND EVERYTHING REQUIRED TO COMPLETE A GOOD WEATHER/WINDPROOF INSTALLATION THAT QUALIFIES FOR THE MANUFACTURER'S WARRANTY, WHERE APPLICABLE. CONTRACTOR SUPPLIED CORRUGATED METAL ROOFING SHALL BE 10' CORRUGATED PATTERNED PANELS THAT REPLICATE THE LOOK OF A REAL RUSTED ROOF, "KORTEN AZP RAM" BY WESTERN STATES METAL ROOFING, 055-426-1030 (OR APPROVED EQUAL). FELT UNDERLAYMENT SHALL CONFORM TO ASTM D 226, AND SHALL BE 154 FELT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

4. SOFFIT PANELS SHALL BE CELLULAR PVC 1/2" SHEETS AVAILABLE FROM AZEK TRIMBOARDS (OR APPROVED EQUAL) VTCOR CORP., 2081 N. 100TH STREET, LEXA, KS 66220, 413-322-2935. CELLULAR PVC MATERIAL SHALL BE FREE OF VOIDS, HOLES, CRACKS, FOREIGN INCLUSIONS AND OTHER DEFECTS. UNIFORM SURFACE SHALL BE FREE FROM CUPPING, WARPING AND TWISTING. PROVIDE MANUFACTURER'S 25 YEAR WARRANTY.

FASTENERS - ALL TYPES OF DURABLE FASTENERS (STAINLESS STEEL AND/ OR HOT DIPPED-GALVANIZED) THAT WORK WELL WITH WOOD ARE ACCEPTABLE. FASTENERS FROM A NAIL OR NAIL WIRE HELL. STANDARD BOX NAILS WITH A FULL ROUND HEAD ARE PREFERRED.

ADHESIVES - BONDING AZEK TO AZEK, SOLVENT BASED ADHESIVES SYSTEMS USED FOR RIGID PVC PIPE WORK WELL. LATEX ADHESIVES PROVIDE MORE WORKING TIME. FOR BONDING AZEK TO VARIOUS SUBSTRATES - IN GENERAL CONTACT CEMENT, EPOXY, RUBBER BASED AND URETHANE ADHESIVES ARE ACCEPTABLE.

SEALANTS - USE URETHANE, POLYURETHANE OR ACRYLIC BASED SEALANTS WITHOUT SILICONE.

INSTALLATION - COMPLY WITH ALL MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTIONS AND TECHNICAL BULLETIN INSTRUCTIONS.

5. PAINTING OF PVC SOFFIT AND WOOD TRIM BOARDS INDICATED TO BE PAINTED SHALL BE DONE USING COMMERCIAL GRADE, PREMIUM EXTERIOR ENAMEL ACRYLIC LATEX PAINT BY SHERWIN-WILLIAMS, PITTSBURGH PAINT, PORTER PAINT, BELLAMIN HOORE, OR APPROVED EQUAL. COLORS TO BE SELECTED, PREPARE AND PRIME ALL SURFACES PER MANUFACTURER'S REQUIREMENTS. SOFFIT PANELS TO BE PAINTED WHITE UNLESS OTHERWISE INDICATED.

IX. PAINTING

GENERAL SPECIFICATIONS

1. WORK INCLUDED

THIS SECTION INCLUDES SURFACE PREPARATION AND FIELD PAINTING OF EXPOSED EXTERIOR ITEMS AND SURFACES

PAINT EXPOSED SURFACES INDICATED ON DRAWING. IF A COLOR OF FINISH IS NOT INDICATED, ARCHITECT WILL SELECT FROM STANDARD COLORS AND FINISHES AVAILABLE.

DO NOT PAINT PREFINISHED ITEMS, CONCEALED SURFACES, FINISHED METAL SURFACES, OPERATING PARTS, AND LABELS.

2. SUBMITTALS

PRODUCT DATA: FOR EACH PAINT SYSTEM INDICATED, INCLUDE PRIMERS.

SAMPLES FOR VERIFICATION: FOR EACH COLOR AND MATERIAL TO BE APPLIED, WITH TEXTURE TO SIMULATE ACTUAL CONDITIONS, ON REPRESENTATIVE SAMPLES OF THE ACTUAL SUBSTRATE.

3. QUALITY ASSURANCE

SOURCE LIMITATIONS: OBTAIN PRIMERS FOR EACH COATING SYSTEM FROM THE SAME MANUFACTURER AS THE FINISH COATS.

4. DELIVERY, STORAGE, AND HANDLING

DELIVER MATERIALS TO PROJECT SITE IN MANUFACTURER'S ORIGINAL, UNOPENED PACKAGES AND CONTAINERS BEARING MANUFACTURER'S NAME AND LABEL.

STORE MATERIALS NOT IN USE IN TIGHTLY COVERED CONTAINERS IN A WELL-VENTILATED AREA AT A MINIMUM AMBIENT TEMPERATURE OF 45°F/56°F. MAINTAIN STORAGE CONTAINERS IN A CLEAN CONDITION, FREE OF FOREIGN MATERIALS AND RESIDUE.

5. PROJECT CONDITIONS

APPLY WATERBORNE PAINTS ONLY WHEN TEMPERATURES OF SURFACES TO BE PAINTED AND SURROUNDING AIR ARE BETWEEN 50 AND 90°F/10 AND 50°C/50°F.

APPLY SOLVENT-THINNED PAINTS ONLY WHEN TEMPERATURES OF SURFACES TO BE PAINTED AND SURROUNDING AIR ARE BETWEEN 45 AND 85°F/10 AND 30°C/50°F.

DO NOT APPLY PAINT IN SNOW, RAIN, FOG, OR MIST, OR WHEN RELATIVE HUMIDITY EXCEEDS 85 PERCENT; OR AT TEMPERATURES LESS THAN 5°F/23°C ABOVE THE DEW POINT; OR TO DAMP OR WET SURFACES.

PRODUCTS

6. PAINT MATERIALS, GENERAL

MATERIAL COMPATIBILITY: PROVIDE BLOCK FILLERS, PRIMERS, AND FINISH-COAT MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH THE SUBSTRATES INDICATED UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY MANUFACTURER BASED ON TESTING AND FIELD EXPERIENCE.

MATERIAL QUALITY: PROVIDE MANUFACTURER'S BEST-QUALITY PAINT MATERIAL OF THE VARIOUS COATING TYPES SPECIFIED THAT ARE FACTORY FORMULATED AND RECOMMENDED BY MANUFACTURER FOR APPLICATION INDICATED. PAINT-MATERIAL CONTAINERS NOT DISPLAYING MANUFACTURER'S PRODUCT IDENTIFICATION WILL NOT BE ACCEPTABLE.

PROPRIETARY NAMES: USE OF MANUFACTURER'S PROPRIETARY PRODUCT NAMES TO DESIGNATE COLORS OR MATERIALS IS NOT INTENDED TO IMPLY THAT PRODUCTS NAMED ARE REQUIRED TO BE USED TO THE EXCLUSION OF EQUIVALENT PRODUCTS OF OTHER MANUFACTURERS. FURNISH MANUFACTURER'S MATERIAL DATA AND CERTIFICATES OF PERFORMANCE FOR PROPOSED SUBSTITUTIONS.

COLORS: AS INDICATED ON THE DRAWINGS AND/OR AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.

7. EXTERIOR AND INTERIOR FINISH COATS

EXTERIOR SATIN ACRYLIC ENAMEL: FACTORY-FORMULATED SATIN WATERBORNE ACRYLIC-LATEX ENAMEL FOR EXTERIOR APPLICATION.

GLIDDEN PROFESSIONAL: FORTIS 450 EXTERIOR SATIN PAINT; APPLIED AT A DRY FILM THICKNESS OF NOT LESS THAN .12 MILS.

EXECUTION

8. EXAMINATION

EXAMINE SUBSTRATES, AREAS, AND CONDITIONS, WITH APPLICATOR PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR PAINT APPLICATION.

PROCEED WITH PAINT APPLICATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED AND SURFACES RECEIVING PAINT ARE THOROUGHLY DRY.
START OF PAINTING WILL BE CONSIDERED AS APPLICATOR'S ACCEPTANCE OF SURFACES AND CONDITIONS WITHIN A PARTICULAR AREA.

9. PREPARATION

GENERAL: REMOVE HARDWARE AND HARDWARE ACCESSORIES, PLATES, MACHINED SURFACES, LIGHTING FIXTURES, AND SIMILAR ITEMS ALREADY INSTALLED THAT ARE NOT TO BE PAINTED. IF REMOVAL IS IMPRACTICAL OR IMPOSSIBLE BECAUSE OF SIZE OR WEIGHT OF THE ITEM, PROVIDE SURFACE-APPLIED PROTECTION BEFORE SURFACE PREPARATION

AND PAINTING.

CLEANING: BEFORE APPLYING PAINT OR OTHER SURFACE TREATMENTS, CLEAN SUBSTRATES OF SUBSTANCES THAT COULD IMPAIR BOND OF THE VARIOUS COATINGS. REMOVE OIL AND GREASE BEFORE CLEANING.

SURFACE PREPARATION: CLEAN AND PREPARE SURFACES TO BE PAINTED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR EACH PARTICULAR SUBSTRATE CONDITION AND AS SPECIFIED.

MATERIAL PREPARATION: MIX AND PREPARE PAINT MATERIALS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

10. APPLICATION

GENERAL: APPLY PAINT ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. USE APPLICATORS AND TECHNIQUES BEST SUITED FOR SUBSTRATE AND TYPE OF MATERIAL BEING APPLIED. ALL PAINTED SURFACES SHALL RECEIVE 2 FINISH COATS OVER A PRIMER COAT.

DO NOT PAINT OVER DIRT, RUST, SCALE, GREASE, MOISTURE, SCUFFED SURFACES, OR CONDITIONS DETRIMENTAL TO FORMATION OF A DURABLE PAINT FILM.

PROVIDE FINISH COATS THAT ARE COMPATIBLE WITH PRIMERS USED.
SAND LIGHTLY BETWEEN EACH SUCCEEDING ENAMEL COAT.

SCHEDULING PAINTING: APPLY FIRST COAT TO SURFACES THAT HAVE BEEN CLEANED, PRETREATED, OR OTHERWISE PREPARED FOR PAINTING AS SOON AS PRACTICABLE AFTER PREPARATION AND BEFORE SUBSEQUENT SURFACE DEGRADATION.

THE NUMBER OF COATS AND FILM THICKNESS REQUIRED ARE THE SAME REGARDLESS OF APPLICATION METHOD. DO NOT APPLY SUCCEEDING COATS UNTIL PREVIOUS COAT HAS CURED AS RECOMMENDED BY MANUFACTURER. IF SANDING IS REQUIRED TO PRODUCE A SMOOTH, EVEN SURFACE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS, SAND BETWEEN APPLICATIONS.

IF UNDERCOATS OR OTHER CONDITIONS SHOW THROUGH FINAL COAT OF PAINT, APPLY ADDITIONAL COATS UNTIL PAINT FILM IS OF UNIFORM FINISH, COLOR, AND APPEARANCE. GIVE SPECIAL ATTENTION TO EDGES, CORNERS, CREVICES, WELDS, AND EXPOSED FASTENERS RECEIVE A DRY FILM THICKNESS EQUIVALENT TO THAT OF FLAT SURFACES.

ALLOW SUFFICIENT TIME BETWEEN SUCCESSIVE COATS TO PERMIT PROPER DRYING. DO NOT RECOAT SURFACES UNTIL PAINT HAS DRIED TO WHERE IT FEELS FIRM, AND DOES NOT DEFORM OR FEEL STICKY UNDER MODERATE THUMB PRESSURE, AND UNTIL APPLICATION OF ANOTHER COAT OF PAINT DOES NOT CAUSE UNDERCOAT TO LIFT OR LOSE ADHESION.

APPLICATION PROCEDURES: APPLY PAINTS AND COATINGS BY BRUSH, ROLLER, SPRAY, OR OTHER APPLICATORS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

BRUSHES: USE BRUSHES BEST SUITED FOR TYPE OF MATERIAL APPLIED. USE BRUSH OF APPROPRIATE SIZE FOR SURFACE OR ITEM BEING PAINTED.

ROLLERS: USE ROLLERS OF CARPET, VELVET-BACK, OR HIGH-PILE SHEEP'S WOOL AS RECOMMENDED BY MANUFACTURER FOR MATERIAL AND TEXTURE REQUIRED.
SPRAY EQUIPMENT: USE AIRLESS SPRAY EQUIPMENT WITH ORIFICE SIZE AS RECOMMENDED BY MANUFACTURER FOR MATERIAL AND TEXTURE REQUIRED.

MINIMUM COATING THICKNESS: APPLY PAINT MATERIALS NO THINNER THAN MANUFACTURER'S RECOMMENDED SPREADING RATE TO ACHIEVE DRY FILM THICKNESS INDICATED. PROVIDE TOTAL DRY FILM THICKNESS OF THE ENTIRE SYSTEM AS RECOMMENDED BY MANUFACTURER.

PRIME COATS: BEFORE APPLYING FINISH COATS, APPLY A PRIME COAT, AS RECOMMENDED BY MANUFACTURER, TO MATERIAL THAT IS REQUIRED TO BE PAINTED OR FINISHED AND THAT HAS NOT BEEN PRIME COATED BY OTHERS. RECOAT FORMED AND SEALED SURFACES WHERE EVIDENCE OF SUCTION SPOTS OR UNSEALED AREAS IN FIRST COAT APPEARS, TO ENSURE A FINISH COAT WITH NO BURIN-THROUGH OR OTHER DEFECTS DUE TO INSUFFICIENT SEALING.

FINISHED (OPAQUE) FINISHES: COMPLETELY COVER SURFACES AS NECESSARY TO PROVIDE A SMOOTH, OPAQUE SURFACE OF UNIFORM FINISH, COLOR, APPEARANCE, AND COVERAGE. CLOUDINESS, SPOTTING, HOLIDAYS, LAPS, BRUSH MARKS, RUNS, SAGS, ROPIBNESS, OR OTHER SURFACE IMPERFECTIONS WILL NOT BE ACCEPTABLE.

COMPLETED WORK: MATCH APPROVED SAMPLES FOR COLOR, TEXTURE, AND COVERAGE. REMOVE, REFINISH, OR REPAINT WORK NOT COMPLYING WITH REQUIREMENTS.

11. CLEANING

CLEANUP: AT THE END OF EACH WORKDAY, REMOVE EMPTY CANS, RAGS, RUBBISH, AND OTHER SPARGED PAINT MATERIALS FROM PROJECT SITE.

AFTER COMPLETING PAINTING, CLEAN GLASS AND PAINT-SPATTERED SURFACES. REMOVE SPATTERED PAINT BY WASHING AND SCRAPING WITHOUT SCRATCHING OR DAMAGING ADJACENT FINISHED SURFACES.

12. PROTECTION

PROTECT WORK OF OTHER TRADES, WHETHER BEING PAINTED OR NOT, AGAINST DAMAGE FROM PAINTING. CORRECT DAMAGE BY CLEANING, REPAIRING OR REPLACING, AND REPAINTING, AS APPROVED BY ARCHITECT.

PROVIDE "WET PAINT" SIGNS TO PROTECT NEWLY PAINTED FINISHES. AFTER COMPLETING PAINTING OPERATIONS, REMOVE TEMPORARY PROTECTIVE WRAPPINGS PROVIDED BY OTHERS TO PROTECT THEIR WORK.

LAND PLANNING
RECREATION PLANNING AND DESIGN
LANDSCAPE ARCHITECTURE



Al Foster
Trailhead Park
Grand Ave & 3rd St.
Wildwood, Missouri

OWNER

City of Wildwood
16860 Main Street
Wildwood, MO
63040
Ph: 636-458-0440
Fax: (636) 458-6969

SHEET TITLE

Technical
Specification

JOB NUMBER

10015

DATE

02/08/16

DRAWN BY

DWD

REVISION

SHEET NUMBER

S2

5030 GRIFFIN ROAD
ST. LOUIS, MO 63128
(314)984-9211 FAX(314)943-1710



WILDWOOD

March 15, 2016

MEMORANDUM

To: Planning/Economic Development/Parks Committee Members

From: Department of Planning and Parks

Re: **On-Going and Long-Term Maintenance Costs for Parks and Trail Facilities**

Cc: The Honorable Timothy Woerther, Mayor
Administration/Public Works Committee Members of the City of Wildwood
Ryan S. Thomas, P.E., City Administrator
Rob Golterman, City Attorney
Rick Brown, P.E. and P.T.O.E., Director of Public Works
Kathy Arnett, Assistant Director of Planning and Parks
Gary Crews, Superintendent of Parks and Recreation

The City Council, during its Strategic Planning Process in March 2015, identified the need to ensure that, as facilities are added to the City's system of parks and trails, the costs associated with their maintenance and upkeep are addressed and managed as well. The Chair of the Planning/Economic Development/Parks Committee also requested, which was agreed to by the members, that each month an update of spending on parks and trail maintenance be provided, along with any unusual allocations in this regard as well. Therefore, as part of this reporting of monthly expenses and expenditures, the Department will continue to provide the summary of expenditures by it in its maintenance of facilities, since 2006, which is identified below:

Year	Original Budget Allocation (\$)	Amended Budget Allocation (\$)	Actual Amount (\$)
2006	15,000	64,000	68,454
2007	62,500	58,486	57,880
2008	67,000	67,000	65,176
2009	68,000	120,000	112,608
2010	120,000	110,000	103,275
2011	125,000	135,000	127,995
2012	135,000	164,000	173,980
2013	175,000	160,000	129,788
2014	175,000	161,200	133,033
2015	160,000	160,000	172,679*
2016	170,000	TBD	TBD

*As of December 31, 2015 (Final)

The Department, in calculating the expenditures for Fiscal Year 2016, did so upon the date the work was completed, not necessarily the month in which the invoice was paid. Since the Committee's last meeting, not

all of the invoices for the month of February have been paid, but a total of \$1,961.50 has been expended thus far for maintenance of park and trail facilities. These expenditures include the following items:

- ✓ Trash removal in park properties and trail locations
- ✓ Snow removal
- ✓ Cleaning picnic tables and pads at Glencoe Park

The spending for the year to date, on a per month basis of when the work was completed, is provided below:

2016 Expenditures	
January	\$7,555.14
February (incomplete)	\$1,961.50
Year to Date Total	\$9,516.64

The spending for the year to date, broken down by each park, is listed below:

2016 Expenditures – By Park												
	Al Foster	Anniversary	Bluff View	Community	Glencoe	Old Pond School	Rock Hollow	Pedestrian Bridges	Taylor/100 Trail	Events	General Trails	General Work
Jan	\$0	\$120.00	\$489.50	\$868.00	\$200.00	\$132.00	\$260.00	\$667.00	\$80.00	\$3,990.39	\$340.00	\$408.25
Feb	\$0	\$40.00	\$40.00	\$610.00	\$671.50	\$40.00	\$40.00	\$40.00	\$0	\$0	\$480.00	\$0
Mar												
Apr												
May												
Jun												
Jul												
Aug												
Sep												
Oct												
Nov												
Dec												
Total		\$160.00	\$529.50	\$1,478.00	\$871.50	\$172.00	\$300.00	\$707.00	\$80.00	\$3,990.39	\$820.00	\$408.25

The Committee had previously requested information on the unusually high maintenance costs in 2012. The Department has completed this research and found that two (2) budget adjustments were completed for parks and trails maintenance in 2012. A mid-year budget adjustment, in the amount of fifteen thousand dollars (\$15,000.00), was approved due to a large amount of tree removal that was completed in the Spring. Most of this tree removal was completed in the Glencoe Area. A second budget adjustment was completed at year-end in the amount of fourteen thousand dollars (\$14,000.00) due to vandalism on the City's trail system. This vandalism was in the pedestrian tunnel under Old State Road.

Also in 2012, several capital projects were completed that totaled nearly twenty-two thousand dollars (\$22,000.00), and included the following:

- replacement of railings within the pavilion at Anniversary Park (\$3,930.00);
- installation of new playground chips at Old Pond School (\$5,437.25);
- grading of a portion of Woodcliffe Heights Park Area to address stormwater runoff (\$5,372.00);
- new slide in Glencoe Park (\$1,247.20);
- repair work in Rock Hollow (\$2,073.75); and
- striping of the trails (\$3,925.00).

The Department can provide more background on this matter at tonight's meeting, if members have specific questions in this regard. If any of the Committee Members should have other questions or comments before tonight's meeting about this information, please feel free to contact the Department of Planning and Parks at (636) 458-0440. A presentation is planned on this matter at tonight's meeting. Thank you for your review of this information and participation in tonight's discussion.



WILDWOOD

**City of Wildwood
Council Planning/Economic Development/Parks Committee**

Parks and Recreation Update for Mid-February 2016 to Mid-March 2016

March 15, 2016

| MEMORANDUM |

| To: Council Planning/Economic Development/Parks Committee Members |

| From: Department of Planning and Parks |

| cc: The Honorable Timothy Woerther, Mayor; Administration/Public Works Committee Members; Rob Golterman, City Attorney; Ryan S. Thomas, P.E., City Administrator |

| Re: Parks and Recreation - Action Plan Update |

Listed below is a summary of the efforts the City has completed/underway relative to implementing the goals and recommendations for parks and recreation that were set forth in the Citizens Committee for Park Progress' Action Plan. This summary reflects major items that have been the focus of the City, since the Committee's February 2016 meeting:

Cabin Fever Hike:

- The 2016 Wildwood Cabin Fever Hike took place on February 27, 2016.
- Each year, this event fills to the two hundred (200) participant capacity very quickly, in addition to a waiting list of thirty (30) plus interested hikers.
- This year, of the two hundred thirty seven (237) register individuals, one hundred sixty seven (167) were checked off the registration list as attending.
- Staff is certain that a number of registered participants who participated did not check in as requested.
- There were a number of participants that arrived to take part in the event without registering also.

Art Festival Planning Committee Meeting:

- The Art Festival Planning Committee met on March 2, 2016 at Wildwood City Hall.
- Significant progress continues to be made planning the 2016 event.
- Once again, considerable time was spent discussing the 2016 Plein Air Art Event.
- Plein Air Invitations were dispensed to Committee Members and the finalized *Rules and Regulations* were also provided to them for review.

Founders' Day Planning Committee:

- The Founders' Day Planning Committee met on March 7, 2016 at Wildwood City Hall.
- The Founders' Day portion of the Celebrate Wildwood Weekend is also moving forward with final preparations for the event.
- Brochures for Car Show, Parade Registration Forms, and information sheets are almost finalized.
- The reorganization of the event grounds seems to be taking shape also.

Home Alone Safety Class:

- The first Home Alone Safety Class of 2016 was held on March 9, 2016, at Wildwood City Hall.
- Fifteen (15) families participated in the two (2) hour class scheduled between 6:30 p.m. and 8:30 p.m.
- The class is taught by representatives from the St. Louis Children's Hospital.

Wildwood/Terrain Runners Film Presentation:

- The City of Wildwood, Terrain Runners Club/Magazine, and the B & B Theater partnered to present three (3) films at the B & B Theater in 2015.
- The first presentation for 2016 took place on March 11, 2016.
- Films presented have been award winning documentary's involving outdoor activities and events, such as the Western States 100 Mile Trail Run and the Barkley Marathons, a race that has only had fourteen (14) finishers since 1986.
- This partnership has proven very popular with all presentations selling out (100 seats).

Next City Events:

- *Baby Sitting 101* – March 15, 2016
- *Spring Balloon Glow* – March 18, 2016
- *Spring Egg Hunt* – March 19, 2016
- *Wildwood Centaur Bicycle Time Trial* – March 19, 2016
- Early Childhood Recreation Program – *Pottery Painting*, March 23 and 24, 2016.

If you should have any questions or comments in this regard, please feel free to contact the Department of Planning and Parks at (636) 458-0440. Thank you for your review of this information and continued support of these and other events and activities of the City.