



AGENDA

OF THE

CITY OF WILDWOOD'S

ARCHITECTURAL REVIEW BOARD

CITY HALL COMMUNITY ROOM

16860 Main Street

Thursday, February 9, 2017 - 7:00 p.m. to 9:00 p.m.

1. Welcome And Roll Call By Chair
2. Approval Of Meeting Minutes Of January 12, 2017

Documents:

[II. DRAFT JANUARY 12, 2017 MINUTES.PDF](#)

3. Review Agenda Items To Be Discussed At Tonight's Meeting By Chair
4. New Business
 - 4.I. Ready For Action – Two (2) Items

- 4.I.i. Review And Discussion Of An Additional Architectural Elevation, Which Was Not Previously Considered By The Architectural Review Board, For A Residential Project That Consists Of 38 Detached Units, Being Located On An 11.6 Acre Site; South Side Of Manchester Road, East And West Of Cherry Hills Meadows Drive; 'R-4' 7,500 Square Foot Residence District, With A Planned Residential Development Overlay District (PRD), (Town Center 'Neighborhood General' District); P.Z. 19-14 The Manors At The Meadows At Cherry Hills; McBride Town Center, LLC. (Ward - Eight)

Documents:

IV. 1. A. P.Z. 19-14 THE MANORS AT THE MEADOWS AT CHERRY HILLS.PDF

- 4.I.ii. Review And Discussion Of Additional Architectural Elevations And Related Materials For An Approved Single Family Residential Project That Consists Of One Hundred Four (104) Detached Units, To Be Located On A 28.0 Acre Tract Of Land; East Side Of State Route 109, South Of State Route 100; R-4 7,500 Square Foot Residence District, With A Planned Residential Development Overlay District (PRD) (Town Center 'Neighborhood Edge District'); P.Z. 25, 26, And 26a – 14 Main Street Crossing, Payne Family Homes L.L.C. (Ward Eight)

Documents:

IV.2.B. P.Z. 25, 26, AND 26A-14 MAIN STREET CROSSING.PDF

5. Old Business:
 - 5.I. Ready For Action – No Items
 - 5.II. Not Ready For Action – No Items
6. Other
7. Public Comment
8. Closing Remarks And Adjournment

Note: The Architectural Review Board will consider and act upon these matters listed above and any such others as may be presented at the meeting and determined appropriate for discussion at that time.

The City of Wildwood will provide reasonable accommodations for persons attending Architectural Review Board meetings. Requests for reasonable accommodations should be made by contacting Laura Rehtin, City Clerk at 636-458-0440 or email at laura@cityofwildwood.com at least 48 hours prior to the start of the meeting.

If you would like to submit a comment regarding an item on this meeting agenda, please visit the [Form Center](#).

**CITY OF WILDWOOD
RECORD OF PROCEEDINGS**

**MEETING OF THE ARCHITECTURAL REVIEW BOARD
CITY HALL, 16860 MAIN STREET, WILDWOOD, MISSOURI
January 12, 2017**

The Architectural Review Board meeting began at 7:00 pm, on Thursday, January 12, 2017, in the Community Room, 16860 Main Street, Wildwood, Missouri.

I. Welcome and Roll Call

Vice-Chair Dial called the meeting to order and welcomed everyone. The following members were in attendance, as noted:

Present [7]

Vice-Chair Dial
Board Member Teller
Secretary Crow
Board Member Hensic
Alternate Lindberg
Commission Liaison Lee
Council Liaison Baugus

Absent [1]

Chair Hoffmann

Staff present:

Director Vujnich and Planner Newberry

City Officials:

None

Petitioners present:

Mike Whalen, Whalen Custom Homes; Franklin D. Wiseman, petitioner's architect was available via conference call, if needed, due to a scheduling conflict.

II. Approval of Meeting Minutes from November 10, 2016

A motion was made by Board Member Teller, seconded by Board Member Hensic, for the approval of the December 8, 2016 meeting minutes, as prepared. There being no discussion or changes, the motion passed by a voice vote [5-0].

III. Agenda Items to be Discussed at Tonight's Meeting

IV. New Business

1. Ready for Action – One (1) Item

- a) Review of the Architectural Elevations and related materials for an approved single family residential subdivision that is located on an eight (8) acre tract of land; west side of Center Avenue, south of Manchester Road; R1-A 22,000 square foot Residence District, a Planned

Residential Development Overlay District (PRD); a total of twelve (12) detached single family dwellings. The review of Architectural Elevations and related materials by the City's Architectural Review Board is a requirement of the site-specific governing ordinance (Ordinance #2088). **P.Z. 21, 22, and 23-14, Stone Mill Subdivision, Whalen Custom Homes. (Ward – Eight)**

i. Stone Mill – Lot 9

Director Vujnich briefly outlined the approved development, noting the Board has previously reviewed and acted upon four (4) homes within this project, and is familiar with its characteristics.

Mike Whalen, Whalen Custom Homes, stated the elevations and construction drawings presented depict a walk-out design; however, the home purchasers decided on a lot that is in-grade. He noted this change would be provided to the Department of Planning for its review, as part of the required permitting process.

Discussion was held among Board Members regarding the cantilevered fireplace located on the rear elevation. The Board advised the petitioner this configuration for fireplaces has not been permitted in the past. The Board set forth the condition the fireplace be extended above the roofline or changed to a hearth-type fireplace, thereby eliminating the cantilevered element on the exterior of the structure. The Board also clarified that the brick returns on the left elevation should be consistent with the construction drawings and not the rendered elevations.

A motion by Board Member Teller, seconded by Secretary Crow, to approve the elevations and related materials, with the above stated conditions. The motion passed by a voice vote [5-0].

2. Not Ready for Action [No Items]

V. Old Business

1. Ready for Action – No Items
2. Not Ready for Action – No Items

VI. Public Comment

VII. Closing Remarks and Adjournment:

Director Vujnich updated the Board regarding the update of the Town Center Development Manual. Board Members expressed an interest in scheduling a future meeting with the City's graphic design consultant and discussed other components of the re-design of it.

Director Vujnich noted the next regularly scheduled meeting will be held on February 9, 2017.

A motion by Board Member Teller, which was seconded by Secretary Crow, to adjourn. The motion was passed by a voice vote [5-0]. The meeting was adjourned at 8:00 p.m.

Approved by:

Date Approved:

Secretary Crow
City of Wildwood Architectural Review Board

DRAFT

McBride and Son Homes Architecture, LLC
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 Missouri State Certificate of Authority #: A-201402020

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The architect's seal affixed to this sheet indicates that the architectural work whose name appears in the seal was prepared or supervised by the architect or a duly licensed architect or architectural drafter. The design and architectural work depicted on this sheet, any other drawings or documents that also include the seal were not prepared by or the responsibility of the professional architect whose name appears in the seal affixed to this sheet and the separate attachment.

CHERRY HILLS

MCBRIDE & SON HOMES
 "A Company Owned by its Employees"

MCBRIDE & SON ARCHITECTURE, LLC
 16201 Sainsbury Ridge Road, Suite 300
 Chesterfield, MO 63071
 Phone: (636) 831-2000
 www.mcbriidesonhomes.com

Berry L. Glantz, AIA, Architect
 MOB A-5743

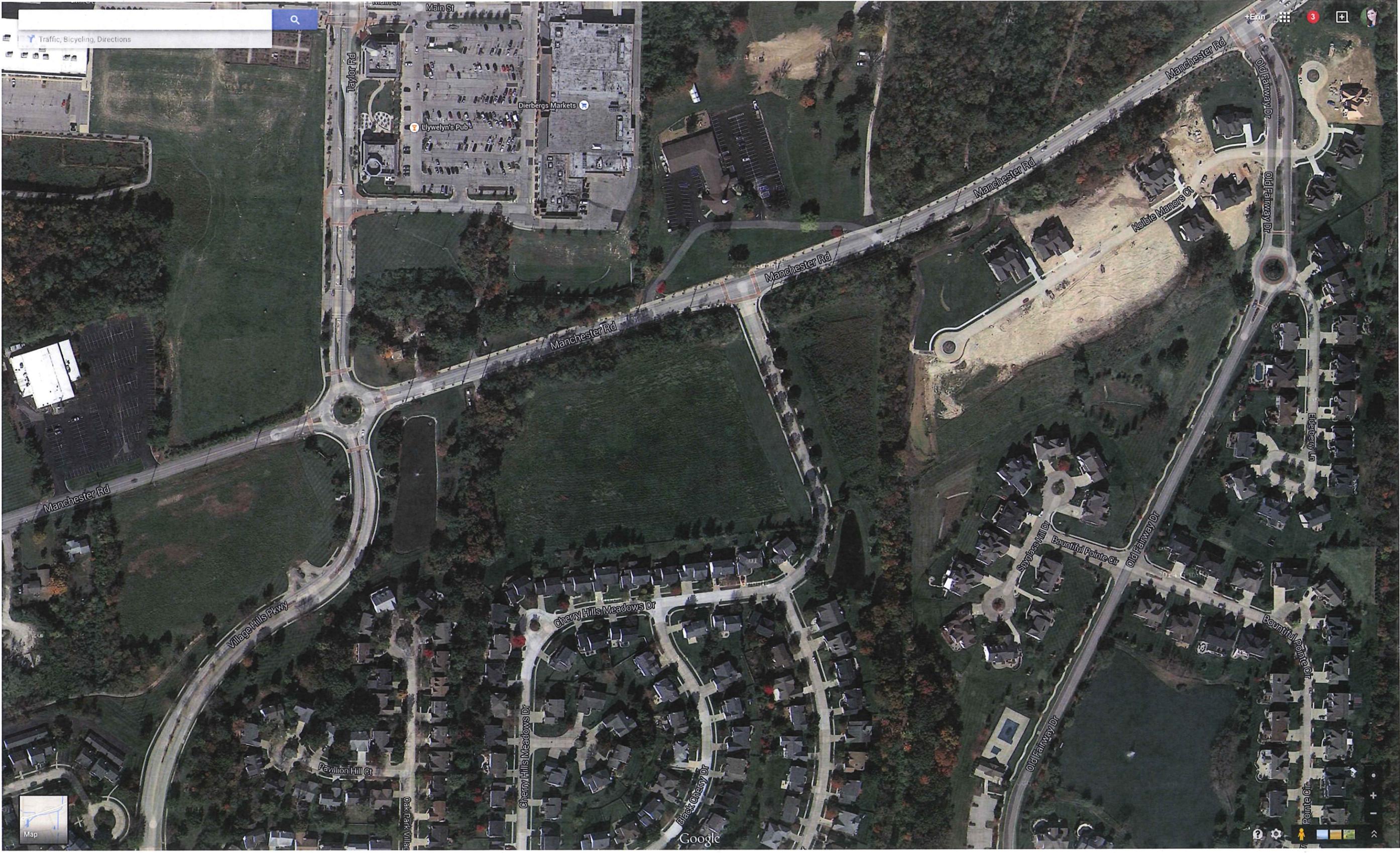
COMPUTER DWG.

GLANTZ JOB NO.

DATE

SHEET REV.

OF	



GENERAL NOTES:

- THIS SITE IS IN THE FOLLOWING DISTRICTS AND UTILITY SERVICE AREAS:
WARD EIGHT
METRO WEST FIRE PROTECTION DISTRICT
ST. LOUIS COUNTY POLICE DEPARTMENT - WILDWOOD PRECINCT
ROCKWOOD R-6 SCHOOL DISTRICT
METROPOLITAN ST. LOUIS SEWER DISTRICT
AMEREN MISSOURI
AT&T
LACLEDE GAS COMPANY
MISSOURI AMERICAN WATER COMPANY
CHARTER CABLE SERVICES
- SANITARY SEWER CONSTRUCTION AND CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AND IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES.
- STORMWATER SYSTEM DESIGN SHALL BE PURSUANT TO THE CITY OF WILDWOOD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND SHALL DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
- THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
- ALL GRADING AND DRAINAGE SHALL BE PER CITY OF WILDWOOD AND METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARDS. SOURCE OF TOPOGRAPHY- MSD ORTHOTOPO.
- NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF WILDWOOD.
NO SLOPES WITHIN CITY OF WILDWOOD RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
- ALL UTILITIES WILL BE LOCATED UNDERGROUND WITHIN THIS SITE.
- ALL STREETS WILL BE CONSTRUCTED TO THE CITY OF WILDWOOD SPECIFICATIONS. STREET 'A' WILL BE PUBLIC AND SHALL BE TWENTY-SIX FT. (26') IN WIDTH (PAVEMENT) IN A FORTY FT. (40') WIDE RIGHT-OF-WAY. STREETS 'B' & 'C' WILL BE PRIVATE AND SHALL BE TWENTY-TWO (22') IN WIDTH (PAVEMENT).
- NO PLANTS, TREES, SIGNS, ETC. GREATER THAN 36" IN HEIGHT SHALL BE PLACED WITHIN THE SIGHT DISTANCE TRIANGLE.
- MAXIMUM HEIGHT OF STREET LIGHTING FIXTURES SHALL BE 16 FEET AND SHALL BE IN COMPLIANCE WITH THE CITY OF WILDWOOD CODE REQUIREMENTS.
- STREET TREES AND SITE LANDSCAPING SHALL BE AS REQUIRED BY THE CITY OF WILDWOOD.
- BUILDING HEIGHT SHALL NOT EXCEED 2 STORIES OR 24 FEET.
- THE NEAREST MAJOR INTERSECTION IS MANCHESTER ROAD AND STATE ROUTE 100 APPROXIMATELY 0.5 MILES TO THE NORTHEAST.
- DECKS ALLOWED TO ENCRoACH INTO REAR YARD SETBACKS ON LOTS 3A-7A. DECKS SHALL BE A MINIMUM 5' OFF OF THE PRIVATE ALLEY.
- THIS WILL NOT BE PART OF MEADOWS OF CHERRY HILLS HOMEOWNERS ASSOCIATION.

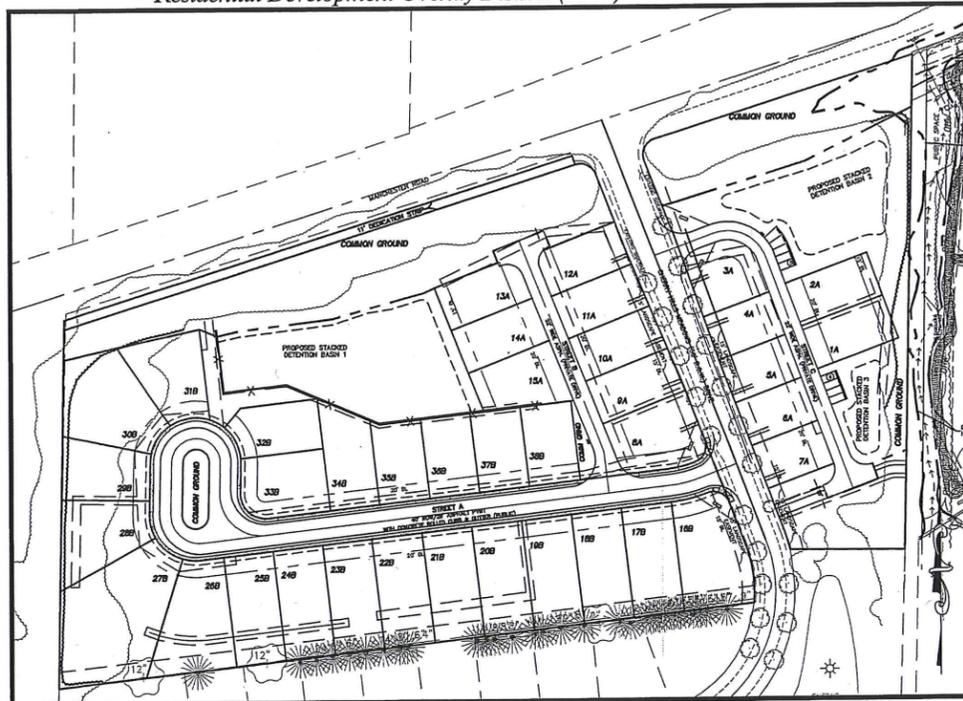
DEVELOPMENT NOTES:

LOCATOR NUMBERS: 24V640065, 24V640076
 SITE ADDRESSES: 16612 MANCHESTER RD. WILDWOOD, MO 102 CHERRY HILLS MEADOW DR. WILDWOOD, MO
 CURRENT OWNER: GRACE WILDWOOD PROPERTY LLC 16612 MANCHESTER RD WILDWOOD, MO 63040
 EXISTING ZONING: R-4 WITH A PLANNED RESIDENTIAL DEVELOPMENT OVERLAY DISTRICT (PRD) - ORD. #2060 NEIGHBORHOOD GENERAL USES OF THE TOWN CENTER PLAN
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL
 GROSS AREA OF SITE: WEST SIDE 8.60 ACRES, EAST SIDE 3.00 ACRES, TOTAL 11.60 ACRES
 AREA OF RIGHT-OF-WAY: 0.85 ACRES
 AREA OF RIGHT-OF-WAY DEDICATION: 0.16 ACRES
 NET ACREAGE: 10.59 ACRES
 DENSITY CALCULATIONS: 10.59 AC x 43,560 SF/AC = 461,100 SF TOTAL
 7,500 SF/LOT = 61 LOTS
 MAXIMUM NUMBER OF LOTS ALLOWED: 61
 NUMBER OF LOTS PROPOSED: 38
 PARKING REQUIREMENTS: 76 SPACES REQUIRED, 76 SPACES PROPOSED
 COMMON GROUND: 3.89 ACRES WHICH IS 34% OF TOTAL SITE AREA
 MINIMUM LOT SIZE: 4,213 S.F.
 MAXIMUM LOT SIZE: 17,867 S.F.
 AVERAGE LOT SIZE: 7,101 S.F.
 LOT DEVELOPMENT REQUIREMENTS: "A" LOTS FRONT YARD SETBACK 15', SIDE YARD SETBACK 5', REAR YARD SETBACK 20'; "B" LOTS FRONT YARD SETBACK 20', SIDE YARD SETBACK 5', REAR YARD SETBACK 15'
 MIN. 10 FEET BETWEEN STRUCTURES
 FLOOD MAP: FIRM NO. 29189C0253H DATED 08-02-95

The Manors at The Meadows at Cherry Hills

A Tract of Land Being All of Adjusted Parcels A and C of
 Boundary Adjustment Plat Recorded in Plat Book 322, Pages 42 and 43 of the
 St. Louis County, Missouri Records, Located Within Section 1, Township 44 North, Range 3 East,
 City of Wildwood, St. Louis County Missouri
Site Development Plan

R-4 7,500 Square Foot Residence District, With A Planned
 Residential Development Overlay District (PRD) Ordinance #2060

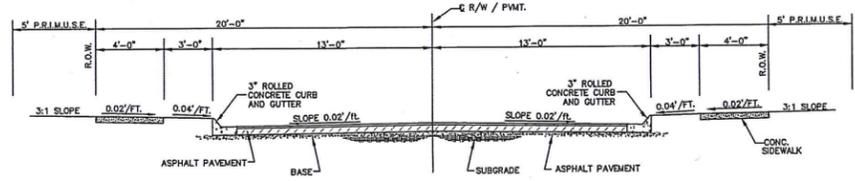


EXISTING	LEGEND	PROPOSED
542	CONTOURS	(542)
X536	SPOT ELEVATIONS	536.0
—	CENTER LINE	—
—	BUILDINGS, ETC.	—
X	TREE LINE	—
—	FENCE	—
—	STORM SEWERS	—
—	SANITARY SEWERS	—
—	CATCH BASIN	—
—	AREA INLET	—
—	GRATED INLET	—
—	STORM MANHOLE	—
—	SANITARY MANHOLE	—
—	FLARED END SECTION	—
—	CLEANOUT	—
—	LATERAL CONNECTION	—
—	UTILITY OR POWER POLE	—
—	FIRE HYDRANT	—
—	TEST HOLE	—
—	PAVEMENT	—
—	GAS MAIN & SIZE	(2" G)
—	WATER MAIN & SIZE	(6" W)
—	TELEPHONE	(T)
—	ELECTRIC (U) UNDERGROUND	(E)
—	ELECTRIC (O) OVERHEAD	(OHW)
—	FLOW LINE	—
—	TO BE REMOVED	TRM
—	TOP OF CURB	(TC)
—	SWALE	—
—	LIGHT STANDARD	—
—	STREET SIGN	—
—	PARKING STALLS	P.S.
—	YARD LIGHT	—
—	TURF REINFORCEMENT MAT	—

KEY MAP N.T.S.

SHEET INDEX

- 1.1 COVER SHEET
- 2.1 SDP - SITE PLAN
- 3.1 SDP - GRADING PLAN
- 4.1 CROSS SECTIONS
- 5.1 PUBLIC OPEN SPACE PLAN
- 6.1 NATURAL RESOURCES PRESERVATION PLAN
- 7.1-7.2 ORDINANCE



TYPICAL PAVEMENT SECTION (26' PAVEMENT/40' R.O.W.)

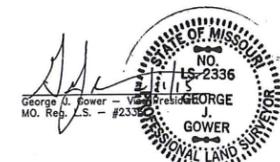
PROPERTY DESCRIPTION:

ADJUSTED PARCEL A
 A TRACT OF LAND BEING ALL OF ADJUSTED PARCEL A OF BOUNDARY ADJUSTMENT PLAT RECORDED IN PLAT BOOK 322 PAGES 42 AND 43 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, LOCATED WITHIN SECTION 1, TOWNSHIP 44 NORTH, RANGE 3 EAST, ST. LOUIS COUNTY MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF LOT 10 OF MEADOWS AT CHERRY HILLS AS RECORDED IN PLAT BOOK 327 PAGE 97 OF THE ABOVE MENTIONED RECORDER'S OFFICE, ALSO BEING ON THE EAST LINE OF THE COMMON GROUND OF OAK PARK PLAT ONE AT THE VILLAGES OF CHERRY HILLS AS RECORDED IN PLAT BOOK 250 PAGE 47 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE EAST LINE OF SAID COMMON GROUND AND ITS PROLONGATION, NORTH 01°03'11" EAST, 440.21 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF MANCHESTER (VARIABLE WIDTH) ROAD; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE, NORTH 72°24'39" EAST, 638.37 FEET, THENCE SOUTH 17°32'21" EAST, 11.00 FEET TO THE WEST RIGHT OF WAY LINE OF CHERRY HILLS MEADOWS (VARIABLE WIDTH) DRIVE; THENCE ALONG SAID WEST RIGHT OF WAY LINE THE FOLLOWING COURSES, DISTANCES AND CURVES: ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 20.00 FEET AND AN ARC LENGTH OF 30.23 FEET, SOUTH 20°58'45" EAST, 100.84 FEET; SOUTH 22°34'13" EAST, 180.07 FEET; SOUTH 29°58'43" EAST, 201.33 FEET; ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 150.00 FEET AND AN ARC LENGTH OF 67.89 FEET TO THE NORTHEAST CORNER OF LOT 1 OF SAID MEADOWS AT CHERRY HILLS; THENCE ALONG THE NORTH LINE OF LOTS 1 THROUGH 10 OF SAID MEADOWS AT CHERRY HILLS, SOUTH 83°24'53" WEST, 837.75 FEET TO THE POINT OF BEGINNING AND CONTAINING 8.6 ACRES, ACCORDING TO RECORD INFORMATION AND SUBJECT TO A FUTURE PROPERTY BOUNDARY SURVEY. UNDER ORDER NUMBER 13-04-121.
 ADJUSTED PARCEL C
 A TRACT OF LAND BEING ALL OF ADJUSTED PARCEL C OF BOUNDARY ADJUSTMENT PLAT RECORDED IN PLAT BOOK 322 PAGES 42 AND 43 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, LOCATED WITHIN SECTION 1, TOWNSHIP 44 NORTH, RANGE 3 EAST, ST. LOUIS COUNTY MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF MANCHESTER (VARIABLE WIDTH) ROAD AND THE EAST LINE OF ABOVE SAID SECTION 1; THENCE ALONG THE EAST LINE OF SAID SECTION 1, SOUTH 01°13'14" WEST, 593.82 FEET TO THE NORTHEAST CORNER OF THE COMMON GROUND OF MEADOWS AT CHERRY HILLS AS RECORDED IN PLAT BOOK 327 PAGE 97 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE NORTH LINE OF SAID COMMON GROUND, NORTH 89°04'00" WEST, 137.87 FEET TO THE NORTHWEST CORNER OF SAID COMMON GROUND, ALSO BEING ON THE EAST RIGHT OF WAY LINE OF CHERRY HILLS MEADOWS (VARIABLE WIDTH) DRIVE; THENCE ALONG SAID EAST RIGHT OF WAY LINE OF CHERRY HILLS MEADOWS DRIVE THE FOLLOWING COURSES, DISTANCES AND CURVES: ALONG AN ARC TO THE LEFT HAVING A RADIUS OF 200.00 FEET AND AN ARC LENGTH OF 22.61 FEET, THENCE NORTH 20°58'43" WEST, 201.33 FEET; NORTH 19°23'17" WEST, 180.07 FEET; NORTH 20°58'43" WEST, 94.71 FEET; ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 20.00 FEET AND AN ARC LENGTH OF 32.60 FEET TO A POINT ON SAID SOUTH RIGHT OF WAY LINE OF SAID MANCHESTER ROAD; THENCE LEAVING SAID EAST RIGHT OF WAY LINE AND ALONG SAID SOUTH RIGHT OF WAY LINE, NORTH 72°24'39" EAST, 289.37 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.0 ACRES, ACCORDING TO RECORD INFORMATION AND SUBJECT TO A FUTURE PROPERTY BOUNDARY SURVEY. UNDER ORDER NUMBER 13-04-121.

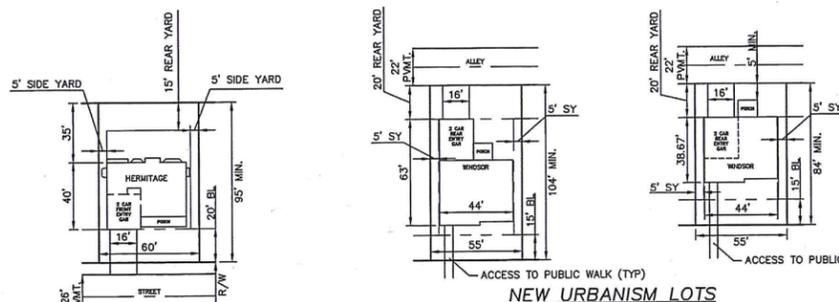
SURVEYORS CERTIFICATION

THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF NOVEMBER, 2014, AT THE REQUEST OF MCBRIDE TOWN CENTER, LLC PREPARED A SITE DEVELOPMENT PLAN OF THE MANORS AT THE MEADOWS AT CHERRY HILLS. A TRACT OF LAND BEING ALL OF ADJUSTED PARCELS A AND C OF BOUNDARY ADJUSTMENT PLAT RECORDED IN PLAT BOOK 322, PAGES 42 AND 43 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, LOCATED WITHIN SECTION 1, TOWNSHIP 44 NORTH, RANGE 3 EAST, CITY OF WILDWOOD, ST. LOUIS COUNTY MISSOURI.
 THIS PLAN IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" (10 CSR 30-2 AND 4 CSR 30-16 EFFECTIVE DATE DECEMBER 30, 1994).

THE STERLING COMPANY



MSD Base Map 24-V



TRADITIONAL LOTS

STANDARD BSMT.

WALKOUT BSMT.

TYPICAL "B" LOTS NOT TO SCALE

TYPICAL "A" LOTS NOT TO SCALE

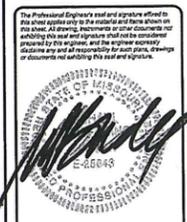
'A' LOTS - REAR ALLEY DETACHED (55' LOTS) = 15
 'B' LOTS - DETACHED (60' LOTS) = 23
 TOTAL LOTS = 38

ISSUE	REMARKS/DATE
1	11-19-2014, INITIAL SUBMITTAL
2	01-20-2015, Revised per City Comments
3	02-10-2015, Revised per City Comments

McBride Town Center, LLC
 16001 Swingley Ridge Road, Suite 300
 Chesterfield, Missouri 63017
 Ph. 636-537-2000
 Fax. 636-537-2546
 www.mcbriidetownhomes.com

THE STERLING CO.
 ENGINEERS & SURVEYORS
 6065 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph 314-487-0440 Fax 314-487-8944
 www.sterling-eng-survey.com
 Corporate Certificate of Authority #001348

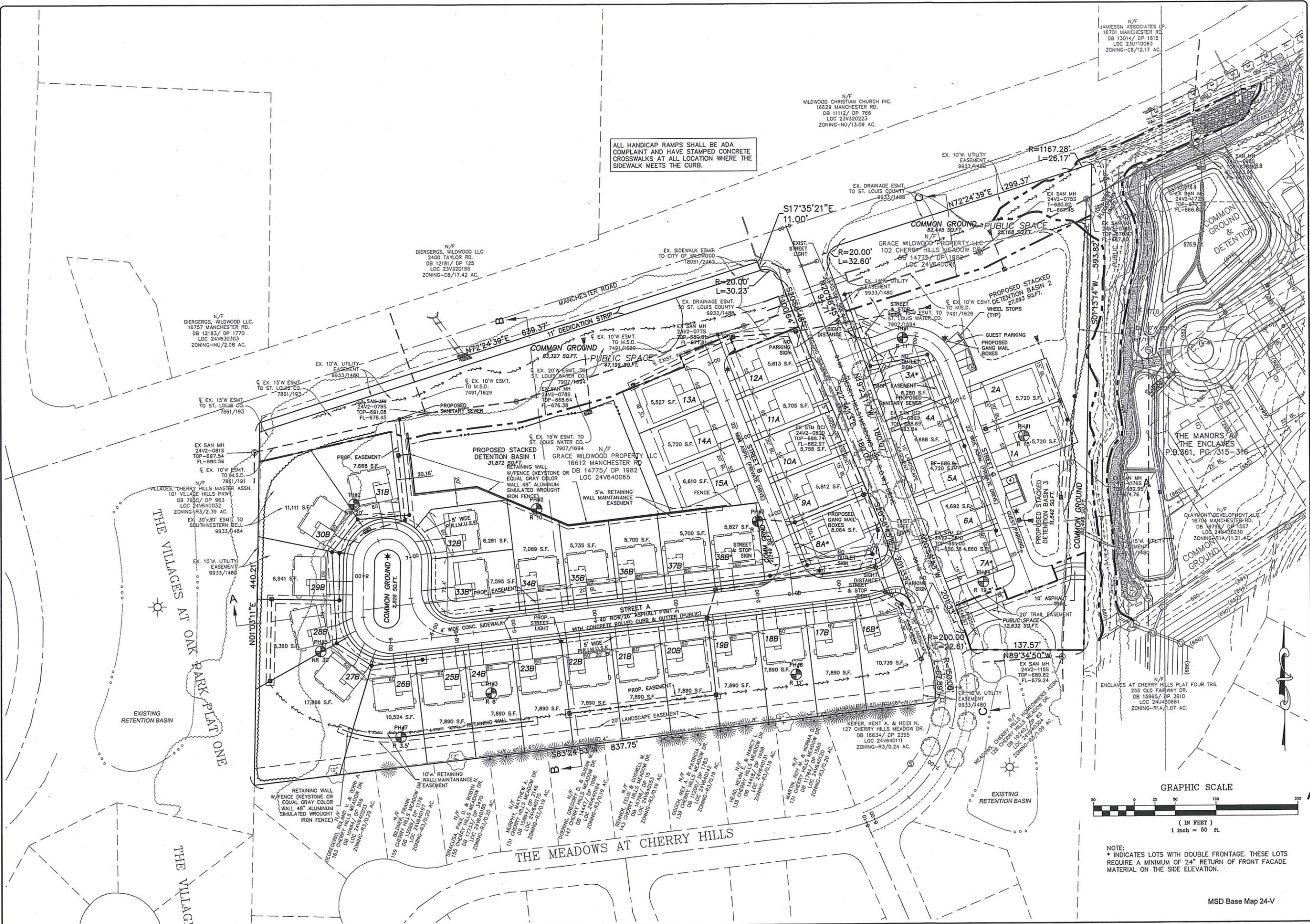
The Manors at
 The Meadows at Cherry Hills
 Wildwood, Missouri
 Cover Sheet



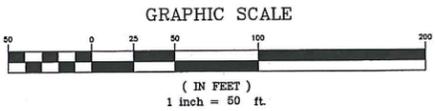
Date: 01-20-2015
 MICHAEL G. BOERDING
 License No. MO E-28643
 Civil Engineer

Job Number	13-04-121
Date	Feb. 10, 2015
Designed: ML	Sheet
Drawn: SF	1.1
Checked: SDP	

Drawing name: Y:\1304121 White Tract 6.65 Acres\Drawings\Engineering\Site Development\Plan\1216.dwg Plotted on: Feb 11, 2015 - 7:58am Plotted by: jflankhaus



ALL HANDICAP RAMPS SHALL BE ADA COMPLAINT AND HAVE STAMPED CONCRETE CROSSWALKS AT ALL LOCATION WHERE THE SIDEWALK MEETS THE CURB.



NOTE:
* INDICATES LOTS WITH DOUBLE FRONTAGE. THESE LOTS REQUIRE A MINIMUM OF 24" RETURN OF FRONT FACADE MATERIAL ON THE SIDE ELEVATION.

MSD Base Map 24-V

ISSUE	REMARKS/DATE
1	11-19-2014, INITIAL SUBMITTAL
2	01-20-2015, Revised per City Comments
3	02-10-2015, Revised per City Comments

McBride Town Center, LLC
 16091 Swingley Ridge Road, Suite 300
 Chesterfield, Missouri 63017
 Ph. 636-537-2000
 Fax. 636-537-2546
 www.mcbriDET.com

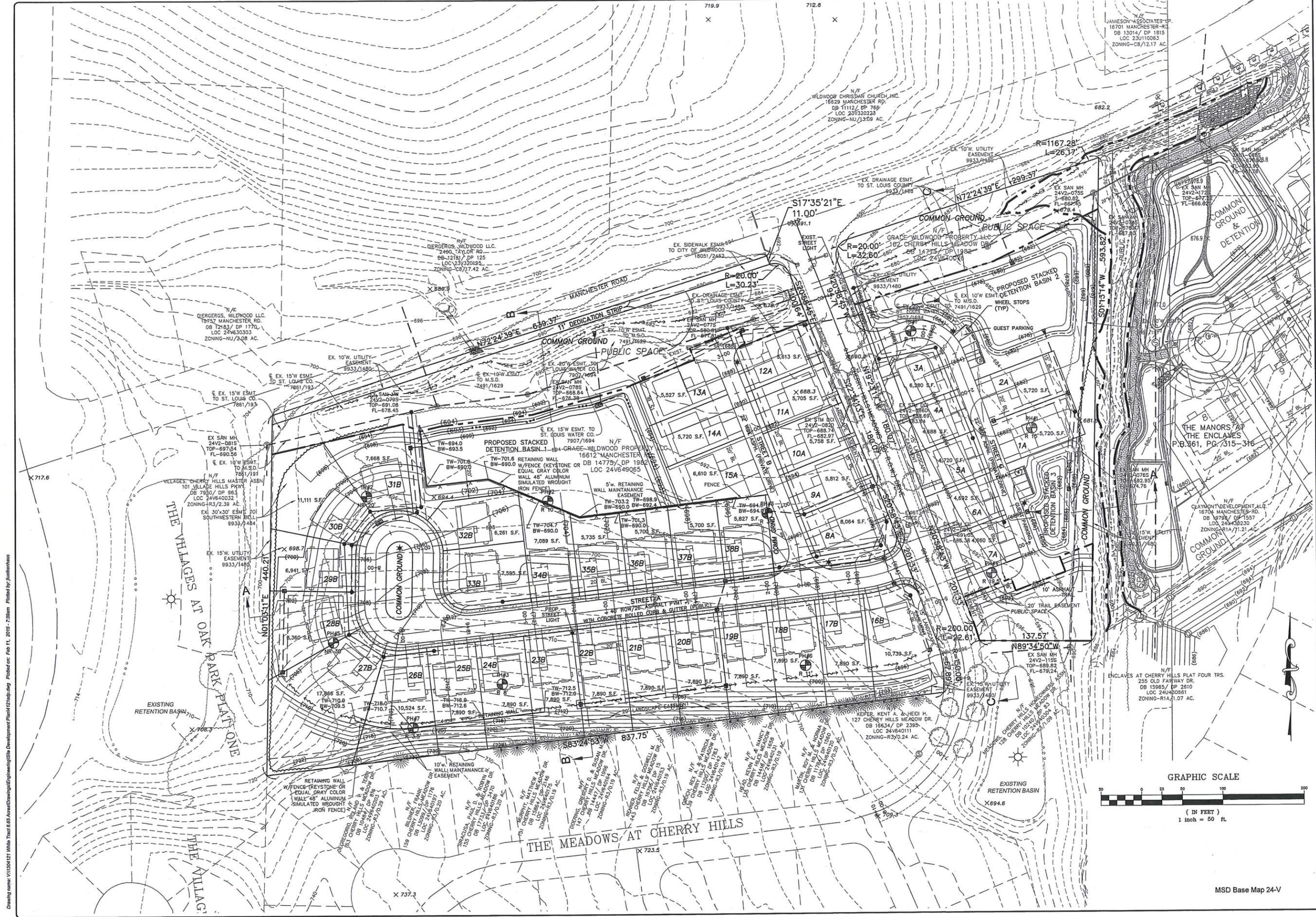
THE STERLING CO.
ENGINEERS & SURVEYORS
 6065 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph. 314-487-0440 Fax. 314-487-6944
 www.sterling-eng-srv.com
 Corporate Certificate of Authority #01948

*The Manors at
The Meadows at Cherry Hills*
 Villwood, Missouri
 SDP - SITE PLAN



Date: 01-20-2015
 MICHAEL G. BOERDING
 License No. MO E-28643
 Civil Engineer

Job Number
13-04-121
 Date
Feb. 10, 2015
 Designed: MF Sheet
 Drawn: SL **2.1**
 Checked: SDP



Drawing name: V:\1304121_White Trail 8.65 Acres\Drawings\Engineering\Site Development\Plan\1212121.dwg
 Plotted on: Feb 11, 2015 - 7:58am
 Plotted by: jllankhaus

ISSUE	REMARKS/DATE
1	11-19-2014, INITIAL SUBMITTAL
2	01-20-2015, Revised per City Comments
3	02-10-2015, Revised per City Comments

McBride Town Center, LLC
 16091 Swingley Ridge Road, Suite 300
 Chesterfield, Missouri 63017
 Ph: 636-537-2000
 Fax: 636-537-2546
 www.mcbridetowncenter.com

THE STERLING CO.
ENGINEERS & SURVEYORS
 6055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph: 314-487-0440 Fax: 314-487-6944
 www.sterling-eng-survey.com
 Corporate Certificate of Authority #011948

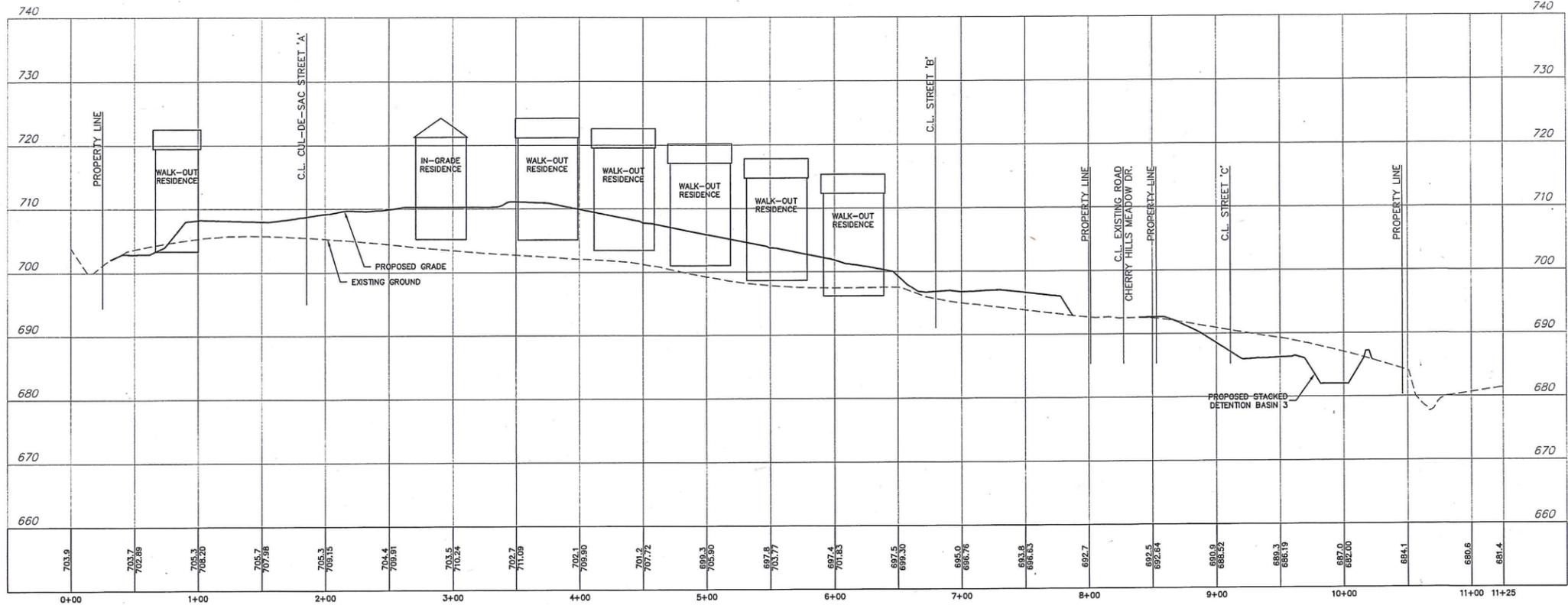
The Manors at
The Meadows at Cherry Hills
 Winwood, Missouri
 SDP - GRADING PLAN

The Professional Engineer and seal attached to this plan apply only to the material and work shown on this plan. All other materials and work shown on this plan are the responsibility of the engineer who prepared this plan and the engineer who approved this plan. The engineer who approved this plan is not responsible for any work shown on this plan which is not the responsibility of the engineer who prepared this plan.

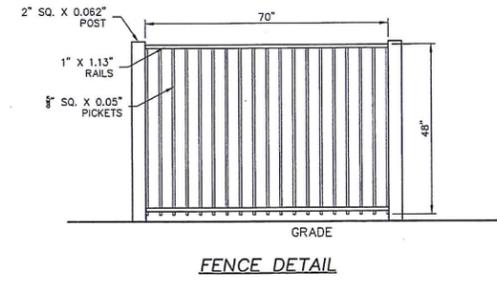
Date: 01-20-2015
 MICHAEL G. BOERDING
 License No. MO E-28643
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Job Number
13-04-121
 Date
Feb. 10, 2015
 Designed: MF
 Drawn: SL
 Checked: SDP

MSD Base Map 24-V



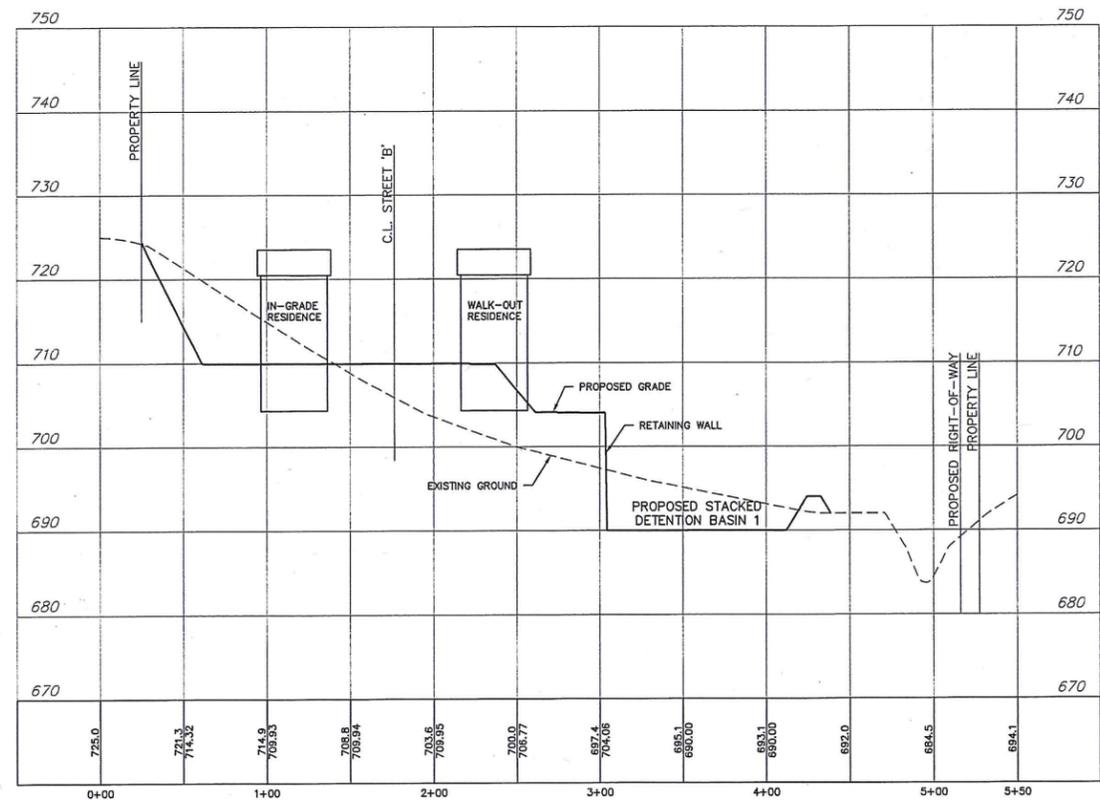
SECTION A-A



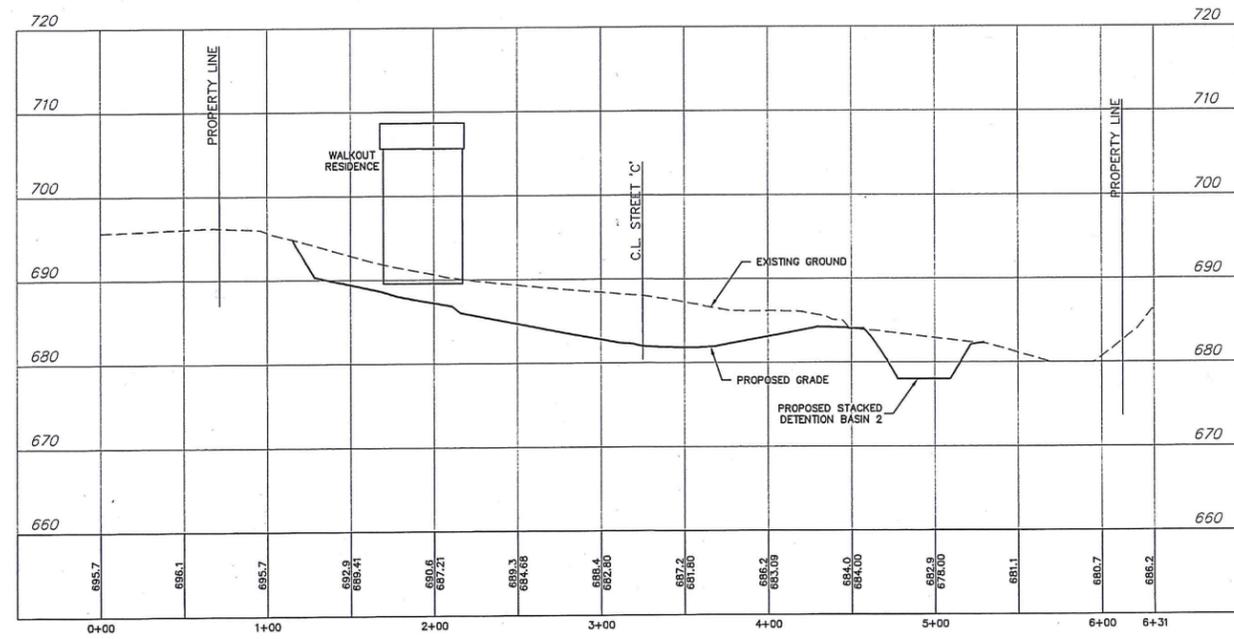
FENCE DETAIL

LIGHTING FIXTURE SPECIFICATIONS

TYPE	MANUFACTURER CATALOG NUMBER	LUMINAIRE DESCRIPTION	LAMP CODE	LAMPS/UNIT	MAXIMUM WATTS/UNIT	VOLTS	NOTES	REV.
A	Hadco Old World V2703-X-T3-N-D-70H-XXX/P4120-12'	Cast aluminum single piece cage, hinged roof twist lock ballast, Type 3 cutoff optics medium base socket metal halide lamp thermoset polyester powder coat finish	MHC 70/U/M/3K	1	95	AS REQ. BY EE		



SECTION B-B



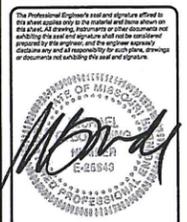
SECTION C-C

ISSUE	REMARKS/DATE
1	11-19-2014, INITIAL SUBMITTAL
2	01-20-2015, Revised per City Comments
3	02-10-2015, Revised per City Comments

McBride Town Center, LLC
 16091 Swingley Ridge Road, Suite 300
 Chesterfield, Missouri 63017
 Ph. 636-537-2000
 Fax 636-537-2546
 www.mctdethomes.com

THE STERLING CO.
 ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph 314-487-0440 Fax 314-487-5944
 www.sterling-eng-sur.com
 Corporate Certificate of Authority #001348

The Manors at
 The Meadows at Cherry Hills
 Wildwood, Missouri
 Cross Sections



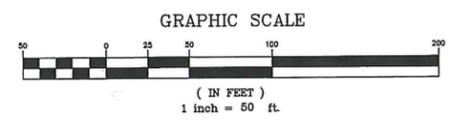
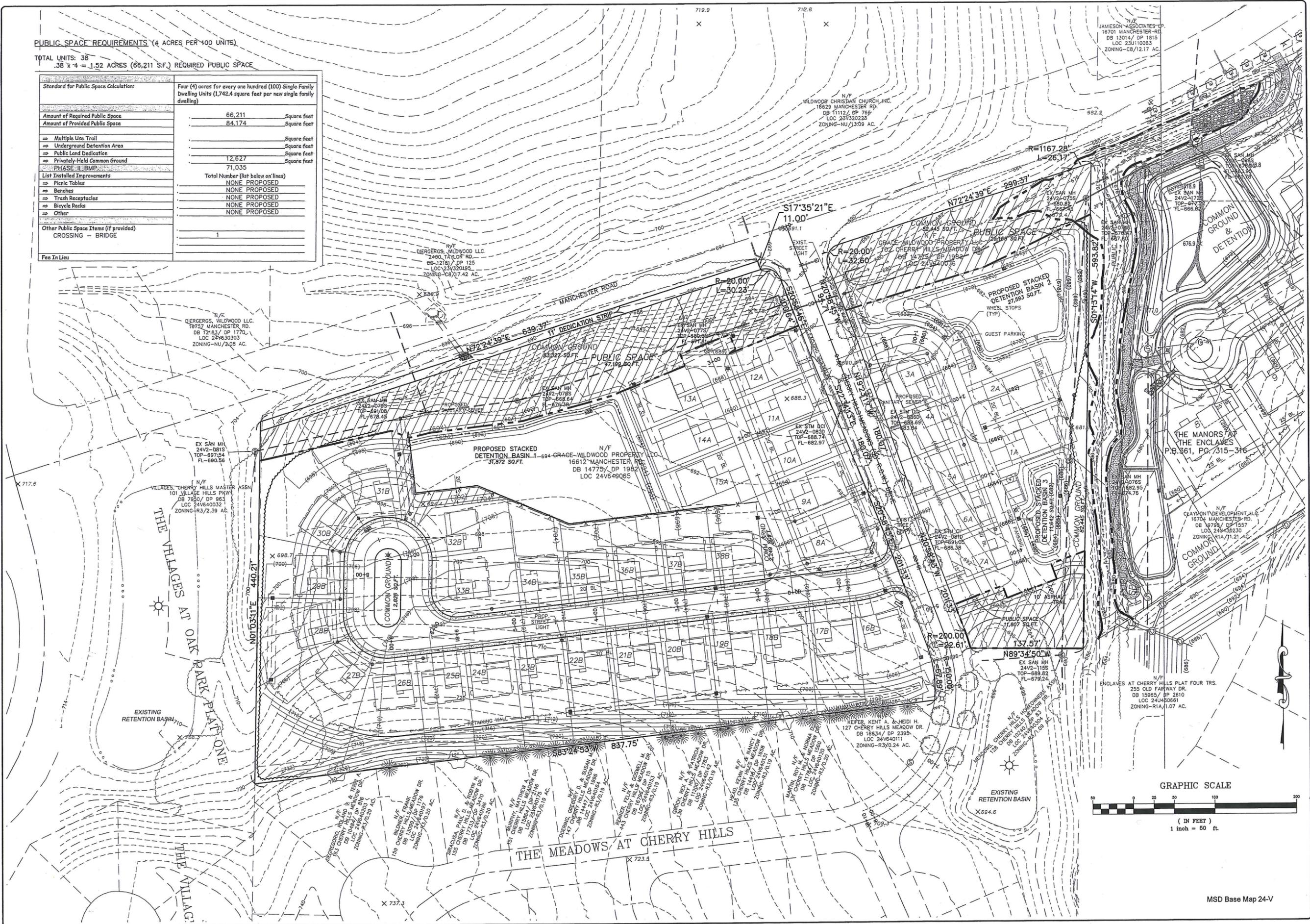
Date: 01-20-2015
 MICHAEL G. BOERDING
 License No. MO E-28643
 Civil Engineer

Job Number	13-04-121
Date	Feb. 10, 2015
Designed: MF	Sheet
Drawn: SL	4.1
Checked: SDP	

PUBLIC SPACE REQUIREMENTS (4 ACRES PER 100 UNITS)

TOTAL UNITS: 38
 $.38 \times 4 = 1.52$ ACRES (66,211 S.F.) REQUIRED PUBLIC SPACE

Standard for Public Space Calculation:	
Four (4) acres for every one hundred (100) Single Family Dwelling Units (1,742.4 square feet per new single family dwelling)	
Amount of Required Public Space	66,211 Square feet
Amount of Provided Public Space	84,174 Square feet
Multiple Use Trail	Square feet
Underground Detention Area	Square feet
Public Land Dedication	Square feet
Privately-Held Common Ground	12,627 Square feet
PHASE II BMP	71,035 Square feet
List Installed Improvements	Total Number (list below on lines)
→ Picnic Tables	NONE PROPOSED
→ Benches	NONE PROPOSED
→ Trash Receptacles	NONE PROPOSED
→ Bicycle Racks	NONE PROPOSED
→ Other	NONE PROPOSED
Other Public Space Items (if provided)	
CROSSING - BRIDGE	1
Fee In Lieu	

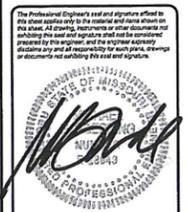


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 16081 Swingle Ridge Road, Suite 300
 Chesterfield, Missouri 63017
 Ph. 636-537-2000
 Fax 636-537-2546
 www.mcbriidetohomes.com

THE STERLING CO.
ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph. 314-487-0440 Fax 314-487-8944
 www.sterling-eng-survey.com
 Corporate Certificate of Authority #001348

*The Manors at
 The Meadows at Cherry Hills*
 Wildwood, Missouri
 Public Open Space Plan



Date: 01-20-2015
 MICHAEL G. BOERDING
 License No. MO E-28643
 Civil Engineer

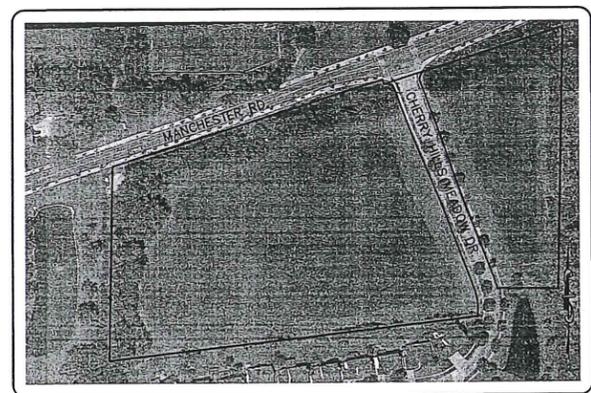
Job Number	13-04-121
Date	Feb. 10, 2015
Designed: MF	Sheet
Drawn: SL	5.1
Checked: SDP	

MSD Base Map 24-V

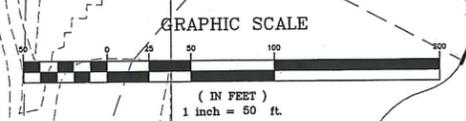
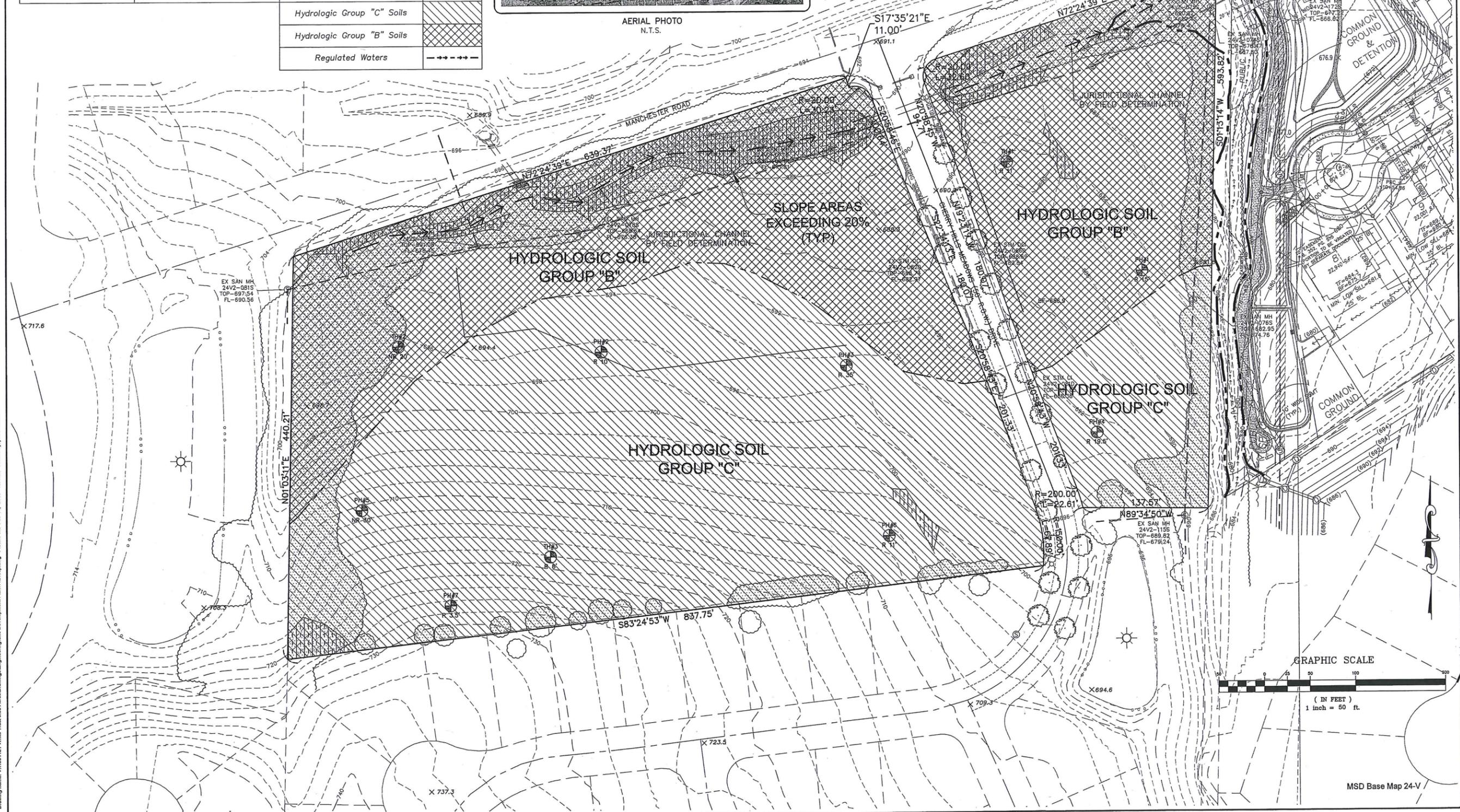
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Drawing name: V:\1030121 White Truss & 665 Area\Drawings\Engineering\SSD Development\Plan\12124p.dwg Plotted on: Feb 11, 2015 - 7:38am Plotted by: jlukenhus

NATURAL RESOURCE	PRESENCE	ADDITIONAL INFORMATION	HATCHER
WETLANDS	NO	NONE IDENTIFIED DURING SITE WALK	
STREAMS AND FLOODPLAINS	STREAMS ON SITE; NO FLOODPLAIN ON SITE PER FIRM 29189C0294H DATED 08-02-95	UNAMED TRIBUTARY TO THE MERAMEC RIVER	
KARST	NO	NONE IDENTIFIED DURING SITE WALK	
EXISTING TOPOGRAPHY	SLOPES STEEPER THAN 20%	IDENTIFIED BY HATCHER	
PONDS	NO	NONE IDENTIFIED DURING SITE WALK	
VEGETATED COVER	TREE MASS AND GRASSY AREAS	TREE MASS IDENTIFIED BY HATCHER GRASSY AREA REMAINDER OF SITE	
EXISTING PROPERTY USE	SINGLE FAMILY RESIDENTIAL		
SURROUNDING PROPERTY USE	SINGLE FAMILY RESIDENTIAL		
		Hydrologic Group "C" Soils	
		Hydrologic Group "B" Soils	
		Regulated Waters	



AERIAL PHOTO
N.T.S.



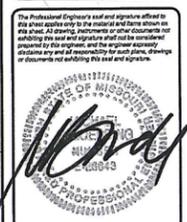
MSD Base Map 24-V

ISSUE	REMARKS/DATE
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2	01-20-2015, Revised per City Comments
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Fax 636-537-2546
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*The Manors at
The Meadows at Cherry Hills*
Wittwood, Missouri
Natural Resources Preservation Plan



Date: 01-20-2015
MICHAEL G. BOERDING
License No. MO E-28643
Civil Engineer

Job Number	13-04-121
Date	Feb. 10, 2015
Designed: MF	Sheet
Drawn: SL	6.1
Checked: SDP	

BILL #2060

ORDINANCE #2060

AN ORDINANCE BY THE CITY COUNCIL OF THE CITY OF WILDWOOD, MISSOURI AUTHORIZING THE APPROVAL OF THE REZONING OF AN 11.5 ACRE TRACT OF LAND THAT IS LOCATED ON THE SOUTH SIDE OF MANCHESTER ROAD, AT CHERRY HILLS MEADOWS DRIVE, FROM THE NU NON-URBAN RESIDENCE DISTRICT TO THE R-4 7,500 SQUARE FOOT RESIDENCE DISTRICT, WITH A PLANNED RESIDENTIAL DEVELOPMENT OVERLAY DISTRICT (PRD) TO ALLOW FOR ITS DEVELOPMENT WITH THIRTY-EIGHT (38) SINGLE FAMILY DETACHED DWELLINGS ON INDIVIDUAL LOTS, WITH A MIX OF UNIT TYPES, ALL BEING COMBINED WITH THE LETTER OF RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION DATED OCTOBER 6, 2014. (Ward Eight)

WHEREAS, the parcels of ground that are located between Manchester Road and the established residential subdivision of Cherry Hills have been discussed many times over the last fifteen (15) years, as the Town Center Plan was developed, implemented, updated, and re-applied; and WHEREAS, although often discussed, these properties were never submitted for consideration of a development proposal until 2014, when a public hearing was scheduled for their future use as a residential subdivision, consistent with the Town Center Plan's land use designation of the property; and

WHEREAS, the Town Center Plan's land use designations of these properties (under the Regulating Plan component of it) have changed from 1998 to 2010, which included 'Open Space' and 'Neighborhood Edge' District designations in the earlier version to 'Neighborhood General' District designation in the later; and WHEREAS, the current land use designation for these properties allows higher density residential uses than what is currently allowed with attached and multiple-family types as well, which the petitioner did not seek, but rather submitted a proposal for the January 21, 2014 public hearing before the Planning and Zoning Commission for fifty-seven (57) units on individual lots, with the homes to match those dwellings constructed in the Grover Crossing Subdivision to the west; and

WHEREAS, the petitioner noted the success of these units in this other Town Center Area development had led it to seek the same type here given the on-going demand for such, which the surrounding residents did not support and spoke about their collective lack of satisfaction with the proposal at that time; and

WHEREAS, at the conclusion of the public hearing, the petitioner began a process with the residents of the adjoining subdivision on changes to the development proposal and how best to transition the new residential units to the existing homes and ensure a reasonable level of compliance to the Town Center Plan's requirements for materials, access, and streets; and other required improvements associated with this special area of Wildwood; and

WHEREAS, after approximately eight (8) months of meetings, discussions, and modifications to the design concept, the petitioner submitted a revised plan for the development of the site that had a total of thirty-eight (38) single family dwellings on individual lots, a reduction in the overall density of almost fifty (50) percent, which also included an almost identical type of housing unit to those dwellings in the Meadows of Cherry Hills Subdivision, placed along the common boundary line of the subject site and these existing homes; and

WHEREAS, with this change in the design, another public hearing on this proposal was held by the Planning and Zoning Commission in August 2014, where the residents of the adjoining subdivision noted their support for the revisions and believed the transition area was reasonable, while still including fifteen (15) units that were New Urbanism in nature and design, including rear entry garages; and

WHEREAS, after the public hearing, the Planning and Zoning Commission favorably acted upon the Department's recommendation for approval of the rezoning and the application of the Planned Residential Development Overlay District (PRD) and completed this action by adopting its Letter of Recommendation, which was then forwarded to the City Council for its public hearing on October 13, 2014; and

WHEREAS, the public hearing was held by the City Council and, at its conclusion, the members of it agreed to authorize the preparation of legislation for the approval of the rezoning of the property to the R-4 7,500 square foot Residence District, with a Planned Residential Development Overlay District (PRD), to accommodate the requested thirty-eight (38) lots for a mix of single family dwellings; and

WHEREAS, the City Council noted its support for these proposals and the Planning and Zoning Commission's report on this matter, which included the following rationales: (1) the plan offers an appropriate transition between the 'Town Center Area' Boundary and the 'Suburban Residential Area' Boundary; (2) the density is consistent with the area in terms of total number of units; (3) the New Urbanism lots are prominent in their location, so as to create the required Town Center character; and (4) the project offers additional connections to surrounding subdivisions, pedestrian networks, and public open spaces; and

WHEREAS, this action of the City Council is appropriate under its authority, as granted by Chapter 89 of Missouri Revised Statutes, the City Charter, and local codes, and appropriate to protect the public's health, safety, and welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILDWOOD, MISSOURI, AS FOLLOWS:

Section One. The City of Wildwood Zoning Ordinances and Official Zoning District Maps, which are made a part hereof, are hereby amended to reflect the change in zoning from the NU Non-Urban Residence District to the R-4 7,500 square foot Residence District, with a Planned Residential Development Overlay District (PRD), as set forth in this ordinance, for the following described land:

ADJUSTED PARCEL A

A TRACT OF LAND BEING ALL OF ADJUSTED PARCEL A OF BOUNDARY ADJUSTMENT PLAT RECORDED IN PLAT BOOK 322 PAGES 42 AND 43 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, LOCATED WITHIN SECTION 1, TOWNSHIP 44 NORTH, RANGE 3 EAST, ST. LOUIS COUNTY MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 10 OF MEADOWS AT CHERRY HILLS AS RECORDED IN PLAT BOOK 322 PAGE 97 OF THE ABOVE MENTIONED RECORDER'S OFFICE, ALSO BEING ON THE EAST LINE OF THE COMMON GROUND OF OAK PARK PLAT ONE AT THE VILLAGES OF CHERRY HILLS AS RECORDED IN PLAT BOOK 250 PAGE 47 OF THE ABOVE MENTIONED RECORDER'S OFFICE, THENCE ALONG THE EAST LINE OF SAID COMMON GROUND AND ITS PROLONGATION, NORTH 01°03'11" EAST, 440.21 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF MANCHESTER (VARIABLE WIDTH) ROAD; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE, NORTH 72°24'39" EAST, 639.37 FEET; THENCE SOUTH 17°35'21" EAST, 110.00 FEET TO THE WEST RIGHT OF WAY LINE OF CHERRY HILLS MEADOWS (VARIABLE WIDTH) DRIVE; THENCE ALONG SAID WEST RIGHT OF WAY LINE THE FOLLOWING COURSES, DISTANCES AND CURVES: ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 20.00 FEET AND AN ARC LENGTH OF 30.23 FEET, SOUTH 20°58'45" EAST, 100.64 FEET; SOUTH 22°34'13" EAST, 180.07 FEET; SOUTH 20°58'43" EAST, 201.33 FEET; ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 15.00 FEET AND AN ARC LENGTH OF 67.49 FEET TO THE NORTHEAST CORNER OF LOT 1 OF SAID MEADOWS AT CHERRY HILLS; THENCE ALONG THE NORTH LINE OF LOTS 1 THROUGH 10 OF SAID MEADOWS AT CHERRY HILLS, SOUTH 83°24'53" WEST, 837.75 FEET TO THE POINT OF BEGINNING AND CONTAINING 8.6 ACRES, ACCORDING TO RECORD INFORMATION AND SUBJECT TO A FUTURE PROPERTY BOUNDARY SURVEY, UNDER ORDER NUMBER 13-04-121.

ADJUSTED PARCEL C

A TRACT OF LAND BEING ALL OF ADJUSTED PARCEL C OF BOUNDARY ADJUSTMENT PLAT RECORDED IN PLAT BOOK 322 PAGES 42 AND 43 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, LOCATED WITHIN SECTION 1, TOWNSHIP 44 NORTH, RANGE 3 EAST, ST. LOUIS COUNTY MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF MANCHESTER (VARIABLE WIDTH) ROAD AND THE EAST LINE OF ABOVE SAID SECTION 1; THENCE ALONG THE EAST LINE OF SAID SECTION 1, SOUTH 01°13'14" WEST, 593.82 FEET TO THE NORTHEAST CORNER OF THE COMMON GROUND OF MEADOWS AT CHERRY HILLS AS RECORDED IN PLAT BOOK 327 PAGE 97 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE NORTH LINE OF SAID COMMON GROUND, NORTH 89°45'59" WEST, 137.57 FEET TO THE NORTHWEST CORNER OF SAID COMMON GROUND, ALSO BEING ON THE EAST RIGHT OF WAY LINE OF CHERRY HILLS MEADOWS (VARIABLE WIDTH) DRIVE; THENCE ALONG THE SAID EAST RIGHT OF WAY LINE OF CHERRY HILLS MEADOWS DRIVE THE FOLLOWING COURSES, DISTANCES AND CURVES: ALONG AN ARC TO THE LEFT HAVING A RADIUS OF 200.00 FEET AND AN ARC LENGTH OF 22.61 FEET, THENCE NORTH 20°58'45" WEST, 201.33 FEET; NORTH 19°23'17" WEST, 180.07 FEET; NORTH 20°58'45" WEST, 94.71 FEET; ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 20.00 FEET AND AN ARC

LENGTH OF 32.60 FEET TO A POINT ON SAID SOUTH RIGHT OF WAY LINE OF SAID MANCHESTER ROAD, THENCE LEAVING LAST SAID EAST RIGHT OF WAY LINE AND ALONG SAID SOUTH RIGHT OF WAY LINE, NORTH 72°24'39" EAST, 299.37 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.0 ACRES, ACCORDING TO RECORD INFORMATION AND SUBJECT TO A FUTURE PROPERTY BOUNDARY SURVEY, UNDER ORDER NUMBER 13-04-121.

Section Two. The zoning authority and approval embodied in this ordinance is granted subject to compliance with the Subdivision and Development Regulations, Zoning Code, and all other City of Wildwood ordinances, rules, and regulations and the conditions of this ordinance, except as, may be modified herein, upon the requirement the development and approved Site Development Plan are carried out in accordance with the recommendation forwarded to the City Council by the Planning and Zoning Commission within the communication dated October 6, 2014, which is incorporated herein, by reference as if fully set forth in this ordinance. The zoning authority granted herein is further subject to the following conditions:

1. PERMITTED USES - Traditional and New Urbanism Lots

a. This Planned Residential Development (P.R.D.) Overlay District shall authorize the maximum development of thirty-eight (38) detached single family dwellings, with common ground, public space, and all permitted accessory structures normally found in conjunction with the principal uses. A community swimming pool may be allowed with this Planned Residential Development Overlay District as well.

2. LOT SIZES, DEPTHS, AND BUILDING REQUIREMENTS - Traditional and New Urbanism Lots

a. Each detached dwelling unit shall be located on an individual lot of record that is a minimum of 4,200 square feet or greater in size. However, no lot within the Meadows of Cherry Hills Subdivision shall be less than 2,800 square feet in area. The minimum width of any lot within this P.R.D. Overlay District shall be fifty-five (55) feet in distance, except for those properties located within a cul-de-sac, which shall be as approved by the Planning and Zoning Commission on the Site Development Plan. This width shall be measured at the lot's front building line.

b. All detached single family dwellings shall have a minimum finish floor elevation of their front porches of eighteen (18) inches in height above the adjoining sidewalk grade. The size, depth, and extent of front porches, if provided, but not required on any dwelling units, shall be acted upon by the Architectural Review Board, in its review of the master plans and drawings for this project. No building facade shall show more than four (4) corners to the frontage line or as approved by the Architectural Review Board on the required elevations, except those units to be constructed on the traditional lots, which are exempt from this requirement.

c. No building and/or structure shall be more than two (2) stories above final grade, as measured from the front building line on any individual lot.

d. Direct residential drive access shall be allowed for up to twenty-three (23) of the single family detached units within this development from its internal street, but the garage door(s) on each of these units must be constructed-in-line with the front edge of the house, if provided, which parallel to the front facades. For these twenty-three (23) lots, the garage door must be carriage type, including windows, and incorporate other architectural treatments, as determined by the City's Architectural Review Board to be appropriate, to lessen their prominence within the visual corridor formed by these interior streets within the development, unless a suitable alternative design is provided for these openings.

e. The New Urbanism lots that are part of this Planned Residential Development Overlay District boundary shall be accessed by service lanes (alleys) that comply in their construction with the Street Specifications of the Town Center Plan. These service drives shall provide access to rear loaded garages that must be provided, as part of any single-family detached dwelling, for a minimum of fifteen (15) of the allowable thirty-eight (38) lots.

f. The first story, interior clear height for all single family dwellings shall be not less than eight (8) feet for dwelling units planned on the traditional lots, while nine (9) feet for those dwelling units planned on the New Urbanism lots.

g. Detached single family dwelling units, which face the frontage line, but also with the side of the building placed along another right-of-way, shall be designed to incorporate the elements of the front facade along that portion of the structure. The placement and design of these units shall be approved by the Planning and Zoning Commission on the Site Development Plan and the elevations of these units by the Architectural Review Board. If brick is the primary material on any dwelling unit, the side of it that faces the adjoining street must include, as a minimum, a twenty-four (24) inch return of that material on that side elevation.

h. The proposed architectural design, character, and style of all buildings and dwelling units shall adhere to the City of Wildwood's Town Center Architectural Guidelines, Neighborhood Design Standards, and any other applicable requirements of the Town Center Plan, excepting no vinyl siding shall be allowed on any dwelling unit within the boundaries of this Planned Residential Development Overlay District (PRD). All materials used on any facade of a residential unit shall be fiber cement siding and beaker board, wood stone, and/or brick. Architectural type single selections shall be required on all residential units of a minimum fifty (50) year standard, with all penetrations, i.e. vents, stacks, etc., to be painted to match the single's color. Approval of the required design shall be by the Architectural Review Board. Minimally, all buildings shall maintain a consistent theme throughout the boundaries of this Planned Residential Development Overlay District in terms of material, color, and style.

3. PLAN SUBMITTAL REQUIREMENTS

Within twelve (12) months of the P.R.D. Overlay District approval by the City Council, and prior to any site disturbance, the developer shall submit to the Planning and Zoning Commission for their review and approval a Site Development Plan. Where one cause is shown by the developer, time intervals may be extended once by the Planning and Zoning Commission in accord with requirements of Section 420.060 of the City of Wildwood Zoning Ordinance. Said Site Development Plan shall include, but not be limited to, the following information:

- a. Outboundary plot and legal description of the property.
b. A general numbered lot plan with setback lines from all streets and roadways on and adjacent to the property. A typical lot diagram, indicating all site design information such as, but not limited to, right-of-way width, improvement dimensions and locations, setbacks, and building placement.
c. The location and size of all parking areas, pavement widths, and right-of-way dedications of all internal roadway improvements and drives.
d. A general plan indicating setback lines along the perimeter of the subject tract of land and surrounding property lines and related improvements within four hundred (400) feet of this site's boundaries.
e. Location of all roadways adjacent to the property, including required roadway right-of-way dedication and pavement widening with existing and proposed improvements, and general location, size, right-of-way, and pavement width of all interior drives.
f. The location and size of all freestanding signs, lighting, fences, sidewalks, and other above ground structures, except retaining walls less than two (2) feet in height per section.
g. Existing and proposed contours at vertical intervals of not more than two (2) feet.
h. General location of sanitary sewer facilities.
i. Parking and density calculations.
j. Conceptual location and size of common ground areas.
k. A typical section of the proposed road, indicating the placement and design of required streetscape improvements.
l. A Landscape Plan including, but not limited to, the location, size, and general type of plant materials to be used in accord with the City of Wildwood's Ordinance 410 and accompanying Tree Manual.
m. An inventory of the percent of tree canopy or individual trees to be retained on the site.
n. Location of all existing and proposed easements.
o. All other information not mentioned above, but required on a preliminary plat in accord with Section 420.060 of the City of Wildwood Subdivision and Development Regulations.

4. SITE DEVELOPMENT PLAN DESIGN CRITERIA

The above Site Development Plan shall adhere to the following specific design criteria:

Build-To Lines - Residential - Traditional and New Urbanism Lots

- a. Any building or structure, other than boundary and/or retaining walls, fences, detention facilities, and/or light standards, shall adhere to the following build-to lines, as specified in the Town Center Plan's Neighborhood Design Standards:
Traditional Lots -
a. Twenty (20) feet from any right-of-way line.
b. Five (5) feet for any side yard property line and ten (10) feet for side yard areas that abut the perimeter of the Planned Residential Development Overlay District.
c. Fifteen (15) feet from any rear yard property line.
New Urbanism Lots -
d. Fifteen (15) feet from any right-of-way line.
e. Five (5) feet for any side yard property line and ten (10) feet for side yard areas that abut the perimeter of the Planned Residential Development Overlay District.
f. Twenty (20) feet from any rear yard property line.

Miscellaneous Setbacks - Traditional and New Urbanism Lots

- b. A minimum twenty (20) foot wide landscape easement strip shall be provided along the southern boundary line of this Planned Residential Development Overlay District, from Cherry Hills Meadows Drive to the western property line of the subject parcel of ground. Within this easement strip, the developer shall be required to install landscaping consistent with the requirements of City of Wildwood's Tree Manual and Sustainable Plantings Guide. The design of this landscaping shall be reviewed and acted upon by the Planning and Zoning Commission, as part of the Landscape Plan/Site Development Plan submittal. A registered Landscape Architect shall sign and seal this plan.
c. A minimum fifteen (15) foot wide landscape easement strip shall be provided along either side of Cherry Hills Meadows Drive from Manchester Road to the southern edge of the boundary of this Planned Residential Development Overlay District. Within this easement strip, the developer shall be required to install landscaping consistent with the requirements of City of Wildwood's Tree Manual and Sustainable Plantings Guide. The design of this landscaping shall be reviewed and acted upon by the Planning and Zoning Commission, as part of the Landscape Plan/Site Development Plan submittal. A registered Landscape Architect shall sign and seal this plan.
d. No traditional or New Urbanism lot shall be authorized on the east side of Cherry Hills Meadows Drive, south of proposed Street "C", as shown on the Preliminary Development Plan provided by the developer, which is dated August 28, 2014.
e. No land disturbance activity shall be authorized within twenty-five (25) feet of the existing creek that parallels Manchester Road and trends through the site in a west/east direction, excepting those required utility corridors, which will be reviewed and acted upon by the Planning and Zoning Commission on the Site Development Plan.

Parking Setbacks - All Residential Lots

f. All parking stalls or loading spaces, excluding points of ingress or egress for the detached dwelling units, shall be located behind the front building line of each lot, excepting the twenty-three (23) New Urbanism lots, which said must be accessed by service lanes (alleys). Driveway widths serving these required parking spaces, specifically between the edge of the public right-of-way and the front building line, shall be as approved by the Planning and Zoning Commission on the Site Development Plan, but be minimized in their respective distances to the greatest extent possible.

Access and Roadway Improvements

B. Dedicate the required amount of right-of-way and/or easements along this property's Manchester Road frontage to the City of Wildwood for public roadway purposes. Improvements to Manchester Road shall conform to the requirements of the City of Wildwood's Street Specifications of the Town Center Plan, as directed and approved by the State of Missouri and the City of Wildwood's Department of Public Works. All streetscape requirements (street

trees, lights, signs, waste receptacles, benches, and other items consisting of approved materials) shall be installed by the developer, as specified by the City of Wildwood's Town Center Plan within the right-of-way of Manchester Road and directed by the Department of Public Works.

h. Access to Cherry Hills Meadows Drive shall be authorized for no more than two (2) residential street intersections, as directed and approved by the Department of Public Works and in compliance to the Street Specifications of the Town Center Plan. No direct residential access shall be allowed to Cherry Hills Meadows Drive. A parking restriction shall be imposed on Cherry Hills Meadows Drive, with the developer responsible for the purchase and installation of said signage in this regard.

i. Establish a minimum forty (40) foot wide public right-of-way for the construction of a twenty-six (26) foot wide asphalt pavement area (including concrete rolled curb and gutter) and five (5) foot sidewalks on both sides of this internal roadway, which adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan. Along with this dedication of forty (40) feet of right-of-way, the developer shall provide a five (5) foot wide roadway, maintenance, landscaping, sewer, sidewalk, and utility easement along both sides of this public dedication area.

j. Dedicate/establish land area, a minimum of twenty-two (22) feet in total width, and construct within said dedication or easement for service and access to the fifteen (15) New Urbanism lots private asphalt service lanes (alleys), which comply with the Town Center Plan's Street Specifications and Streetscape Requirements. All streetscape requirements shall be required, as specified by the City of Wildwood's Town Center Plan for this type of dedication/easement area (within the boundaries of this development site) and be approved by the Department of Public Works.

k. Any planned traffic island/cul-de-sac shall be designed and constructed by the developer of this residential subdivision in accordance with City of Wildwood standards, and as directed by the Department of Public Works. The Planning and Zoning Commission, on the Site Development Plan, shall approve the final design of any traffic calming improvements.

Miscellaneous Roadway Requirements

- l. Installation of landscaping and ornamental entrance monument or identification signage, if proposed, shall be reviewed by the Department of Public Works for sight distance considerations and approved prior to its installation or construction.
m. If required sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to vertical alignment and other off-site improvements, may be required to provide the required sight distance as directed by the Department of Public Works.
n. Construction access shall be from Manchester Road to Cherry Hills Meadows Drive during the development of this site, not any residential street south of the boundary of this Planned Residential Development Overlay District.
o. Sidewalks shall be required on all public streets and provide for a continuous and logical layout of this pedestrian network. Design and construction requirements for all sidewalks within the entire development shall be as established in the Street Specifications and Streetscape Elements of the Town Center Plan. Approval of their location, design, and material shall be by the Planning and Zoning Commission, as part of the Site Development Plan review process.
p. The developer is advised that utility companies will require compensation for relocation of their utility facilities within public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's Traffic Generation Assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of roadway improvements.

q. All internal streets, access drives, or lanes, whether public or private, shall comply with the Streetscape Requirements of the Town Center Plan in terms of improvements, such as drive lane widths, sidewalks, stormwater drainage facilities, garden walls, street trees and lights, and pedestrian furniture. If certain streets, drives, or lanes are to be private, an easement shall be provided to the City granting public use of them for pedestrian and vehicular purposes. These easements shall be granted at the time of the Record Plat approval by the City Council.

Parking Requirements - Residential

r. Parking spaces shall be provided as required by the Town Center Plan's Neighborhood Design Standards and Section 415.340 Off-Street Parking and Loading Requirements of the City of Wildwood Zoning Ordinance for the R-4 7,500 square foot Residence District. The developer shall be responsible to provide additional parking spaces in the New Urbanism portion of the project. The total number of additional spaces shall be as determined on the Site Development Plan by the Planning and Zoning Commission.

Landscape Requirements - Specific

- s. Landscaping shall adhere to all requirements of Ordinance 410 and its accompanying Tree Manual, including the submittal of a Tree Preservation Plan in conjunction with the Site Development Plan.
t. All streets, roads, and lanes shall be appropriately landscaped as required by the Streetscape Design Requirements of the Town Center Plan and approved by the Planning and Zoning Commission on the Site Development Plan.
u. The areas of existing vegetation within the P.R.D. Overlay District boundaries identified as to be retained shall be marked on the site prior to the commencement of any disturbance in accord with the City of Wildwood's Ordinance 410. These areas shall be indicated on the Site Development Plan submitted to the City of Wildwood for Planning and Zoning Commission review and approval. Existing mature tree canopy shall be preserved in accordance with the requirements of City of Wildwood's Ordinance 410 Tree Preservation and Restoration Code.
v. Landscaping with the defined common ground areas shall comply with Ordinance 410 Tree Preservation and Restoration Code requirements and accompanying Tree Manual. The planting plan shall be approved by the Planning and Zoning Commission on the Site Development Plan. Amenities, such as benches, lights, and walking paths shall be installed in the open space area of the residential development by the developer of these thirty-eight (38) dwelling units.
w. A Landscape Architect shall sign and submit all plans for review and approval for this development.

Signs - Residential

x. Signs for this P.R.D. Overlay District shall be erected in accordance with the Town Center Plan Architectural Guidelines and Section 415.410 Sign Regulations of the City of Wildwood Zoning Ordinance for the R-4 7,500 square foot Residence District.
y. The location of all signage shall be as approved on the Site Development Plan by the Planning and Zoning Commission. Signage not located on common ground must be erected within an easement.

Lighting Requirements

z. The location of all lighting standards shall be as approved on the Site Development Plan. No on-site illumination source shall exceed sixteen (16) feet in height or be so situated that light is cast directly on adjoining properties. Illumination levels for all lighting shall comply with the provisions of the City of Wildwood's Zoning Code, Section 415.450 "Outdoor Lighting Requirements." A Lighting Study shall be submitted in conjunction with the Site Development Plan indicating compliance to these requirements. The Planning and Zoning Commission shall approve the location, design, and appearance of all light standards and fixtures as part of the Site Development Plan review process.

Miscellaneous Conditions

- aa. The design, color, material, and location of all garden and screen walls or fences, if planned or required, shall be consistent with the requirements of the Town Center Plan's Architectural Guidelines and be shown on the Site Development Plan for review and action by the Planning and Zoning Commission and the Architectural Review Board.
bb. Improvements associated with public infrastructure, such as roadways, sidewalks, and access points, shall comply with general design principles that will provide for safe and efficient movement of traffic in and around these sites and improve overall circulation in the area. These improvements shall be reviewed and approved by the Department of Public Works.
cc. Hours of construction and grading activity shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday, and 8:00 a.m. to 6:00 p.m. on Saturday. No development (grading and construction) activity shall be authorized on Sundays.
dd. All retaining walls exceeding three (3) feet in height per section or crossing individual property lines shall be constructed of an appropriate inter-locking concrete block system. Walls crossing property lines shall be located in a maintenance easement. The design, color, material, and location of all walls shall be consistent with the requirements of the Town Center Plan's Architectural Guidelines and be shown on the Site Development Plan for review and action by the Planning and Zoning Commission.
ee. The location of all utility easements for proposed service to this development shall be as approved by the Planning and Zoning Commission on the Site Development Plan. All utilities installed to serve this site shall be placed underground, including any existing overhead lines located on the subject property.

5. TRAFFIC GENERATION ASSESSMENT FEE

The developer shall contribute to the East Area Traffic Generation Assessment Trust Fund established by Section 140.210 of the City of Wildwood's Revised Codes. This assessment must be paid in full at the time of the first Zoning Authorization for any building or structure or when the individual issuances of building permits for the authorized lots are approved. This contribution shall not exceed the amount established by multiplying the number of parking spaces provided by the following rate:

Table with 2 columns: Type of Development, Required Contribution. Single Family Dwelling (detached) \$1,055.10/Parking Space. (Parking space is defined by Section 415.280 of the City of Wildwood Zoning Code.)

If type of development proposed differs than those listed, rates shall be provided by the Department of Public Works.

As this development is located within a Trust Fund area established by the City of Wildwood, any portion of the traffic generation assessment contribution, which remains, following completion of roadway improvements required by the development shall be retained in the appropriate trust fund.

The amount of this required contribution, if not submitted by January 1, 2015, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accord with the construction cost index as determined by the City of Wildwood Department of Public Works.

6. VERIFICATIONS PRIOR TO APPROVAL OF THE SITE DEVELOPMENT PLAN

Prior to approval of the Site Development Plan, the developer shall provide the following:

Table with 2 columns: ISSUE, REMARKS/DATE. 1 11-19-2014, INITIAL SUBMITTAL. 2 01-20-2015, Revised per City Comments. 3 02-10-2015, Revised per City Comments.

McBride Town Center, LLC
16001 Swingley Ridge Road, Suite 300
Chestertown, Missouri 63017
Ph: 636-637-2000
Fax: 636-637-2546
www.mcbriedehomes.com

THE STERLING CO.
ENGINEERS & SURVEYORS
6965 New Baumgardner Road
St. Louis, Missouri 63129
Ph: 314-487-0440 Fax: 314-487-9944
www.sterling-eng-sur.com
Corporate Certificate of Authority #01948

The Manors at
The Meadows at Cherry Hills
Wildwood, Missouri
ORDINANCE

Professional Engineer seal and signature of Michael G. Boerding, License No. MO E-28643, Civil Engineer.

Date: 01-20-2015
MICHAEL G. BOERDING
License No. MO E-28643
Civil Engineer
Job Number: 13-04-121
Date: Feb. 10, 2015
Designed: MF Sheet
Drawn: SL 7.1
Checked: SDP

Stormwater Improvements

- a. Submit to the Planning and Zoning Commission an engineering plan approved by the City of Wildwood Department of Public Works and the Metropolitan St. Louis Sewer District showing that adequate handling of the stormwater drainage of the site is provided.
1. The developer is required to provide adequate stormwater systems in accordance with the City of Wildwood and the Metropolitan St. Louis Sewer District standards.
2. All stormwater shall be discharged at an adequate natural discharge point.
3. Retention/detention of differential runoff of stormwater shall be required. Stormwater management shall be provided in permanent retention/detention facilities, such as ponds or other acceptable alternatives. These retention/detention facilities shall be completed and in operation prior to the issuance of building permits for an approved dwelling unit, except display lots.
4. All proposed retention/detention facilities and related stormwater improvements shall be located in a common ground area and insure perpetual maintenance to the Homeowners Association to be created at the time of platting of this development. These stormwater improvements shall provide appropriate plantings to meet Metropolitan St. Louis Sewer District standards, while also addressing the City of Wildwood's requirements relating to its Sustainable Landings Guide and Tree Manual. These areas, where lots faced onto them, must provide an appropriate environment and said determination will be indicated on the required Landscape Plan and acted upon by the Planning and Zoning Commission.
5. The developer of this site shall be solely responsible to provide the necessary mechanisms, as part of the Site Development Plan/Improvement Plan process, to implement "best management practices" for stormwater management and the construction of related facilities. Minimally, these practices/facilities should include rain gardens, vegetative swales, and other options to substantially reduce the amount of stormwater leaving the subject site.
6. The developer shall provide adequate detention and/or hydrologic calculations for review and approval of all stormwater that will encroach on City of Wildwood rights-of-way.
7. A bond or letter of credit will be required by the City of Wildwood to cover any downstream damage to abutting or adjacent properties, common ground areas, or drainageways caused by the developers' use of this subject site (land/disturbance/grading/construction activities, etc.), which shall be used for the restoration of damaged areas to their pre-development condition, if the developers fail to meet their responsibilities in this regard. The amount of this bond and the establishment of the process for creating an accurate baseline condition for the existing downstream facilities shall be at the discretion of the City of Wildwood Department of Public Works, in conjunction with input from the petitioner's engineer.

Geotechnical Report

- b. Provide a Geotechnical Report covering development and grading required by improvements involved with this site, as directed by the Department of Public Works. Said report shall verify the adaptability of grading and improvements with soil and geologic conditions which are susceptible to rapid erosion, landslide, and/or creep. A statement of compliance with this study, signed by the Geotechnical Engineer preparing the report, shall be included on all Site Development Plans. The development and construction plans shall be designed to conform to the requirements and conditions of the Geotechnical Report. The Geotechnical Engineer shall be required to sign and seal all plans with a certification the proposed construction will be completed in accordance with the grading and soils requirements and conditions contained in the report.

RECORDING

Within ninety (90) days of approval of the Site Development Plan by the Planning and Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

VERIFICATION PRIOR TO PERMITS

Notification to Department of Planning

- a. Subsequent to approval of the Site Development Plan and prior to issuance of any grading, foundation, or building permit, all approvals from the Department of Public Works, the Missouri Department of Natural Resources, the Metro West Fire Protection District, and the Metropolitan St. Louis Sewer District must be received by the Department of Planning.
b. Prior to the issuance of a foundation or building permit for any lot, which adjoins the common ground area and/or detention basin, written certification from a Professional Engineer which verifies these areas are graded in accordance with the approved plans, must be received by the Department of Planning.

Roadway Improvements

- c. Improvements to Manchester Road must be completed prior to the issuance of building permits in excess of fifty (50) percent of the units. Any delays in utility company relocation and adjustments will not constitute a cause to allow occupancy prior to completion of roadway improvements.

Land Subdivision

- d. Record a proper subdivision of the property and comply with all other applicable Subdivision and Development Regulations sections affecting the development of land, except as otherwise specified by this ordinance.

Indentures

- e. With the filing of the record plat establishing separate lots, the developer shall record an approved indenture, which defines the necessary assessments and specific trustee obligations in accord with provisions of Section 415.470 and 415.510 of the City of Wildwood Zoning Code.

Escrow Requirements

- f. All improvement and landscaping costs shall be submitted to the City of Wildwood through the standard subdivision escrow procedures.

Improvement Plans

- g. The developer of this residential subdivision shall provide to the City Improvement Plans indicating construction details relative to public and private infrastructure associated with its development. Said plans will be used to calculate escrow requirements for these identified improvements.

Sanitary Sewage System

- h. The developer shall provide verification from the Metropolitan St. Louis Sewer District that public sewer service has been provided to this site. Verification shall be in a form acceptable to the City of Wildwood.

GENERAL DEVELOPMENT CONDITIONS

- a. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
b. A grading permit is required prior to any grading on the site. Interim stormwater drainage control in the form of salutation control measures is required.
c. A copy of the most recently approved Site Development Plan for this P.R.D. Overlay District development shall be prominently displayed at all times in all sales offices for this development.
d. The petitioner shall be responsible for obtaining all necessary permits from the Department of Natural Resources Clean Water Commission as they relate to the development of this tract of land.

- e. If cut and fill operations occur during a season not favorable for immediate establishment of a permanent ground cover, a fast germinating annual, such as Rye or Sudan Grasses, shall be utilized to retard erosion.
f. Failure to comply with any or all of the conditions of this ordinance shall be adequate cause for revocation of permits by issuing City of Wildwood Departments or Commissions.
g. The Zoning Enforcement Officer of the City of Wildwood, Missouri, shall enforce the conditions of this ordinance in accord with Site Development Plans approved by the Planning and Zoning Commission and the Department of Planning.
h. Any other applicable zoning, subdivision, or other regulations or requirements of the City, whether in effect at the adoption of this ordinance or as may be hereinafter adopted, shall further apply to the development of this property as authorized by this Planned Residential Development Overlay District Ordinance, except as may be provided by law. Nothing herein shall be deemed a waiver of any subdivision, zoning or other development regulation of the City whether by implication or reference.

- i. This zoning approval is conditioned on compliance with the Zoning Code, Subdivision Code, and all applicable laws of the City. Such additional regulations are supplemental to the requirements herein and no modification of any applicable regulations shall result from this Planned Residential Development Overlay District ordinance, except where this ordinance has expressly modified such regulations by reference to the applicable provision authorizing such modification.

PUBLIC SPACE REQUIREMENTS

- a. Developer shall construct improved public space in conformance with or otherwise satisfying the requirements of the City's Public Space Ordinance, Chapter 415.260 and 415.270 of the City of Wildwood's Zoning Ordinance. The City Council accepts the findings of the Public Space Study adopted therein and determines the compliance with the Public Space Ordinance provisions will address the impact of this specific development on public space needs in a manner and amount that is equal to less than an amount that is roughly proportional to the actual or anticipated impact. The installation of required public space improvements shall be as required by the applicable ordinances, but shall be completed prior to issuance of any occupancy (temporary or final) permit for the authorized by this ordinance. This restriction does not apply to allowable display units that are authorized on a Display Plat. Unless otherwise approved pursuant to the procedures set forth in the Public Space Ordinance, the public space attributable to this development, based upon the number of authorized dwelling units, at a rate of 1,742.4 square feet per new single family dwelling.

In addition to any improvements set forth in the Public Space Requirements of the City's Zoning Ordinance for this project, the developer shall provide, as a minimum, a twenty (20) foot wide trail easement to the City of Wildwood from Cherry Hills Meadows Drive in the eastern boundary of the Planned Residential Development Overlay District. Within this twenty (20) foot wide easement area, a multiple-use trail shall be constructed at a ten (10) foot width for its entire length, which complies with City of Wildwood standards. The location of this easement area shall be reviewed and acted upon by the Planning and Zoning Commission, as part of the Site Development Plan process.

Section Three. This ordinance shall be in full force and effect on and after its passage and approval.

This Bill was passed and approved this 17 day of November, 2014, by the Council of the City of Wildwood, Missouri after having been read by title, or in full, two (2) times prior to its passage.

Presiding Officer: [Signature]
The Honorable Timothy Woerther, Mayor: [Signature]

ATTEST:
City Clerk: [Signature]
Lynne Greene Beldner, Deputy City Administrator/City Clerk: [Signature]

This plan was approved by the City of Wildwood's Planning and Zoning Commission in accordance with the provisions of Section _____ of the Zoning Code. This plan shall be developed under the conditions herein prescribed by Ordinance _____ which was approved by the City Council of the City of Wildwood, Missouri on _____.

Joe Vujnich, Director of Planning
Date

I, Lynne Greene-Beldner, City Clerk of the City of Wildwood, St. Louis County, Missouri do hereby certify the Site Development Plan submitted for this residential development is required under Ordinance _____, which was approved by the City Council on _____. Said ordinance of the same appears on record in my office as testimony whereof, I hereunto now set my hand and affix the official seal of the City of Wildwood, Missouri, St. Louis County on this _____ day of _____, 2014.

Lynne Greene-Beldner, City Clerk

Owner's Script:
(Owner's Name)

In connection with a change in zoning for the following described property from _____ to _____ (Prior zoning) (Present zoning)

ADJUSTED PARCEL A

A TRACT OF LAND BEING ALL OF ADJUSTED PARCEL A OF BOUNDARY ADJUSTMENT PLAT RECORDED IN PLAT BOOK 322 PAGES 42 AND 43 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, LOCATED WITHIN SECTION 1, TOWNSHIP 44 NORTH, RANGE 3 EAST, ST. LOUIS COUNTY MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 10 OF MEADOWS AT CHERRY HILLS AS RECORDED IN PLAT BOOK 327 PAGE 97 OF THE ABOVE MENTIONED RECORDER'S OFFICE, ALSO BEING ON THE EAST LINE OF THE COMMON GROUND OF OAK PARK PLAT ONE AT THE VILLAGES OF CHERRY HILLS AS RECORDED IN PLAT BOOK 250 PAGE 47 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE EAST LINE OF SAID COMMON GROUND AND ITS PROLONGATION, NORTH 01°03'11" EAST, 440.21 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF MANCHESTER (VARIABLE WIDTH) ROAD; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE, NORTH 72°24'39" EAST, 639.37 FEET; THENCE SOUTH 17°35'21" EAST, 11.00 FEET TO THE WEST RIGHT OF WAY LINE OF CHERRY HILLS MEADOWS (VARIABLE WIDTH) DRIVE; THENCE ALONG SAID WEST RIGHT OF WAY LINE THE FOLLOWING COURSES, DISTANCES AND CURVES: ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 20.00 FEET AND AN ARC LENGTH OF 30.23 FEET; SOUTH 20°58'45" EAST, 100.64 FEET; SOUTH 22°34'13" EAST, 180.07 FEET; SOUTH 20°58'43" EAST, 201.33 FEET; ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 150.00 FEET AND AN ARC LENGTH OF 87.89 FEET TO THE NORTHEAST CORNER OF LOT 1 OF SAID MEADOWS AT CHERRY HILLS; THENCE ALONG THE NORTH LINE OF LOTS 1 THOUGH 10 OF SAID MEADOWS AT CHERRY HILLS, SOUTH 83°24'53" WEST, 837.75 FEET TO THE POINT OF BEGINNING AND CONTAINING 8.6 ACRES, ACCORDING TO RECORD INFORMATION AND SUBJECT TO A FUTURE PROPERTY BOUNDARY SURVEY. UNDER ORDER NUMBER 13-04-121.

ADJUSTED PARCEL C

A TRACT OF LAND BEING ALL OF ADJUSTED PARCEL C OF BOUNDARY ADJUSTMENT PLAT RECORDED IN PLAT BOOK 322 PAGES 42 AND 43 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, LOCATED WITHIN SECTION 1, TOWNSHIP 44 NORTH, RANGE 3 EAST, ST. LOUIS COUNTY MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF MANCHESTER (VARIABLE WIDTH) ROAD AND THE EAST LINE OF ABOVE SAID SECTION 1; THENCE ALONG THE EAST LINE OF SAID SECTION 1, SOUTH 01°13'14" WEST, 593.82 FEET TO THE NORTHEAST CORNER OF THE COMMON GROUND OF MEADOWS AT CHERRY HILLS AS RECORDED IN PLAT BOOK 327 PAGE 97 OF THE ABOVE MENTIONED RECORDER'S OFFICE; THENCE ALONG THE NORTH LINE OF SAID COMMON GROUND, NORTH 89°34'50" WEST, 137.57 FEET TO THE NORTHWEST CORNER OF SAID COMMON GROUND, ALSO BEING ON THE EAST RIGHT OF WAY LINE OF CHERRY HILLS MEADOWS (VARIABLE WIDTH) DRIVE; THENCE ALONG THE SAID EAST RIGHT OF WAY LINE OF CHERRY HILLS MEADOWS DRIVE THE FOLLOWING COURSES, DISTANCES AND CURVES: ALONG AN ARC TO THE LEFT HAVING A RADIUS OF 200.00 FEET AND AN ARC LENGTH OF 22.81 FEET; THENCE NORTH 20°58'43" WEST, 201.33 FEET; NORTH 19°23'17" WEST, 180.07 FEET; NORTH 20°58'45" WEST, 94.71 FEET; ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 20.00 FEET AND AN ARC LENGTH OF 32.60 FEET TO A POINT ON SAID SOUTH RIGHT OF WAY LINE OF SAID MANCHESTER ROAD; THENCE LEAVING LAST SAID EAST RIGHT OF WAY LINE AND ALONG SAID SOUTH RIGHT OF WAY LINE, NORTH 72°24'39" EAST, 299.37 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.0 ACRES, ACCORDING TO RECORD INFORMATION AND SUBJECT TO A FUTURE PROPERTY BOUNDARY SURVEY. UNDER ORDER NUMBER 13-04-121.

(name of owner), the owner(s) of the property shown on this plan for and in consideration of being granted a permit to develop said property under the provisions of Section _____ (applicable subsection) of the City's Zoning Code and the _____ (present zoning), do hereby agree, declare, and covenant that from the date of recording of this plan, the property shall be developed only as shown herein. This covenant shall run with the land, and shall be enforceable pursuant to Sections 87.870 through 87.900 R.S. Mo. by the City of Wildwood or its successor as a plan of development adopted by the City of Wildwood's Planning and Zoning Commission to promote orderly development. This plan may be amended or supersede by the Planning and Zoning Commission or modified by the Department of Planning or voided by order of the City of Wildwood's City Council, each as more particularly authorized by the City of Wildwood's Zoning Code now and hereafter in effect.

Signature: _____ (Name Typed)

State of Missouri)
County of St. Louis) SS

On this _____ day of _____, 2014, before me personally appeared _____ to me personally known, who being by me duly sworn, did say that he is a Member of MCBRIDE TOWN CENTER, LLC, a limited liability company of the State of Missouri, and that said instrument was signed and sealed in behalf of said limited liability company by authority of its operating agreement and said _____ acknowledged said instrument to be the free act and deed of said limited liability company.

In testimony whereof, I have hereunto set my hand and affixed my notarial seal, the day and year my Commission expires.

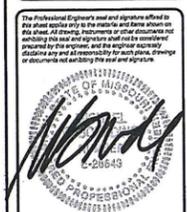
Notary Public

Table with 3 columns: ISSUE, REMARKS/DATE, INITIAL SUBMITTAL. Rows for 11-19-2014, 01-20-2015, 02-10-2015.

McBride Town Center, LLC
16031 Swingley Ridge Road, Suite 300
Chesterfield, Missouri 63017
Ph. 636-537-2000
Fax 636-537-2546
www.mcbridetownhomes.com

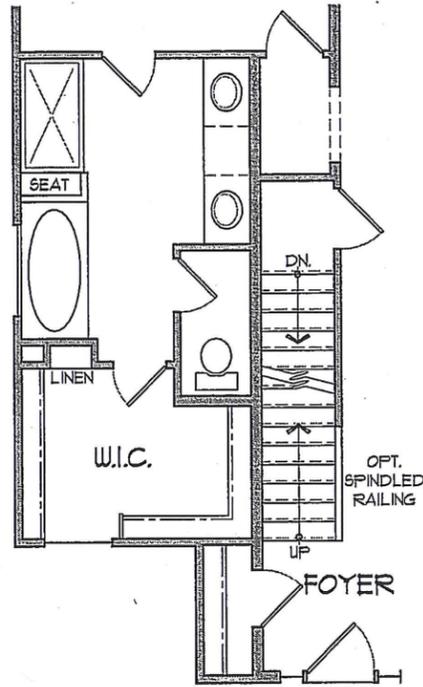
THE STERLING CO.
ENGINEERS & SURVEYORS
6666 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-487-0440 Fax 314-487-5944
www.sterling-eng-sur.com
Corporate Certificate of Authority #01948

The Manors at
The Meadows at Cherry Hills
Wildwood, Missouri
ORDINANCE

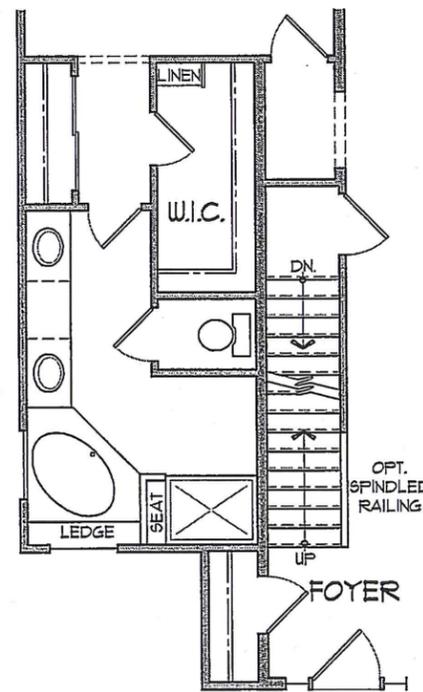


Date: 01-20-2015
MICHAEL G. BOERDING
License No. MO E-28643
Civil Engineer

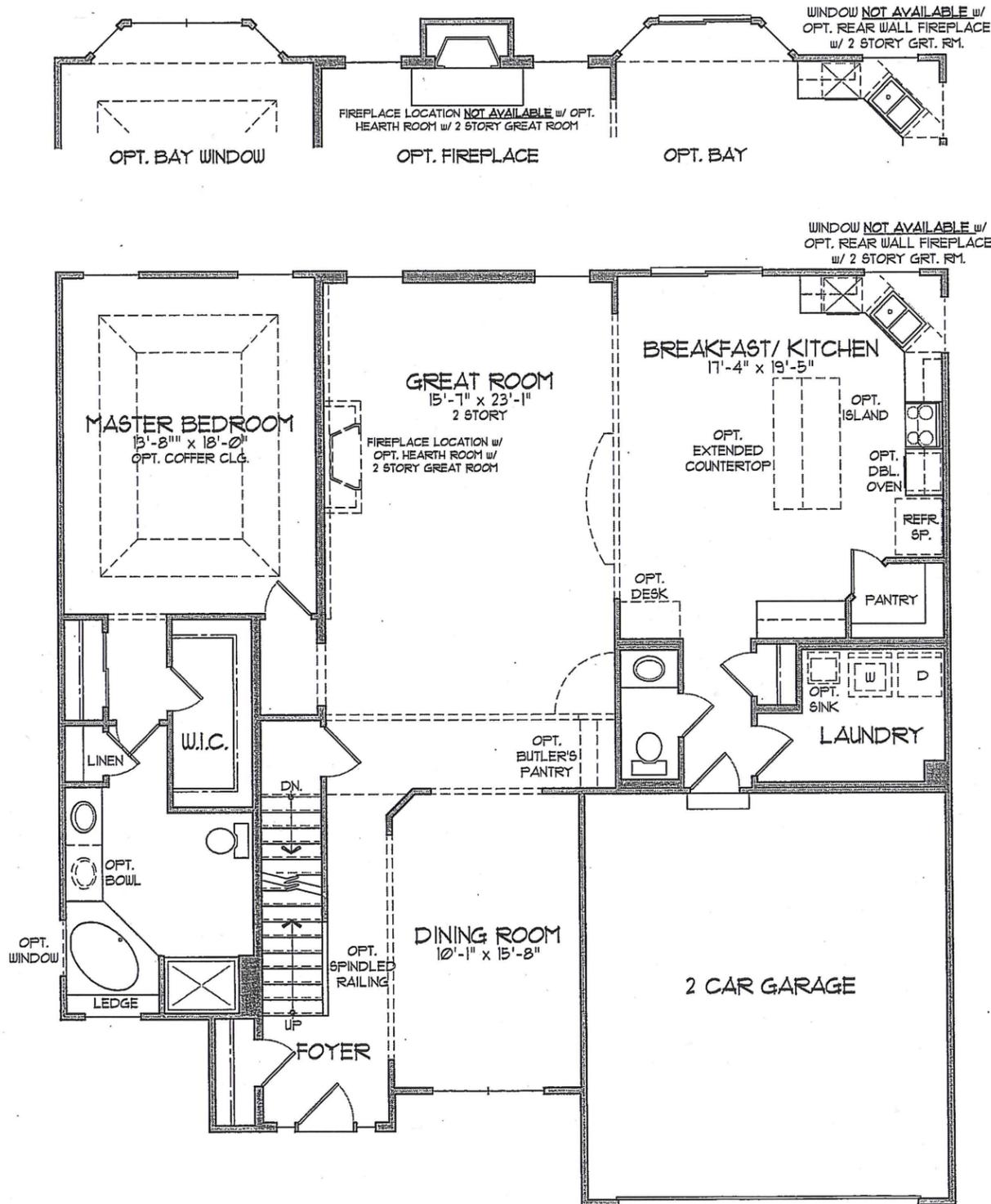
Job Number: 13-04-121
Date: Feb. 10, 2015
Designed: MF Sheet
Drawn: SL 7.2
Checked: SDP



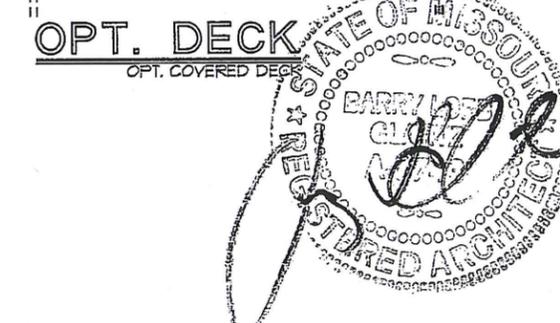
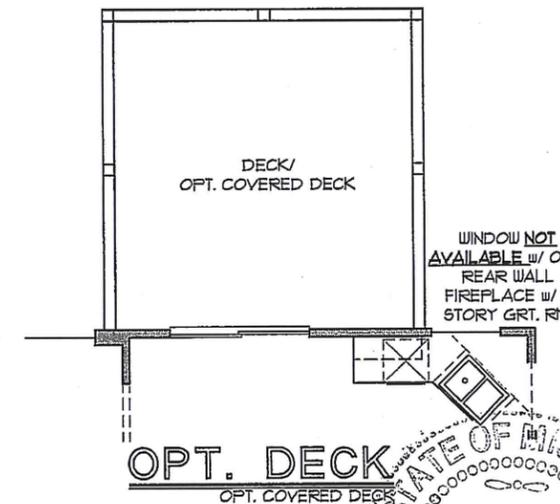
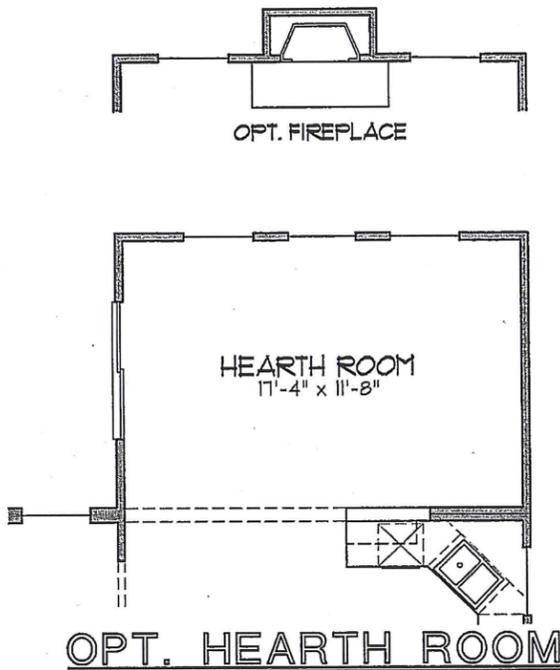
OPT. LUXURY MASTER BATH #2



OPT. LUXURY MASTER BATH



FIRST FLOOR PLAN



McBride and Son Homes Architecture, LLC
 1401 S. Kingshighway, Suite 300
 Springfield, MO 65801
 Phone: (417) 531-1000
 www.mcbrideandson.com

PIN OAK
CHERRY HILLS

McBRIDE & SON HOMES
 "A Company Owned by its Employees"

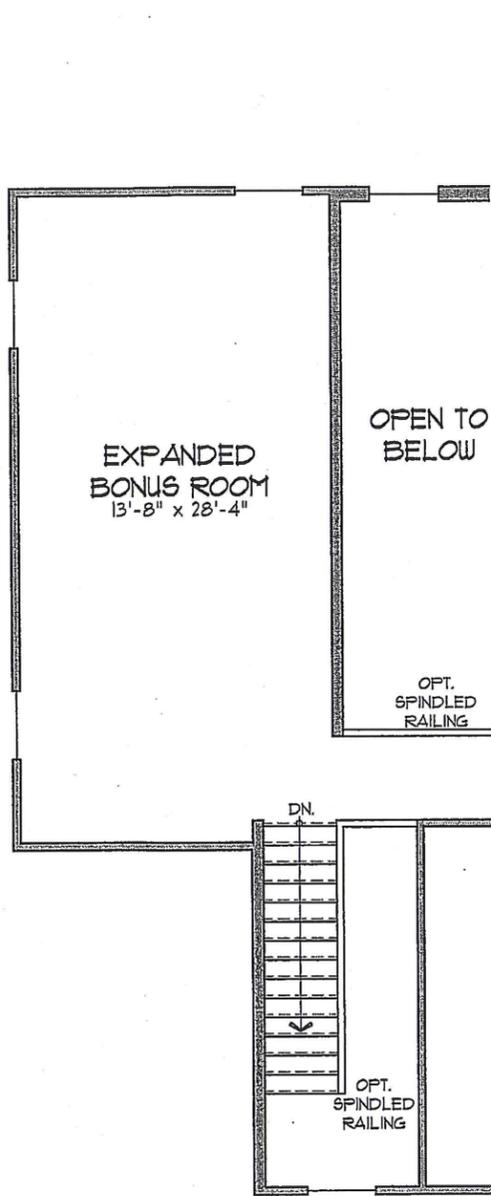
McBRIDE & SON ARCHITECTURE, LLC
 1401 S. Kingshighway, Suite 300
 Springfield, MO 65801
 Phone: (417) 531-1000
 www.mcbrideandson.com

COMPUTER DWG.	
GLANTZ JOB NO.	
DATE	
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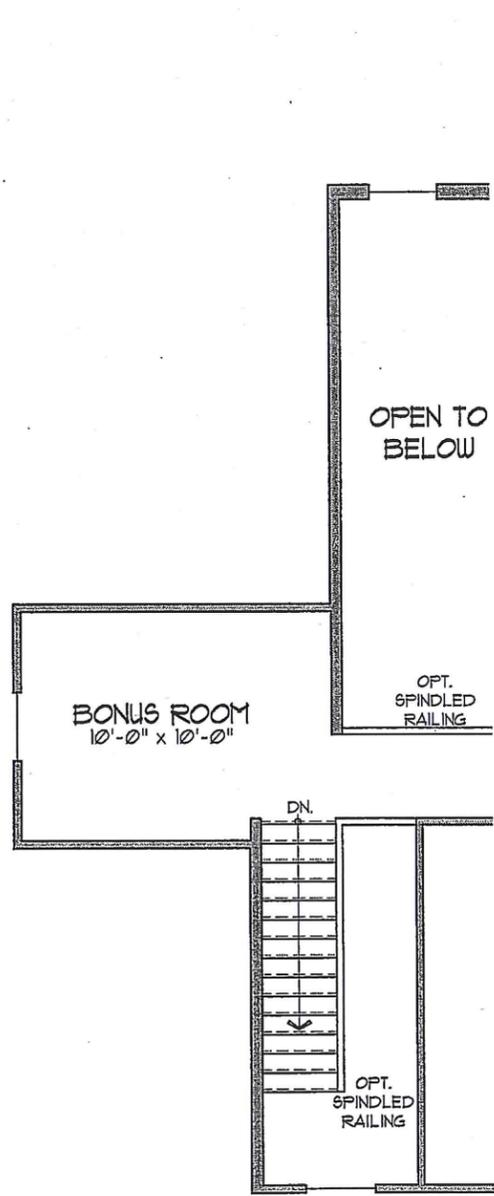
McBride and Son Homes Architecture, LLC
 10000 Ridge Road, Suite 300
 Greenwood Village, CO 80120
 Phone: (303) 750-2800
 www.mcbriدهomes.com

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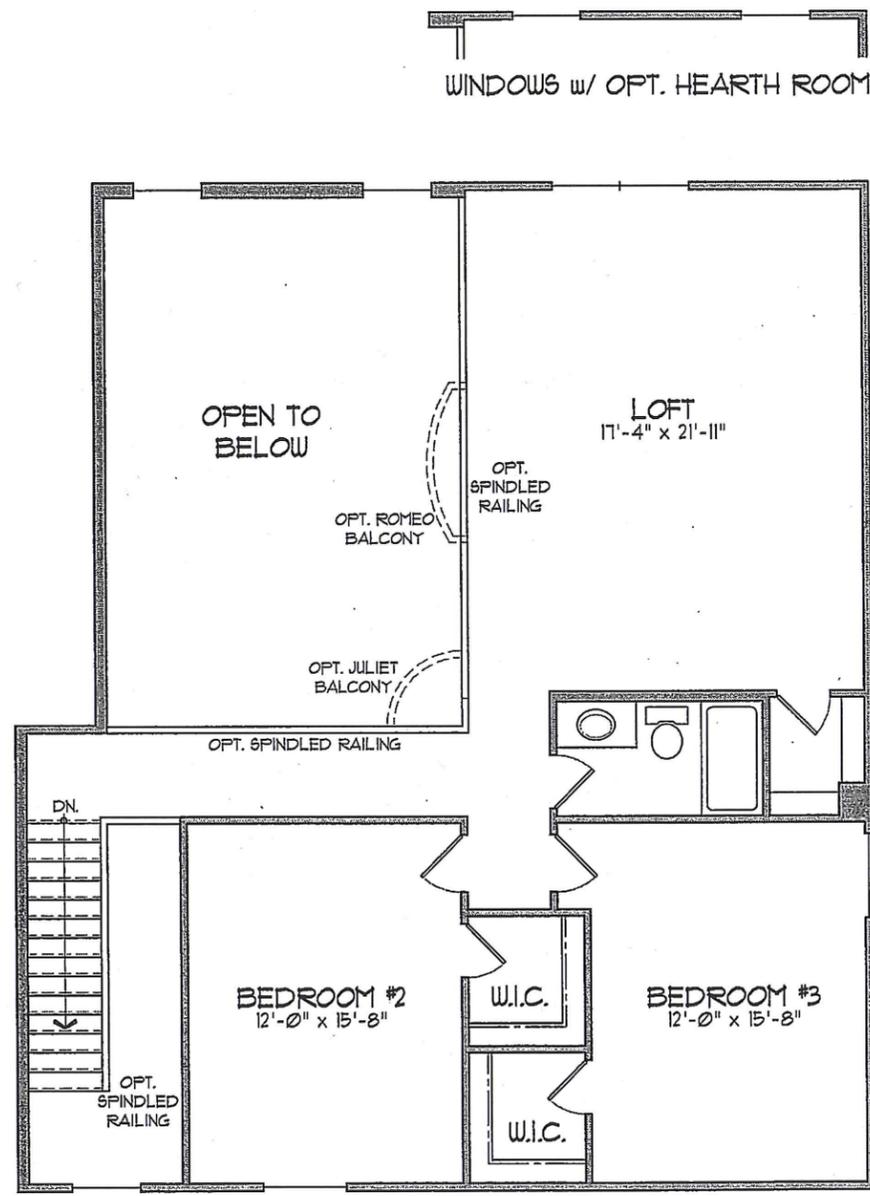
The architect's seal affixed to this sheet indicates that the professional architect whose name appears in the seal above prepared or directed the preparation of the design and architectural work depicted on this sheet. Any other design or documents that do not contain the seal were not prepared by or on the responsibility of the professional architect whose name appears in the seal affixed to this sheet and the architect's seal.



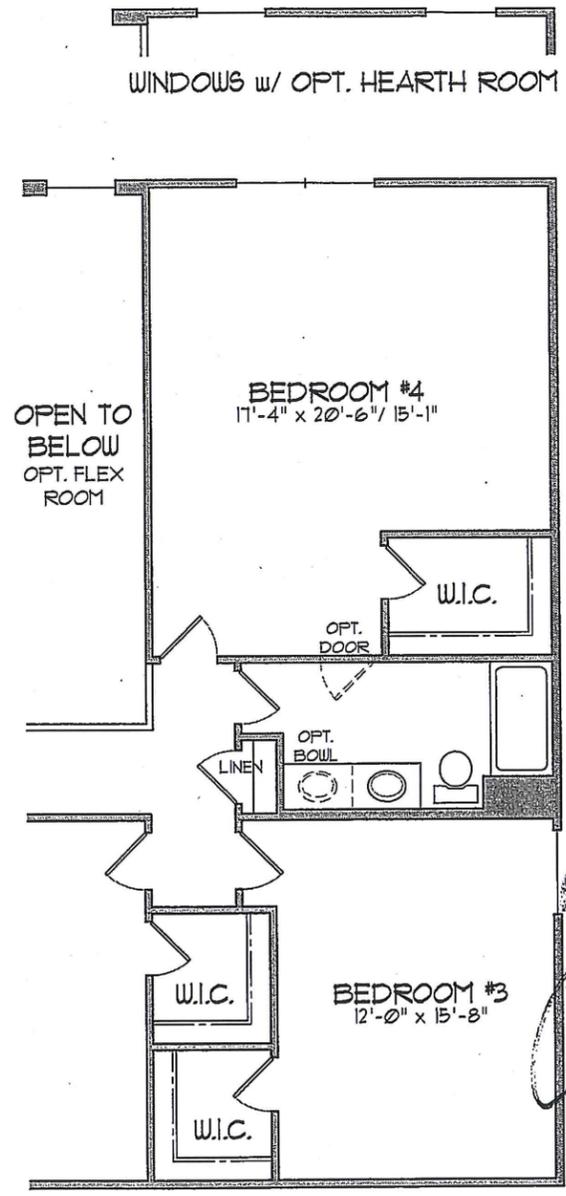
OPT. EXPANDED BONUS ROOM



OPT. BONUS ROOM



SECOND FLOOR PLAN
 STD. SECOND FLOOR PLAN w/ OPT. EXTENDED KITCHEN



OPT. 4TH BEDROOM

PIN OAK

CHERRY HILLS

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 Greenwood Village, CO 80120
 Phone: (303) 750-2800
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3-27-15
 STATE OF COLORADO
 ARCHITECT
 [Signature]

COMPUTER DWG.

GLANTZ JOB NO.

DATE

SHEET REV.

OF



"F" FRONT ELEVATION

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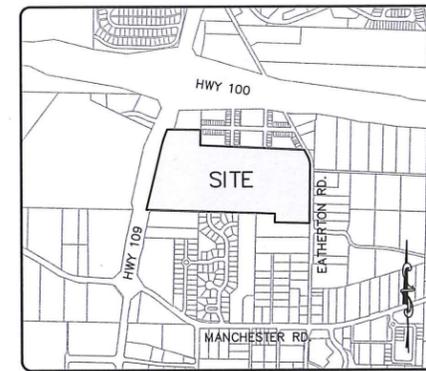
COMPUTER DWG.
GLANTZ JOB NO.
DATE
SHEET REV.
OF

Main Street Crossing

A Tract Of Land Located In
Sections 1 & 2, Township 44 North, Range 3 East,
City Of Wildwood,
St. Louis County, Missouri

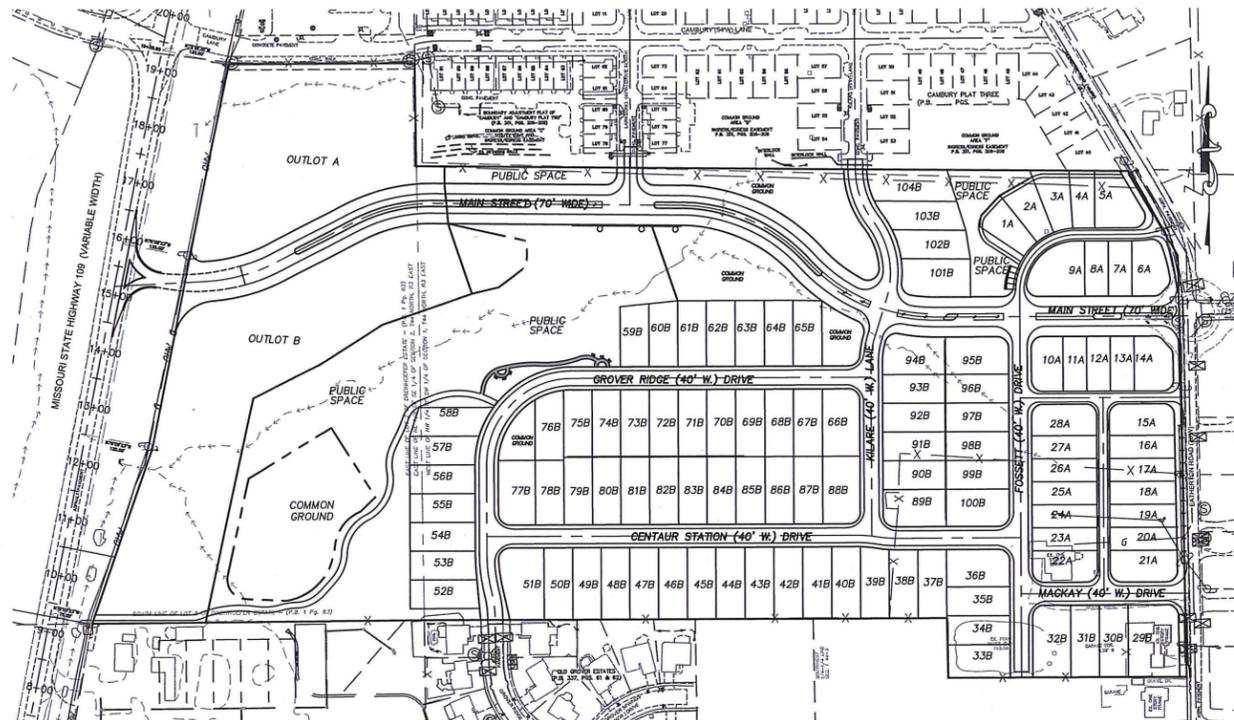
Site Development Plan

R-4 7,500 Square Foot Residence District, With A Planned
Residential Development Overlay District (PRD),
Town Center Neighborhood Edge District, Ordinance #2116



LOCATION MAP
N.T.S.

EXISTING	LEGEND	PROPOSED
542	CONTOUR	(54)
X336	SPOT ELEVATIONS	(53.4)
	CENTER LINE	
	BUILDINGS, ETC.	
	TREE LINE	
X	FENCE	
	STORM SEWERS	
	SEWAGE TREATMENT	
	CATCH BASIN	
	AREA INLET	
	URATED INLET	
	STORM MANHOLE	
	SANITARY MANHOLE	
	FLARED END SECTION	
	CLEANOUT	
	LATERAL CONNECTION	
	UTILITY OR PIPER POLE	
	PIPE HYDRANT	
	TEST HOLE	
	PAVEMENT	
	GAS MAIN & SIZE	(12")
	WATER MAIN & SIZE	(6")
	TELEPHONE	(T)
	ELECTRIC (U) UNDERGROUND	(E)
	ELECTRIC (O) OVERHEAD	(OH)
	FLOW LINE	
	TO BE REMOVED	TR
	TOP OF CURB	(TC)
	SWALE	
	LIGHT STANDARD	
	STREET SIGN	
	P.S. PARKING STALLS	P.S.
	YARD LIGHT	
	TURF REINFORCEMENT MAT	



KEY MAP
N.T.S.

SHEET INDEX

- 1.1 COVER SHEET
- 2.1-2.2 SDP - SITE PLAN
- 3.1-3.2 SDP - GRADING PLAN
- 4.1-4.2 SDP - PUBLIC SPACE PLAN
- 5.1 NATURAL RESOURCES MAP
- 5.2 TREE PROTECTION PLAN
- 6.1 SITE SECTIONS
- 7.1-7.2 ORDINANCE #2116
- L-1-L-3 LANDSCAPE PLAN
- P-1 LIGHTING PLAN

PROPERTY DESCRIPTION:

A TRACT OF LAND BEING A PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 1, AND A PART OF LOT 2 OF DREINHOEFER ESTATE IN THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 2, RECORDED IN PLAT BOOK 1, PAGE 63 OF THE LOUIS COUNTY RECORDS, ALL IN TOWNSHIP 44 NORTH, RANGE 3 EAST CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF PROPERTY DESCRIBED IN DEED TO MILDRED E. SCHNEIDER, TRUSTEE, RECORDED IN BOOK 12833, PAGE 620 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, SAID POINT ALSO BEING THE NORTHEAST CORNER OF AT TRACT OF LAND CONVEYED TO ANDREW E. LINDBERG BY DEED RECORDED IN BOOK 7597, PAGE 1337 OF SAID RECORDS, SAID POINT ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF EATHERTON ROAD, 30 FEET WIDE, SAID POINT BEING 15 FEET PERPENDICULAR DISTANCE SOUTHWEST OF THE CENTERLINE OF SAID EATHERTON ROAD; THENCE ALONG THE NORTH LINE OF SAID LINDBERG TRACT, NORTH 87° 25' 51" WEST, 417.42 FEET, THENCE LEAVING SAID NORTH LINE, NORTH 01° 41' 38" EAST, 104.36 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF ABOVE SAID SECTION 1; THENCE ALONG SAID SOUTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 1, SAID LINE ALSO BEING THE NORTH LINE OF OLD GROVER ESTATES, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 337 PAGE 61 OF SAID RECORDS, NORTH 87° 25' 51" WEST, 914.54 FEET TO THE NORTHWEST CORNER OF LOT 25 OF SAID OLD GROVER ESTATES SUBDIVISION, SAID CORNER ALSO BEING THE INTERSECTION OF SAID SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 1 AND THE WEST LINE OF SAID SECTION 1; THENCE ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF ABOVE SAID SECTION 2, SAID LINE ALSO BEING THE NORTH LINE OF A TRACT OF LAND CONVEYED TO COLUMBIA SPORTS, LLC TRACT, SAID CORNER BEING THE INTERSECTION OF THE EAST LINE OF MISSOURI STATE HIGHWAY 109, WIDTH VARIES, AS WIDENED BY DOCUMENT RECORDED IN DEED BOOK 6558 PAGE 2183 OF SAID RECORDS, AND SAID SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 2, SAID INTERSECTION BEING 75 FEET PERPENDICULAR DISTANCE EAST OF THE CENTERLINE OF SAID HIGHWAY 109; THENCE LEAVING LAST SAID SOUTH LINE AND ALONG SAID EAST LINE OF HIGHWAY 109 THE FOLLOWING COURSES, DISTANCES AND CURVES: NORTH 21° 48' 57" EAST, 325.13 FEET TO A POINT BEING 120 FEET PERPENDICULAR DISTANCE EAST OF SAID CENTERLINE OF HIGHWAY 109; NORTH 13° 51' 37" EAST, 359.82 FEET TO A POINT OF CURVATURE, AND ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 22,798.32 FEET, WHOSE CHORD BEARS NORTH 14° 17' 34" EAST, 344.16 FEET, AN ARC DISTANCE OF 344.17 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF CAMBURY LANE, 54 FEET WIDE, SAID POINT BEING 27 FEET PERPENDICULAR DISTANCE SOUTH OF THE CENTERLINE OF SAID CAMBURY LANE; THENCE LEAVING LAST SAID EAST LINE AND ALONG SAID SOUTH RIGHT-OF-WAY LINE OF CAMBURY LANE, SOUTH 87° 35' 00" EAST, 322.50 FEET TO A POINT ON THE WEST LINE OF "BOUNDARY ADJUSTMENT PLAT OF "CAMBURY" AND "CAMBURY PLAT TWO", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 351, PAGE 208 OF SAID RECORDS; THENCE LEAVING LAST SAID SOUTH RIGHT-OF-WAY LINE AND ALONG SAID WEST LINE OF BOUNDARY ADJUSTMENT PLAT, SOUTH 01° 57' 00" WEST, 180.00 FEET TO THE SOUTHWEST CORNER OF SAID BOUNDARY ADJUSTMENT PLAT; THENCE LEAVING LAST SAID WEST LINE AND ALONG THE SOUTH LINE OF SAID BOUNDARY ADJUSTMENT PLAT, SOUTH 86° 48' 00" EAST, 1246.20 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF EATHERTON ROAD (30 FEET WIDE), SAID POINT BEING 15 FEET DISTANT PERPENDICULAR WEST OF THE CENTERLINE OF SAID ROAD; THENCE ALONG THE WESTERN RIGHT-OF-WAY LINE OF EATHERTON ROAD (30 FEET WIDE) AND PARALLEL TO THE CENTERLINE OF SAID ROAD THE FOLLOWING COURSES AND DISTANCES: SOUTH 27° 50' 50" EAST, 171.71 FEET TO AN ANGLE POINT; THENCE SOUTH 01° 41' 38" WEST, 735.17 FEET TO THE POINT OF BEGINNING, CONTAINING 1,508,659 SQUARE FEET OR 34,634 ACRES, MORE OR LESS, ACCORDING TO CALCULATIONS PERFORMED BY THE STERLING COMPANY DURING THE MONTH OF OCTOBER, 2015 UNDER ORDER NO. 14-04-126.

SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF NOVEMBER, 2015, AT THE REQUEST OF PAYNE FAMILY HOMES, PREPARED A SITE DEVELOPMENT PLAN OF "MAIN STREET CROSSING", A TRACT OF LAND LOCATED IN SECTIONS 1 & 2, TOWNSHIP 44 NORTH, RANGE 3 EAST, CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI. THIS PLAN IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" IN EFFECT AT THE DATE OF THIS PLAN.

THE STERLING COMPANY

JAMEY A HENSON, PLS
MO. REG. PLS #2007017953

GENERAL NOTES:

- THIS SITE IS IN THE FOLLOWING DISTRICTS AND UTILITY SERVICE AREAS:
WARD EIGHT
METRO WEST FIRE PROTECTION DISTRICT
ST. LOUIS COUNTY POLICE DEPARTMENT - CITY OF WILDWOOD (6TH) PRECINCT
ROCKWOOD R-6 SCHOOL DISTRICT
METROPOLITAN ST. LOUIS SEWER DISTRICT
AMEREN MISSOURI
AT&T
LACLEDE GAS COMPANY
MISSOURI AMERICAN WATER COMPANY
CHARTER CABLE SERVICES
- SANITARY SEWER CONSTRUCTION AND CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AND IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES.
- STORMWATER SYSTEM DESIGN SHALL BE PURSUANT TO THE CITY OF WILDWOOD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND SHALL DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
- THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
- ALL GRADING AND DRAINAGE SHALL BE PER CITY OF WILDWOOD AND METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARDS. SOURCE OF TOPOGRAPHY - MSD ORTHOTOP.
- NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF WILDWOOD.
- ALL UTILITIES WILL BE LOCATED UNDERGROUND WITHIN THIS SITE.
- NO PLANTS, TREES, SIGNS, ETC. GREATER THAN 36" IN HEIGHT SHALL BE PLACED WITHIN THE SIGHT DISTANCE TRIANGLE.
- MAXIMUM HEIGHT OF STREET LIGHTING FIXTURES SHALL BE 16 FEET AND SHALL BE IN COMPLIANCE WITH THE CITY OF WILDWOOD OUTDOOR LIGHTING REQUIREMENTS.
- STREET TREES AND SITE LANDSCAPING SHALL BE AS REQUIRED BY THE CITY OF WILDWOOD. SEE INCLUDED LIGHTING AND LANDSCAPE PLANS.
- BUILDING HEIGHT SHALL NOT EXCEED 2 STORIES OR 24 FEET.
- THE NEAREST MAJOR INTERSECTION IS MANCHESTER ROAD AND STATE ROUTE 109 APPROXIMATELY 1200 FEET TO THE NORTH.
- THE FRONT FACADES MUST BE 1.5 FEET ABOVE GRADE AT THE FRONTAGE LINES.
- ENTRANCES, STREET INTERSECTIONS, CUL-DE-SACS SHALL BE CONSTRUCTED TO CITY OF WILDWOOD AND MDDOT STANDARDS.
- NO PLANTS, TREES, SIGNS, ETC., SHALL BE PLACED WITHIN THE SIGHT TRIANGLE AT INTERSECTIONS/MEDIANS AS TO RESTRICT SIGHT DISTANCE.

DEVELOPMENT NOTES:

- LOCATOR NUMBER: 23V120094
- SITE ADDRESS: 2461 EATHERTON RD.
WILDWOOD, MO 63640
 - CURRENT OWNER: MILDRED E. SCHNEIDER, TRUSTEE
15 WILDNESS LN.
DEFIANCE, MO 63341
 - OWNER UNDER CONTRACT: PAYNE FAMILY HOMES
10407 BAUR BLVD., SUITE B
ST. LOUIS, MO 63132
 - EXISTING ZONING: R-4 WITH A PRD, TOWN CENTER NEIGHBORHOOD EDGE DISTRICT
 - PROPOSED USE: SINGLE FAMILY RESIDENTIAL
 - GROSS AREA OF SITE: 28.03 ACRES
RIGHT-OF-WAY: 58.00 ACRES
NET AREA: 22.03 ACRES
 - DENSITY = 22.03 AC. X 43,560 S.F./AC. = 127 LOTS ALLOWABLE
7,500 SQ.FT.
 - NUMBER OF LOTS PROPOSED: 104
 - PARKING REQUIREMENTS:
2 EA. X 104 LOTS = 208 SPACES
PROVIDED = 208 SPACES

FLOOD NOTE:

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF SAINT LOUIS COUNTY, MISSOURI, AND UNINCORPORATED AREAS (COMMUNITY PANEL NUMBER 29189C0260K DATED FEBRUARY 4, 2015), THIS PROPERTY LIES ENTIRELY OUTSIDE THE 500-YEAR FLOODPLAIN.

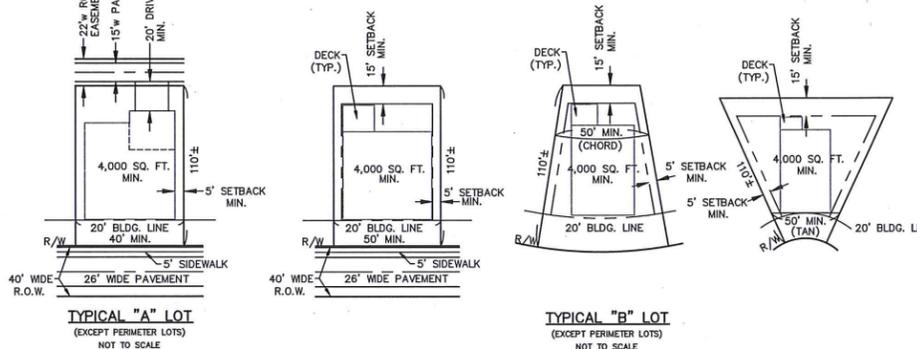
GEOTECHNICAL ENGINEER'S STATEMENT:

THESE PLANS HAVE BEEN REVIEWED BY SCI ENGINEERING, INC. FOR THEIR COMPLIANCE REGARDING GEOTECHNICAL RECOMMENDATIONS RELATIVE TO SITE DEVELOPMENT. BASED ON THIS REVIEW AND AVAILABLE SUBSURFACE INFORMATION, IT IS OUR OPINION THAT THE SITE MAY BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS, GOOD CONSTRUCTION PRACTICES, AND THE RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT PREPARED BY SCI ENGINEERING, INC DATED OCTOBER 2014.

WE HAVE NOT PREPARED ANY PART OF THESE PLANS AND MY SEAL ON THESE PLANS IS INTENDED ONLY TO CONFIRM MY PERSONAL REVIEW AND APPROVAL TO THE SITE GRADING PLAN AS IT RELATES TO THE STABILITY OF EARTH SLOPES.

SCI ENGINEERING, INC MUST BE INVOLVED DURING THE CONSTRUCTION PHASE OF THIS PROJECT IN ORDER TO DETERMINE IF SUBSURFACE CONDITIONS ARE AS ANTICIPATED FROM THE FIELD EXPLORATION DATA, THAT OUR RECOMMENDATIONS RELATIVE TO SITE GRADING ARE IMPLEMENTED, AND THAT OTHER GEOTECHNICAL ASPECTS OF SITE DEVELOPMENT ARE PERFORMED IN ACCORDANCE WITH THESE PLANS.

SCI ENGINEERING, INC



ISSUE	REMARKS/DATE
1	10-30-2015, INITIAL SUBMITTAL
2	11-19-2015, CLIENT REVISIONS
3	2-23-2016, CITY COMMENT REVISIONS
4	8-2-2016, REVISED ORDINANCE

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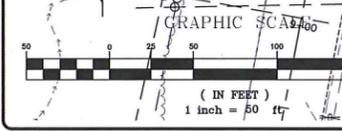
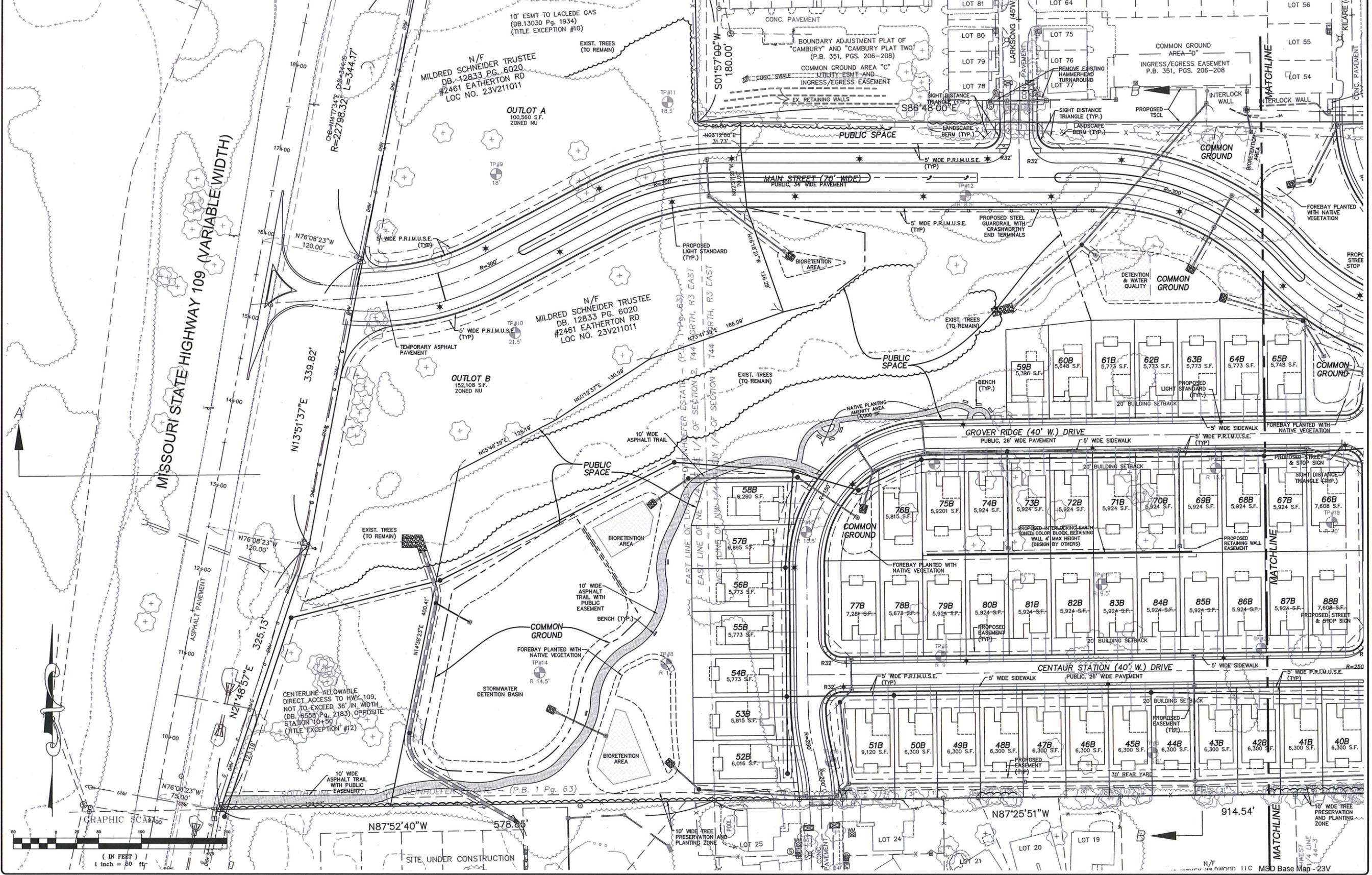
Main Street Crossing
2461 EATHERTON RD., WILDWOOD, MO
COVER SHEET



Date: 8-9-2016
RODNEY ARNOLD
License No. PE-2062016612
Civil Engineer

Job Number	14-04-126
Date	8-9-2016
Designed: SL	Sheet
Drawn: SL	1.1
Checked:	SDP

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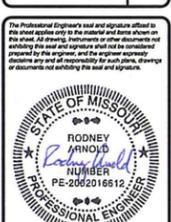


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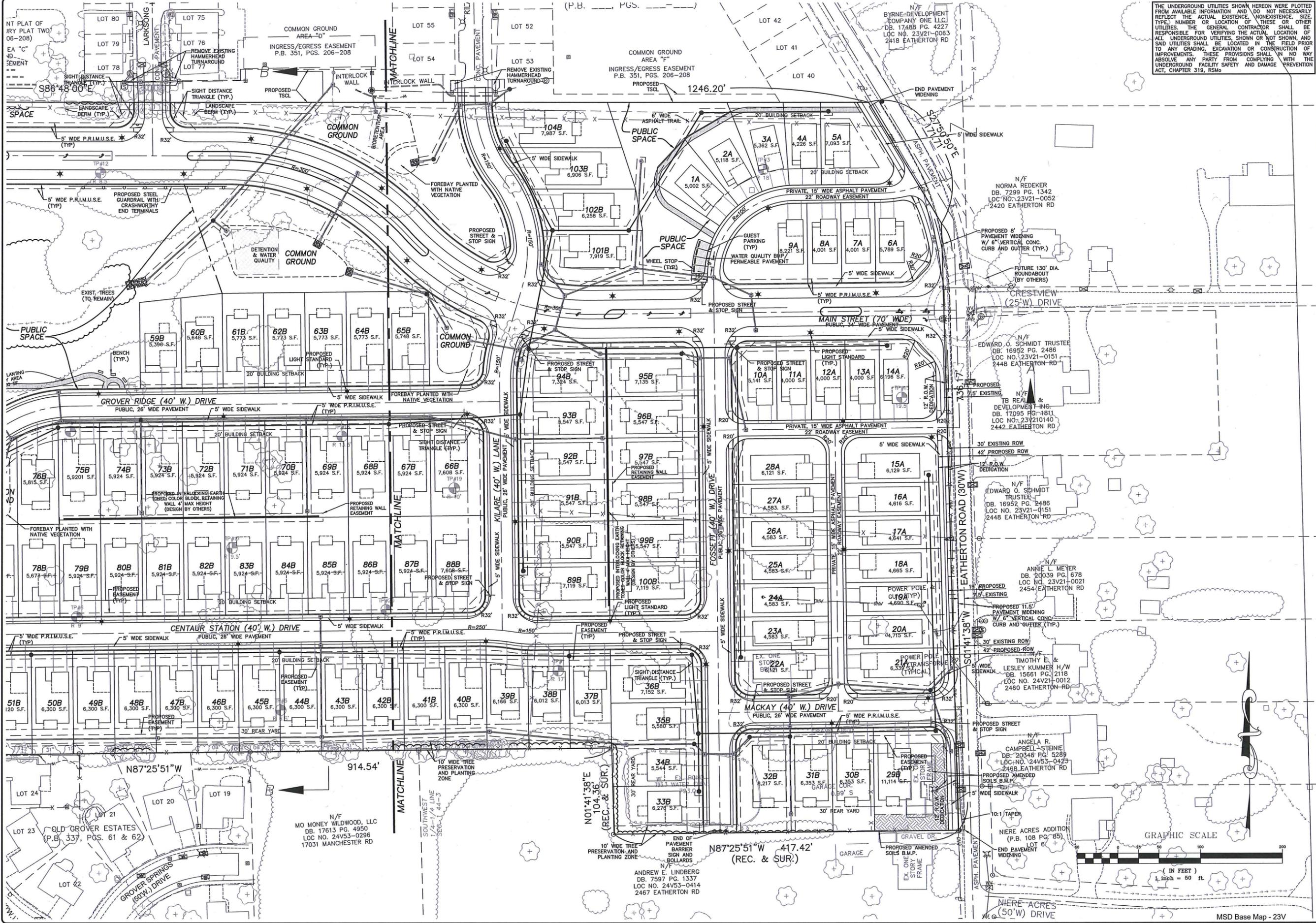
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Main Street Crossing
 2461 EATHERTON RD., WILDWOOD, MO
 SDP - SITE PLAN



Date: 8-9-2016
 RODNEY ARNOLD
 License No. PE-2002016612
 Civil Engineer

Job Number: 14-04-126
 Date: 8-9-2016
 Designed: SL Sheet
 Drawn: SL 2.1
 Checked: SDP



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Main Street Crossing
 2467 EATHERTON RD., WILDWOOD, MO
 SDP - SITE PLAN



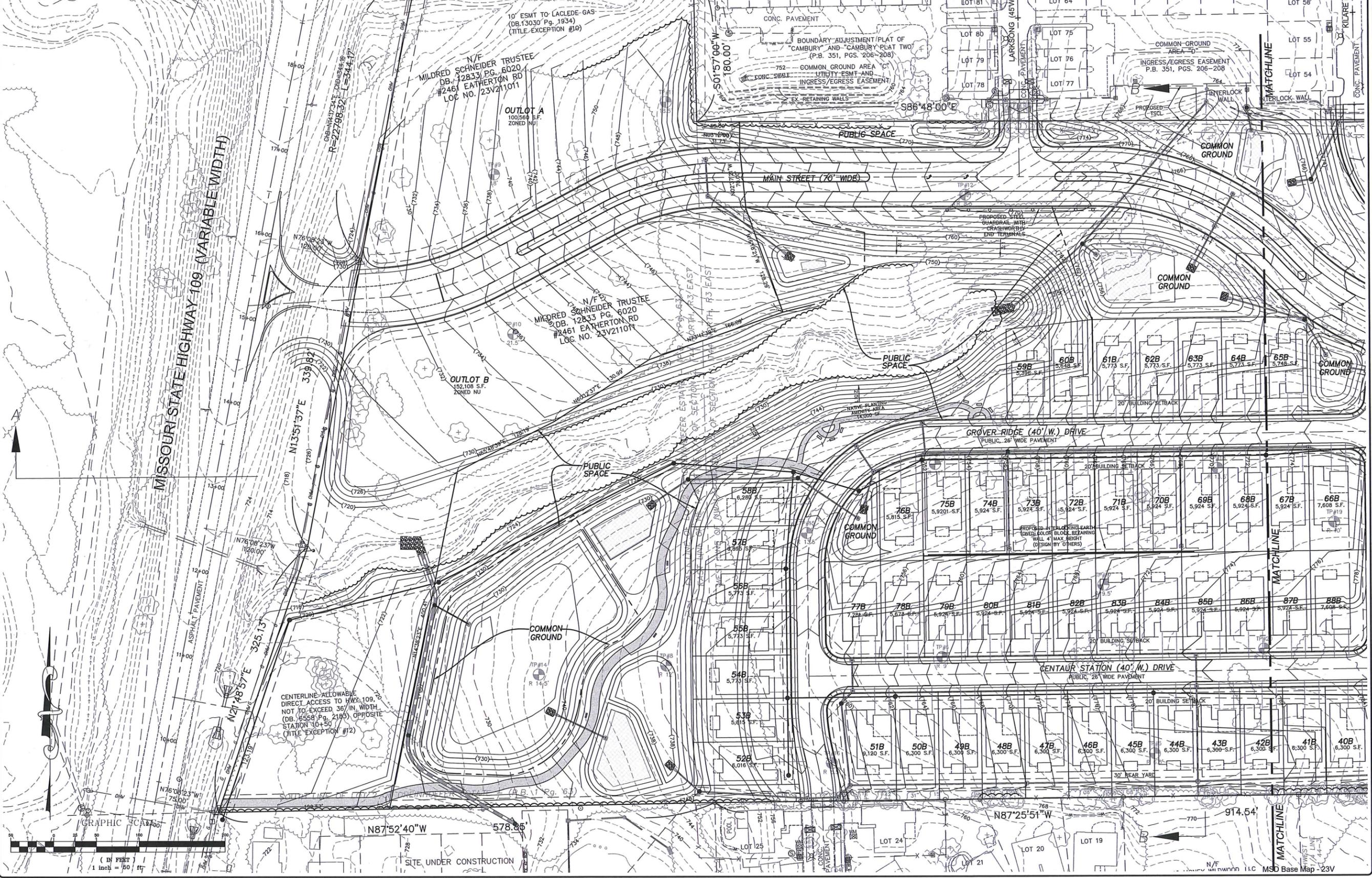
Date: 8-9-2016
 RODNEY ARNOLD
 License No. PE-2052016612
 Civil Engineer

Job Number: 14-04-126
 Date: 8-9-2016
 Designed: SL Sheet: 2.2
 Drawn: SL
 Checked: SDP

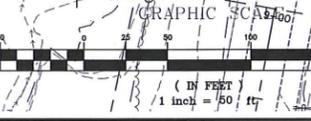
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MSD Base Map - 23V

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Drawing name: Y11404126 Schneider TractDrawingsEngineering\Site Development\Plan\126020.dwg Plotted on: Aug 09, 2016, 2:06pm Plotted by: bmalloy

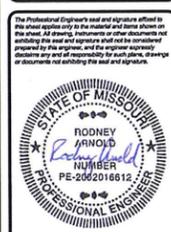


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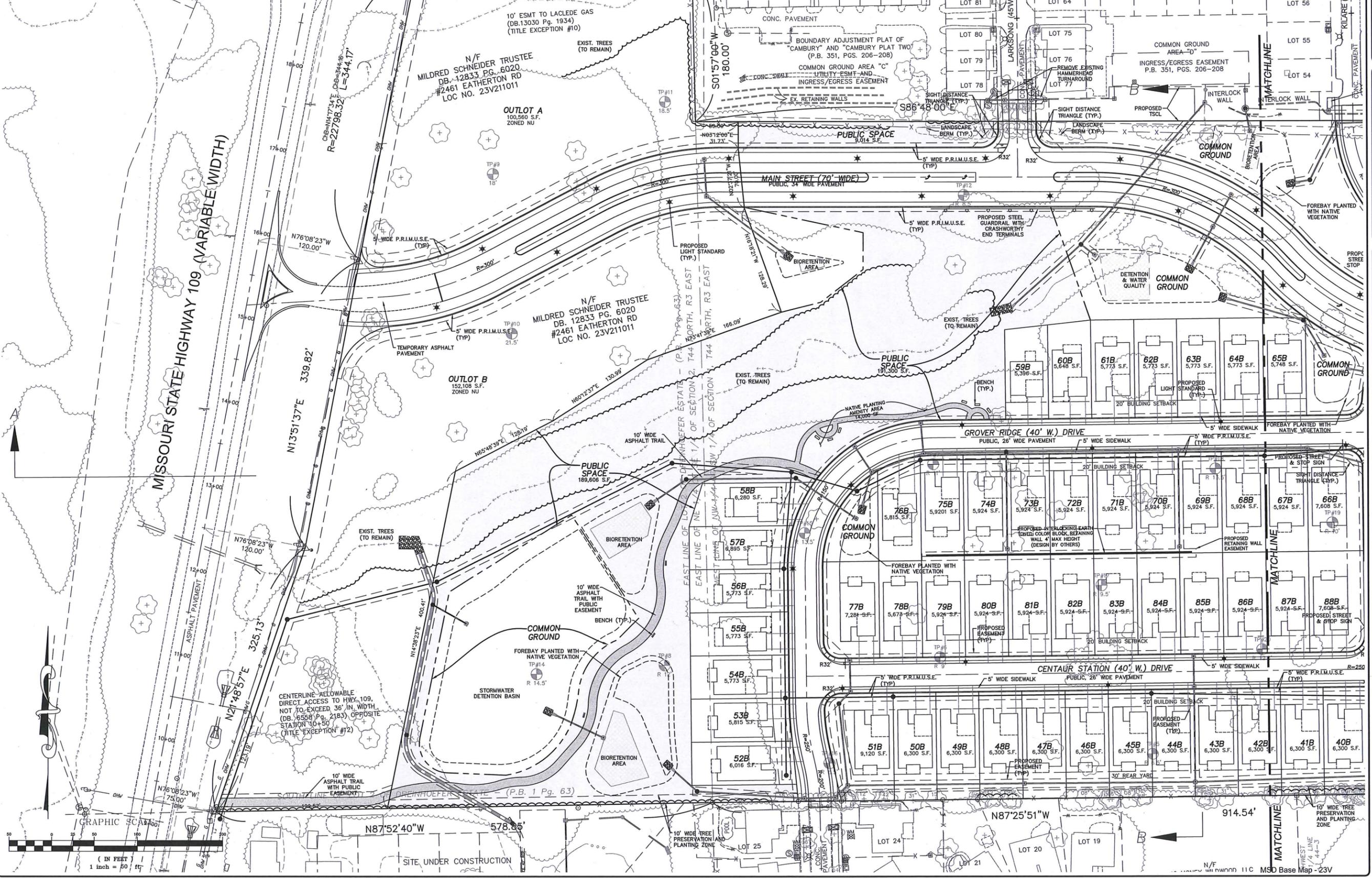
Main Street Crossing
 2461 EATHERTON RD., WILDWOOD, MO
 SDP - GRADING PLAN



Date: 8-9-2016
 RODNEY ARNOLD
 License No. PE-2002016612
 Civil Engineer

Job Number
14-04-126
 Date
8-9-2016
 Designed: SL Sheet
 Drawn: SL **3.1**
 Checked: SDP

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MISSOURI STATE HIGHWAY 109 (VARIABLE WIDTH)

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 ST. LOUIS, MO 63132
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Main Street Crossing
 2461 EATHERTON RD., WILDWOOD, MO
 SDP - PUBLIC SPACE PLAN

The Professional Engineer's seal and signature shall be placed on this plan only for the work shown on this plan. All stamp, instruments or other documents not appearing on this plan and signature shall not be considered prepared by this engineer, and the engineer expressly disclaims any and all responsibility for such stamp, drawings or documents not appearing on this seal and signature.

RODNEY ARNOLD
 LICENSE NUMBER
 PE-2022016612
 PROFESSIONAL ENGINEER

Date: 8-9-2016
 RODNEY ARNOLD
 License No. PE-2022016612
 Civil Engineer

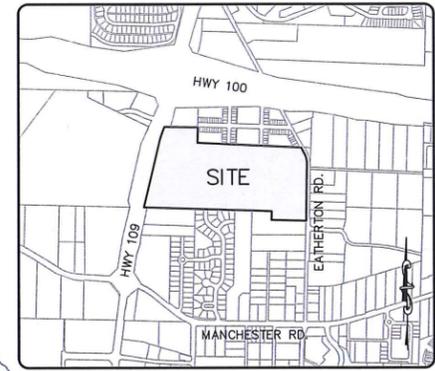
Job Number
14-04-126

Date
8-9-2016

Designed: SL Sheet
 Drawn: SL **4.1**
 Checked: SDP



AERIAL PHOTO
N.T.S.



LOCATION MAP
N.T.S.

ISSUE	REMARKS/DATE
1	10-30-2015, INITIAL SUBMITTAL
2	11-19-2015, CLIENT REVISIONS
3	2-23-2016, CITY COMMENT REVISIONS
4	8-9-2016, REVISED ORDINANCE

PAYNE FAMILY HOMES
10407 BAUR BLVD., SUITE B
ST. LOUIS, MO 63132
Ph. 314-996-0341
www.paynefamilyhomes.com

THE STERLING CO
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph. 314-487-0440 Fax 314-487-8944
www.sterling-eng-survey.com
Corporate Certificate of Authority #001348

Main Street Crossing
2461 EATHERTON RD., WILDWOOD, MO
NATURAL RESOURCES MAP

The Professional Engineer's seal and signature shall be placed on this drawing in the presence of the client or other authorized person. The seal and signature shall be placed on the drawing in the presence of the client or other authorized person. The seal and signature shall be placed on the drawing in the presence of the client or other authorized person.

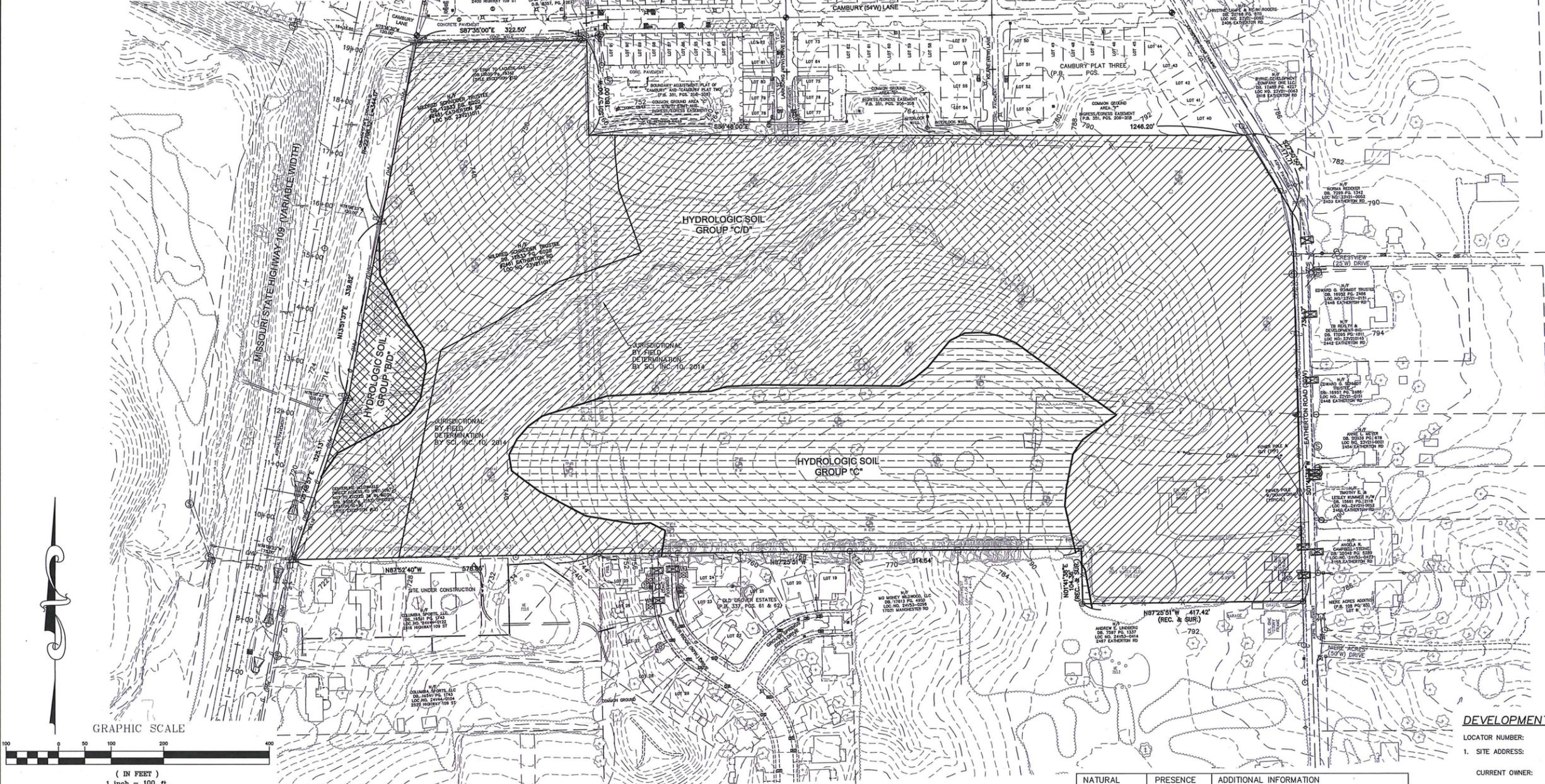
RODNEY ARNOLD
LICENSE NO. PE-2002016612
PROFESSIONAL ENGINEER

Date: 8-9-2016
RODNEY ARNOLD
License No. PE-2002016612
Civil Engineer

Job Number
14-04-126

Date
8-9-2016

Designed: SL Sheet
Drawn: SL
Checked: SDP



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

SOIL SCIENTIST CERTIFICATION:
THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF NOVEMBER 2015, REVIEWED A REPORT REGARDING THE SOILS AND NATURAL RESOURCE EVALUATION OF THE SUBJECT PROPERTY. THE REPORT AND INFORMATION CONTAINED ON THIS PLAN RELATING TO SAME IS IN COMPLIANCE WITH SECTION 1005.200, "NATURAL RESOURCE PROTECTION STANDARDS AND PROCEDURES" OF THE CITY OF WILDWOOD, MISSOURI.

SOIL SCIENTIST _____ DATE _____

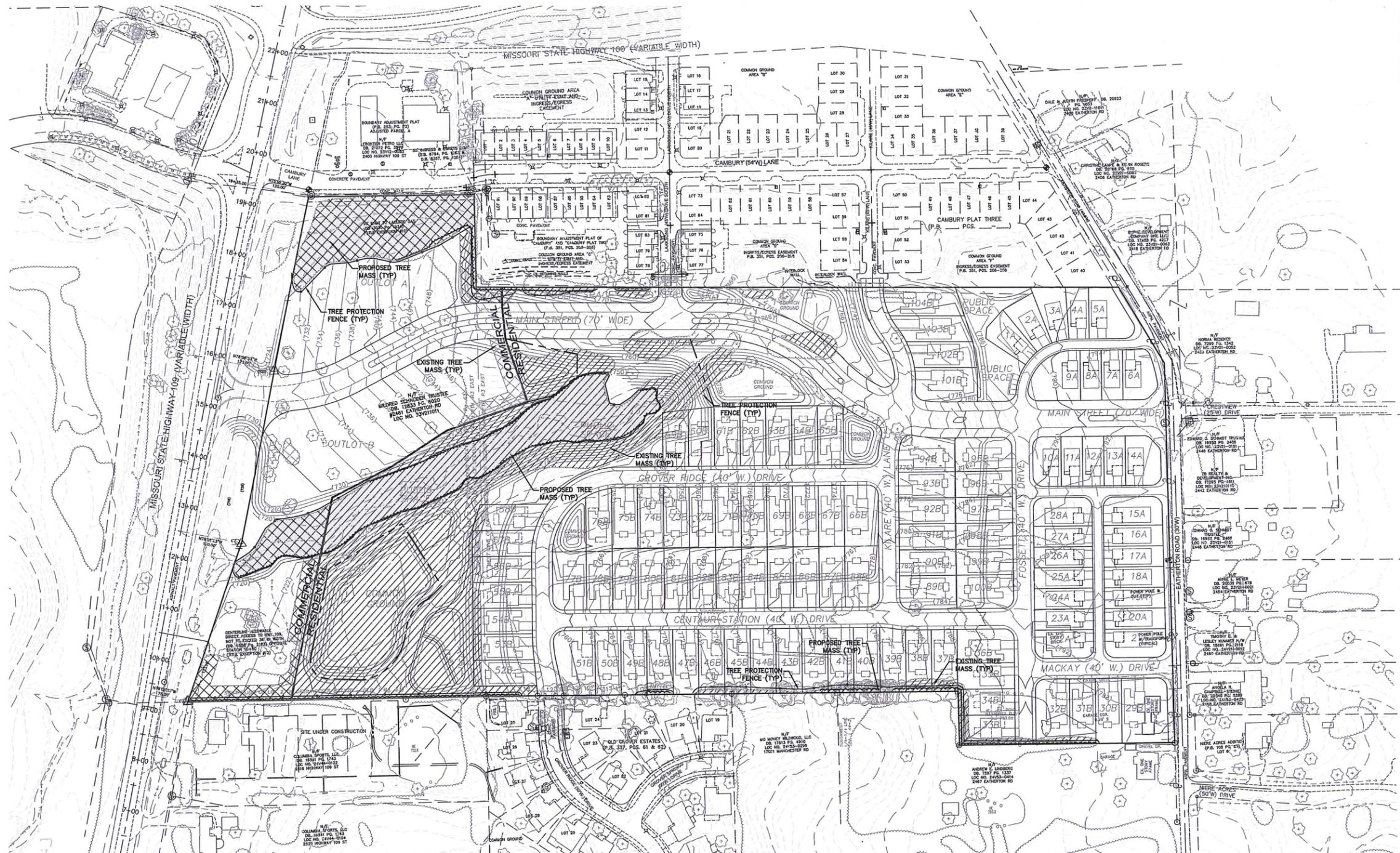
Symbol	Description
(Dashed line)	Existing Tree Mass
(Diagonal hatching)	Hydrologic Group "C" Soils
(Cross-hatching)	Hydrologic Group "B/D" Soils
(Stippled)	Hydrologic Group "C/D" Soils
(Wavy line)	Regulated Waters

NATURAL RESOURCE	PRESENCE	ADDITIONAL INFORMATION
Wetlands	No	None identified during site walk.
Streams and Floodplains	Yes	Two streams cross the site, both of which were determined to be jurisdictional.
Karst	No	None identified during site walk.
Ponds/Lakes	Yes	One stock/farm pond identified during site walk.

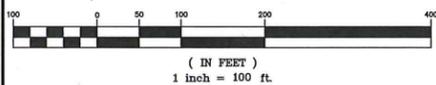
DEVELOPMENT NOTES:
LOCATOR NUMBER: 23V120094
1. SITE ADDRESS: 2461 EATHERTON RD. WILDWOOD, MO 63640
CURRENT OWNER: MILDRED E. SCHNEIDER, TRUSTEE 15 WILDERNESS LN. DEFIANCE, MO 63341
2. EXISTING USE: VACANT / UNDEVELOPED
3. GROSS AREA OF SITE: 34.60 ACRES

FLOOD NOTE:
ACCORDING TO THE FLOOD INSURANCE RATE MAP OF SAINT LOUIS COUNTY, MISSOURI, AND UNINCORPORATED AREAS (COMMUNITY PANEL NUMBER 29189C0260K DATED FEBRUARY 4, 2015), THIS PROPERTY LIES ENTIRELY OUTSIDE THE 500-YEAR FLOODPLAIN.
MSD Base Map - 23V

Drawing name: V:\146126 Schneider Tract\Drawings\Engineering\Site Development\Plan\146126.dwg Plotted on: Aug 03, 2016 - 2:07pm Plotted by: smiller



GRAPHIC SCALE



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

LEGEND	
	Existing Tree Mass
	Existing Tree Mass (Residential) (Located outside of right-of-way and building area)
	Existing Tree Mass (Commercial) (Located outside of right-of-way and building area)
	Proposed Tree Mass (Residential)
	Proposed Tree Mass (Commercial)

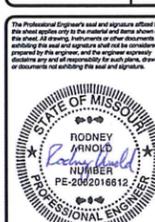
TREE AREA CALCULATIONS		
Residential:	Existing Tree Mass:	5.59 ac.
	Proposed Tree Mass:	1.36 ac.
Commercial:	Existing Tree Mass:	1.73 ac.
	Proposed Tree Mass:	1.12 ac.
Site Total:	Existing Tree Mass:	7.32 ac.
	Proposed Tree Mass:	2.48 ac.
	Percentage Retained (Provided):	34%
	Percentage Retained (Required):	30%

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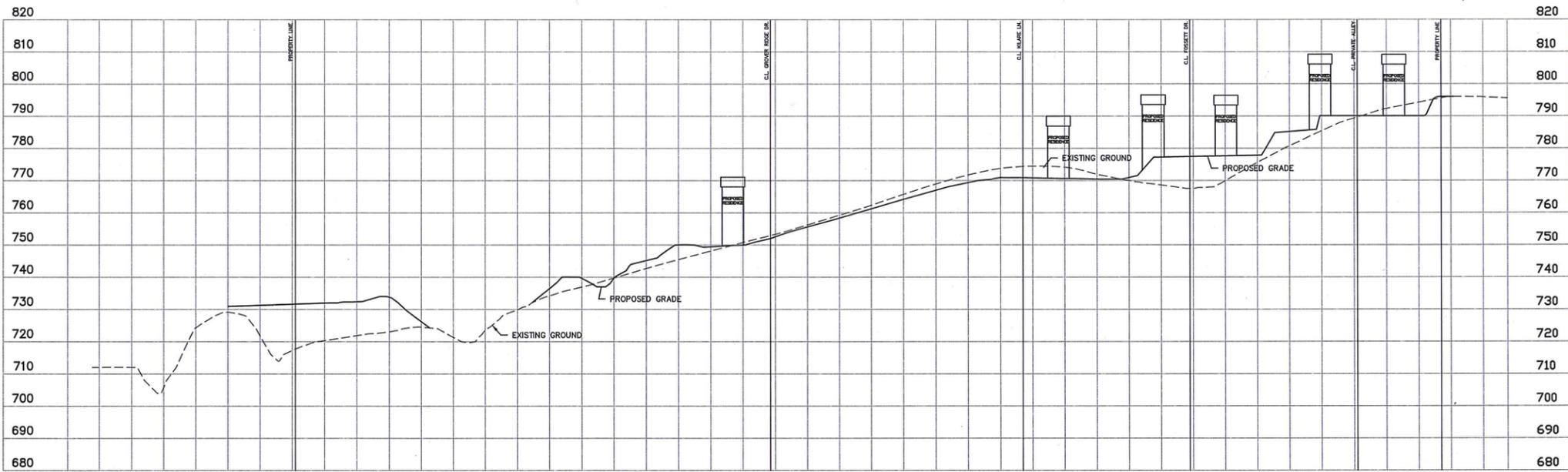
THE STERLING CO.
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www.sterling-eng-sur.com
Corporate Certificate of Authority #001348

Main Street Crossing
2467 EATHERTON RD., WILDWOOD, MO
TREE PRESERVATION PLAN

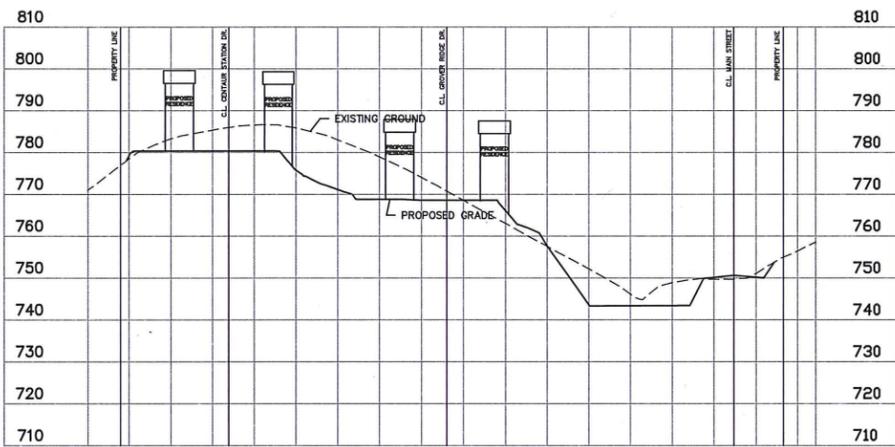


Date: 8-9-2016
RODNEY ARNOLD
License No. PE-2052016612
Civil Engineer

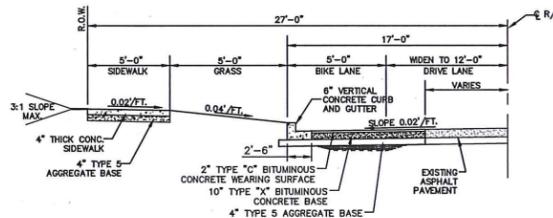
Job Number	14-04-126
Date	8-9-2016
Designed: SL	Sheet
Drawn: SL	5.2
Checked:	SDP



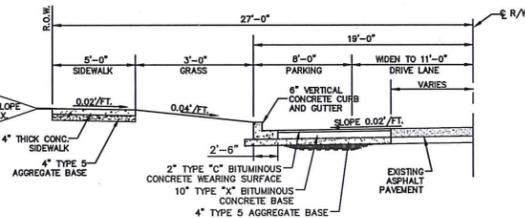
SECTION A-A



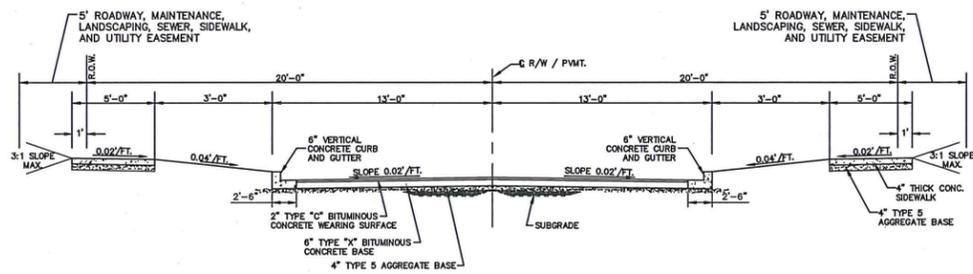
SECTION B-B



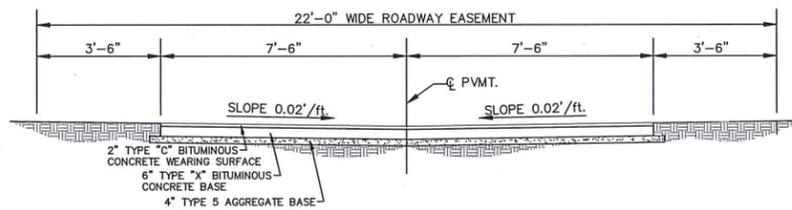
EATHERTON ROAD WITH BIKE LANE
TYPICAL PVMT. WIDENING
N.T.S.



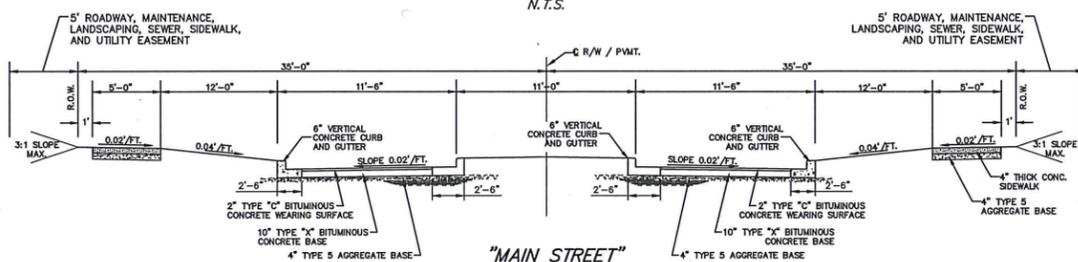
EATHERTON ROAD WITH PARALLEL PARKING
TYPICAL PVMT. WIDENING
N.T.S.



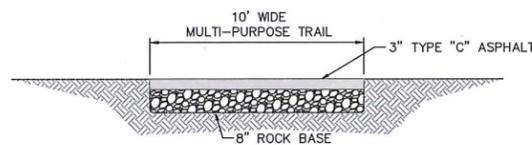
TYPICAL PVMT. SECTION
(26' PAVEMENT/40' R.O.W.)
N.T.S.



TYPICAL ALLEY PAVEMENT SECTION
(15' PAVEMENT/22' ROADWAY EASEMENT)



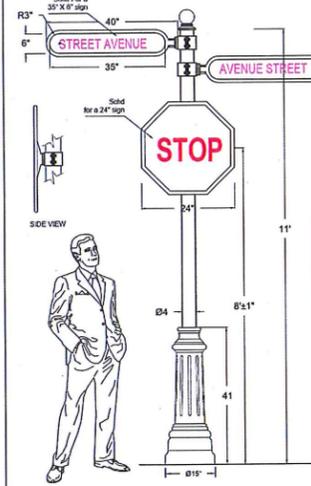
"MAIN STREET"
TYPICAL PVMT. SECTION
(70' R.O.W.)
N.T.S.



MULTI-PURPOSE TRAIL
N.T.S.

Wildwood
Standard
Decorative
Street Sign & Pole
(with decorative Stop Sign)

NOTE:
None plate, lettering
and artwork systems.



Approval Drawing
PoleStd: P430-2-4PA-11

Street Sign: The street sign frame shall be a one-piece aluminum casting with a solid backing and a 1" thick border. The sign frame shall clamp around the pole secured with four 3/8" hex head bolt.

Traffic Sign: The traffic sign frame shall be a one-piece aluminum casting with a solid backing and a 1" thick border. The traffic sign shall be octagonal and clamp around the pole secured with four 3/8" hex head bolt.

Pole: Extruded aluminum, thickness 0.125".

Base Cover: Two-piece cast aluminum attached to shaft by 4 S.S. set screws.

Anchor bolts: 4 galvanized 19mm (3/4") x 610 mm (24") long. A bolt circle template is supplied by HCI.

Anchor Circle: 10"

Finish: Electrostatically applied thermoset polyester powder coat finish.

Color: RAL 9011 (Black)

Lighting & Pole Supplier

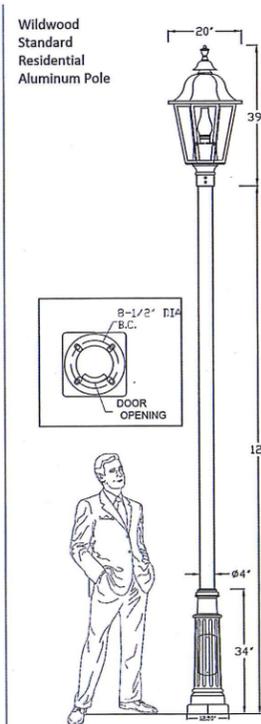
Brian Brader
Simply Bright Ideas, Inc.
office: (314) 718-1688
bbrader@simplybrightideas.com

Date: DEC.09.2013 Drawing No: 13703-V1
Model: P430-2-4PA-11-RAL9011-STREETSIGN
Project: WILDWOOD STREET
Pos: SBL,MO

Please Note: Fabrication will not begin until this drawing is approved, signed and returned to HCI.

HCI
1200 Fevster Drive, Mississauga, Ontario, Canada L4V 1A4
www.hcilighting.com

Wildwood
Standard
Residential
Aluminum Pole



Approval Drawing
Light Std: F144-L-P440-2-MOD-4PA-12

Diffuser Type: Clear

Diffuser Material: Acrylic U.V. stabilized.

Optical System: Segmented reflector type III.

Luminaire Housing: The whole luminaire is made of cast aluminum. Top is fully hinged for easy access to lamp and ballast.

Ballast: MH high power factor mounted on removable plate. A quick disconnect wiring system allows for fast easy ballast maintenance.

Wattage - 100W (MH)

Voltage - 120V

Socket - Medium (4KV)

Option: Decorative Chimney

Pole: Extruded 4" OD aluminum with 0.125" wall thickness.

Base Cover: Two-piece Square cast aluminum.

Anchor Bolts: 4 galvanized 19mm (3/4") x 609 mm (24") long. A bolt circle template is supplied by HCI.

Bolt Circle: 8-1/2"

Finish: Electrostatically applied, thermoset polyester powder-coat finish.

Colour: RAL 9011 (Black-Texture)

Lighting & Pole Supplier

Brian Brader
Simply Bright Ideas, Inc.
office: (314) 718-1688
bbrader@simplybrightideas.com

Date: SEP 4 2015 Drawing No: 15592-V7
Model:F144-L-CAC-100W-MH-120V-SR-3-CHY
P449-2-MOD-4PA-12-RAL-9011-TXT
Project: Wildwood Residential, MO
Res: SBL,MO
Please Note: Fabrication will not begin until this drawing is approved, signed and returned to HCI.

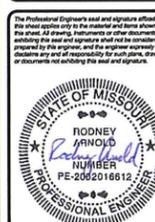
HCI
1200 Fevster Drive, Mississauga, Ontario, Canada L4V 1A4
www.hcilighting.com

ISSUE	REMARKS/DATE
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Corporate Certificate of Authority #001348

Main Street Crossing
2461 EATHERTON RD., WILDWOOD, MO
SITE SECTIONS



Date: 8-9-2016
RODNEY ARNOLD
License No. PE-2002016612
Civil Engineer

Job Number
14-04-126

Date
8-9-2016

Designed: SL Sheet
Drawn: SL 6.1
Checked: SDP

AN ORDINANCE OF THE CITY OF WILDWOOD, MISSOURI, AMENDING SPECIAL PROCEDURES PERMIT ORDINANCE #216 BY DELETING SECTION TWO THEREOF AND ENACTING, IN LIEU THEREOF, A NEW SECTION TWO, AND PROVIDING FOR THE APPROVAL OF AN AMENDED PLANNED RESIDENTIAL DEVELOPMENT OVERLAY DISTRICT (PRD) FOR AN APPROXIMATELY TWENTY-EIGHT (28) ACRE TRACT OF LAND BEING AUTHORIZED FOR ONE HUNDRED FOUR (104) SINGLE FAMILY DETACHED DWELLINGS ON INDIVIDUAL LOTS, WITH COMMON GROUND AND PUBLIC SPACES - P.Z. 25, 26, AND 26A-14 Main Street Crossing, Payne Family Homes L.L.C. (Ward - Eight)

WHEREAS, pursuant to Ordinance #216, certain property more particularly described herein (the "Property") was zoned R-4, 7,500 square foot Residence District, with a Planned Residential Development Overlay District (PRD), in September 2015, which allowed for the use of such Property for a Town Center Neighborhood Edge type of residential development consisting of an authorized one hundred four (104) single family detached dwellings on individual lots, with common ground and public spaces; and

WHEREAS, on June 13, 2016, the City Council referred consideration of amendments to the Planned Residential Development Overlay District Ordinance #216 to the Planning and Zoning Commission in light of certain development finance incentives sought by the developer to assist with the cost of certain roadway improvements that are necessary for this site, given its location in Town Center and the additional trips that it will create on the network of surrounding roadways; and

WHEREAS, this request was considered by the Planning and Zoning Commission on July 5, 2016 and discussion was held on the merits of these changes to the current Planned Residential Development Overlay District (PRD) ordinance, which would lessen certain infrastructure and planning requirements associated with the project's development to the favor of the petitioner; and WHEREAS, after consideration of this matter and responding to the Department of Planning's report, the Planning and Zoning Commission recommended approval of the Petition requesting the current Planned Residential Development Overlay District (PRD) ordinance be amended, subject to certain terms and conditions, the specifics of such approval and recommendation being set forth in the recommendation of the Planning and Zoning Commission submitted to the City Council dated July 5, 2016, and regarding P.Z. 25, 26, and 26A-14 Main Street Crossing, Payne Family Homes L.L.C., a copy of which is on file in the office of the City Clerk and incorporated by reference herein; and

WHEREAS, the City Council held a public hearing to consider the amendment on July 25, 2016, at which interested persons were offered an opportunity to speak; and

WHEREAS, at its meeting on July 25, 2016, the City Council directed the Department of Planning to prepare draft legislation for consideration by the City Council consistent with the Planning and Zoning Commission's recommendation.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF WILDWOOD, MISSOURI, AS FOLLOWS:

Section One. The City of Wildwood's Zoning Ordinance, Official Zoning District Maps, and Ordinance #216 of the City of Wildwood, Missouri, all made a part hereof and incorporated by reference herein, are hereby amended by designating the Property described below by amending the current Planned Residential Development Overlay District (PRD) for the described tract of land provided below:

A tract of land situated in Sections 1 and 2, Township 44 North, Range 3 East in St. Louis County, Missouri, more particularly described as follows: Commencing at an old iron rod in the Southwest 1/4 of the Southwest 1/4 of said Section 1, set at a point where the said South line intersects by the West line of Eatherton Road, thence along the Western line of Eatherton Road South 87 degrees 33 minutes West, a distance of 194.36 feet to a point being the Southeast corner of property described in deed to Bert C. Grimm and wife, recorded in Book 1848 page 335, also being the point of beginning; thence North 87 degrees 33 minutes West along a line parallel with the South line of the Northwest 1/4 of the Southwest 1/4 of said Section 1, 472.42 feet to an old iron rod at the Southwest corner of property described in said deed to Grimm and wife; thence North 1 degree 53 minutes East of 194.36 feet to an old iron rod at the South line of the Northwest 1/4 of the Southwest 1/4 of said Section 1; thence North 87 degrees 33 minutes West along the South line of the Northwest 1/4 of the Southwest 1/4 of said Section, 914.22 feet to an old iron rod at the Southwest corner of said 1/4 section; thence North 87 degrees 47 minutes East along the South line of the Northwest 1/4 of the Southwest 1/4 of said Section 2, 578.52 feet to an iron pipe at its intersection with the Eastern line of Missouri Route 109, 1 time along the Eastern line of said Route 109, north 22 degrees 10 minutes East, 312.22 feet; thence continuing along said eastern line North 14 degrees 31 minutes East 11 seconds East 11 degrees 43 seconds East, 246.18 feet to a point on the South line of tract conveyed to Alexander J. Coyle and wife by deed recorded in Book 1567 page 27; thence departing said Eastern line of Missouri Route 109 South 87 degrees 33 minutes East along the South line of the property conveyed to Coyle and wife as aforesaid, 319.52 feet to an iron pipe at the Southeast corner thereof being at a point in the line between said Sections 1 and 2; thence along the line between Sections 1 and 2, South 1 degree 27 minutes West 156 feet to corner of property conveyed to Albert Anderson and wife by deed recorded in Book 2090 page 26, thence along the South line of said property conveyed to Anderson and wife as aforesaid, South 86 degrees 48 minutes East 1,146.7 feet to the West line of Eatherton Road, thence Southwesterly and Southwesterly along the Western line of Eatherton Road along a curve to the right having a radius of 493.60 feet a distance of 151.66 feet; thence continuing along said West line South 53 minutes West, 512.47 feet to the point of beginning and containing 34.80 Acres, more or less.

Section Two. That Ordinance #216 of the City of Wildwood, Missouri, be and is hereby amended by deleting Section Two thereof in its entirety and enacting, in lieu thereof, new Section Two, to read as follows:

Section Two. The zoning authority and approval embodied in this ordinance is granted subject to compliance with the Subdivision and Development Regulations, Zoning Ordinance, and all other City of Wildwood ordinances, rules, and regulations and the conditions of this ordinance, except as may be modified herein, upon the requirement the development and approved Site Development Plan are carried out in accordance with the recommendation of the City Council from its public hearing discussion held on July 25, 2016, which is incorporated herein by reference as if fully set forth in this ordinance. The zoning authority granted herein is further subject to the following conditions:

- d. A general plan indicating setback lines along the perimeter of the subject tract of land and surrounding property lines and related improvements within four hundred (400) feet of this site's boundaries.
e. Location of all roadways adjacent to the property, including required roadway right-of-way dedication and pavement widening with existing and proposed improvements, and general location, size, right-of-way, and pavement width of all interior drives.
f. The location and size of all freestanding signs, lighting, fences, sidewalks, and other above ground structures, except retaining walls less than two (2) feet in height per section.
g. Existing and proposed contours at vertical intervals of not more than two (2) feet.
h. General location of sanitary sewer facilities.
i. Parking and density calculations.
j. Conceptual location and size of common ground areas.
k. A typical section of the proposed road indicating the placement and design of required streetscape improvements.
l. A Landscape Plan including, but not limited to, the location, size, and general type of plant materials to be used in accord with the City of Wildwood's Ordinance 410 and accompanying Tree Manual.
m. An inventory of the percent of tree canopy or individual trees to be retained on the site.
n. Location of all existing and proposed easements.
o. All other information not mentioned above, but required on a preliminary plat in accord with Section 420.050 of the City of Wildwood Subdivision and Development Regulations.

- (3) Fifteen (15) feet from any rear yard property line and thirty (30) feet for rear yard areas that abut the perimeter of the Planned Residential Development Overlay District.

Parking Setbacks - Residential

- b. All parking stalls or loading spaces, excluding points of ingress or egress for the detached dwelling units, shall be located behind the front elevation of the dwelling a minimum of twenty-five (25) feet. Driveway widths serving these required parking spaces, specifically between the edge of the public right-of-way and the front building line, shall be as approved by the Planning and Zoning Commission on the Site Development Plan, but be minimized in their respective distances to the greatest extent possible.

Access and Roadway Improvements

- c. Dedicate the required amount of right-of-way and/or easements along this property's State Route 109 frontage to the Missouri Department of Transportation (MoDOT) for public roadway purposes, which shall incorporate the ultimate design for the planned installation of a roundabout and related items, while constructing a temporary, right-in/right-out access point, a roundabout and related channelization islands and other improvements required therein. Improvements, whether temporary or permanent in nature, to State Route 109 shall conform to the requirements of the Missouri Department of Transportation (MoDOT) and the City of Wildwood's Street Specifications of the Town Center Plan, as directed and approved by the State of Missouri and the City of Wildwood's Department of Public Works. All streetscape requirements (street trees, lights, signs, waste receptacles, benches, and other items consisting of approved materials) shall be installed by the developer, as specified by the City of Wildwood's Town Center Plan within the right-of-way of State Route 109 and directed by the Department of Public Works.

- d. Establish a minimum seventy (70) foot wide public right-of-way for the construction of Main Street within the site, for a total of thirty-four (34) feet of pavement area (inclusive of the concrete vertical curb and gutter and grass median) and five (5) foot sidewalks on both sides of this internal roadway, which adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan. Along with this dedication of seventy (70) feet of right-of-way, the developer shall provide a five (5) foot wide roadway, maintenance, landscaping, sewer, sidewalk, and utility easement along both sides of this public dedication area. All streetscape requirements (street trees, lights (spacing of lights on one (1) side of any street/roadway shall be no greater than one hundred fifty (150) feet in distance), signs, waste receptacles, benches, and other items consisting of approved materials shall be installed by the developer, as specified by the City of Wildwood's Town Center Plan within the right-of-way of Main Street and directed by the Department of Public Works.

4. SITE DEVELOPMENT PLAN DESIGN CRITERIA

The above Site Development Plan shall adhere to the following specific design criteria:

Build-To Lines - Residential

- a. Any building or structure, other than boundary and/or retaining walls, fences, detention facilities, and/or light standards, shall adhere to the following build-to lines, as specified in the Town Center Plan's Neighborhood Design Standards:

- (1) Twenty (20) feet from any right-of-way line.
(2) Five (5) feet for any side yard property line and ten (10) feet for side yard areas that abut the perimeter of the Planned Residential Development Overlay District.

1. PERMITTED USES

- a. This Planned Residential Development (P.R.D.) Overlay District shall authorize the maximum development of one hundred four (104), detached single family dwellings on individual lots, with common ground and public space, and all permitted accessory structures normally found in conjunction with the primary use of each of the allowable residential properties.

2. LOT SIZES, DEPTHS, AND BUILDING REQUIREMENTS

- a. Each detached dwelling unit shall be located on an individual lot of record that is a minimum of 4,000 square feet in size. The minimum width of any lot within this P.R.D. Overlay District shall be forty (40) feet in distance, except for those properties located within a cul-de-sac, which shall be as approved by the Planning and Zoning Commission on the Site Development Plan. These lot widths shall be measured at the front building line.
b. All detached single family dwellings shall have a minimum finish floor elevation of their front porches of eighteen (18) inches in height above the adjoining sidewalk grade. All dwelling units shall have a front porch, which must extend across at least twenty percent (20%) of the facade's elevation facing the frontage line, at a minimum depth of no less than six (6) feet. No building facade shall show more than four (4) corners to the frontage line or as approved by the Architectural Review Board on the required elevations.
c. No building and/or structure shall be more than two (2) stories above final grade, as measured from the front building line on any individual lot.

- d. Direct residential drive access shall be allowed for up to seventy-six (76) of the single family detached units within this development from the system of internal streets, but the garage door(s) on each unit must be a minimum of six (6) feet behind an imaginary line formed by an extension of the front elevation of the dwelling (including the front porch) parallel to the lot's frontage. Individual garage doors shall not be greater than twenty (20) feet in width and must be carriage types, including windows, and incorporate other architectural treatments, as determined by the City's Architectural Review Board to be appropriate, to lessen their prominence within the visual corridor formed by these interior streets within the development, unless a suitable alternative design is provided for these openings. The developer shall provide a minimum of two (2) options that incorporate these requirements to the Planning and Zoning Commission for its consideration, as part of the Site Development Plan review and action process, regarding the front of the garages that further reduces their prominence from the abutting street view. Architectural type shingle selections shall be required on all residential units of a minimum thirty (30) year standard.

- e. The New Urbanism lots that are part of this Planned Residential Development Overlay District boundary shall be accessed by service lanes (alleys) that comply in their construction with the Street Specifications of the Town Center Plan. These service drives shall provide access to rear loaded garages that must be provided, as part of any single-

- e. Complete the necessary dedication of land area within this subject site for public right-of-way purposes associated with the internal network of streets. These dedications for public rights-of-way shall be used for the construction by the developer of a network of internal residential streets for service to the authorized lots. These dedications shall be a minimum of forty (40) feet in width to accommodate the construction of two (2) lanes of asphalt roadway, with concrete curb and gutter, and five (5) foot wide sidewalks, including a three (3) foot tree lawn area, which all adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan. Along with this dedication of these rights-of-way areas, the developer shall provide a five (5) foot wide roadway, maintenance, landscaping, sewer, sidewalk, and utility easement along both sides of this public dedication area. All streetscape requirements (street trees, lights, signs, waste receptacles, benches, and other items consisting of approved materials) shall be installed by the developer, as specified by the City of Wildwood's Town Center Plan within the rights-of-way of these unnamed streets and directed by the Department of Public Works.

- f. Dedicate the required amount of right-of-way and/or easements along this property's Eatherton Road frontage to the City of Wildwood, Missouri for public roadway purposes and for the construction of required roadway improvements, which include a widening of a minimum of five (5) feet in width, a five (5) foot wide sidewalk, and street trees and lights, including a minimum three (3) foot wide tree lawn area for these improvements. A future roundabout, and related channelization islands and other improvements required therein, shall not be required, but the dedication of right-of-way for such shall be made at the time of the Record Plat. Improvements to Eatherton Road shall conform to all of the requirements of the City of Wildwood's Street Specifications of the Town Center Plan, as directed and approved by the City of Wildwood's Department of Public Works. All streetscape requirements (street trees, lights, signs, waste receptacles, benches, and other items consisting of approved materials) shall be installed by the developer, as specified by the City of Wildwood's Town Center Plan within the right-of-way of Eatherton Road and directed by the Department of Public Works.

- g. Extend all existing stub streets abutting the subject site into it and these extensions shall adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan. These stub street extensions shall include: Lakosong Drive South, Klare Lane, and Grover Ridge Drive. Safety components determined necessary for any stub street extension shall be indicated on the Site Development Plan and reviewed and acted upon by the Planning and Zoning Commission.

- h. Dedicate a minimum forty (40) foot wide strip of land on the subject site for a future street connection to the south, which shall be as approved by the Planning and Zoning Commission on the Site Development Plan. The location of this planned stub street shall be generally in the southeast corner of the subject site, approximately 370 feet to the west of existing

family detached dwelling, for a minimum of twenty-eight (28) of the allowable one hundred four (104) lots. These lots do not need to incorporate the garage offset distance noted in Condition 2(d) of this Ordinance.

- f. The first story, interior clear height for all single family dwellings shall be not less than nine (9) feet.
g. Detached single family dwelling units, which face the frontage line, but also places the side of the building along another right-of-way, shall be designed to incorporate the elements of the front facade along that portion of the structure. The placement and design of these units shall be approved by the Planning and Zoning Commission on the Site Development Plan and the elevations of these units by the Architectural Review Board.

- h. The proposed architectural design, character, and style of all buildings and dwelling units shall adhere to the City of Wildwood's Town Center Architectural Guidelines, Neighborhood Design Standards, and any other applicable requirements of the Town Center Plan, excepting no vinyl siding shall be allowed on any dwelling unit within the boundaries of this Planned Residential Development Overlay District (PRD). All materials used on any facade of a residential unit shall be fiber cement siding and backer board. Approval of the required design shall be by the Architectural Review Board. Minimally, all buildings shall maintain a consistent theme throughout the boundaries of this Planned Residential Development Overlay District in terms of material, color, and style.

- i. The overall area of this Planned Residential Development Overlay District (PRD) shall be no less than twenty-eight (28) acres and no greater than 28.5 acres.

3. PLAN SUBMITTAL REQUIREMENTS

Within twelve (12) months of the P.R.D. Overlay District approval by the City Council, and prior to any site disturbance, the developer shall submit to the Planning and Zoning Commission for their review and approval a Site Development Plan. Where due cause is shown by the developer, time intervals may be extended once by the Planning and Zoning Commission in accord with requirements of Section 420.060 of the City of Wildwood Zoning Ordinance. Said Site Development Plan shall include, but not be limited to, the following information:

- a. Outboundary plat and legal description of the property.
b. A general numbered lot plan with setback lines from all streets and roadways on and adjacent to the property. A typical lot diagram, indicating all site design information such as, but not limited to, right-of-way width, improvement dimensions and locations, setbacks, and building placement.
c. The location and size of all parking areas, pavement widths, and right-of-way dedications of all internal roadway improvements and drives.

Eatherton Road. Within this dedication of public right-of-way, construct a roadway that shall adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan.

- i. Complete the necessary dedication of land area within this subject site for private access purposes. These dedications for private purposes shall be used for the construction by the developer of a system of lanes/alleys for service to the authorized lots. These dedications shall be a minimum of twenty-two (22) feet in width to accommodate the construction of a lane/alley, which all adhere to the Town Center Plan's Street Specifications and the Streetscape Design Requirements, as directed by the Department of Public Works and approved by the Planning and Zoning Commission on the Site Development Plan.

- j. Any planned traffic island/cul-de-sac shall be designed and constructed by the developer of this residential subdivision in accordance with City of Wildwood standards, and as directed by the Department of Public Works. The Planning and Zoning Commission, on the Site Development Plan, shall approve the final design of this traffic calming improvement.

Miscellaneous Roadway Requirements

- k. Installation of landscaping and ornamental entrance monument or identification signage, if proposed, shall be reviewed by the Department of Public Works for sight distance considerations and approved prior to its installation or construction.

- l. If required sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to vertical alignment and other off-site improvements, may be required to provide the required sight distance as directed by the Department of Public Works.

- m. Construction access shall be from State Route 109 during the development of this site, not via the Cambury Subdivision or Eatherton Road.

- n. Sidewalks shall be required on all public and private streets (parking lot aisles) and provide for a continuous and logical layout of this pedestrian network. Design and construction requirements for all sidewalks within the entire development shall be as established in the Street Specifications and Streetscape Elements of the Town Center Plan. Approval of their location, design, and material shall be by the Planning and Zoning Commission, as part of the Site Development Plan review process.

- o. The developer is advised that utility companies will require compensation for relocation of their utility facilities within public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's Traffic Generation Assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of roadway improvements. The City of Wildwood will assist, where applicable,

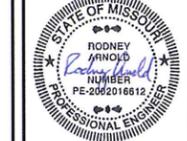
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ORDINANCE #2116

The Professional Engineer's seal and signature affixed to this document are valid only if the engineer complies with the provisions of the Missouri Professional Engineers Act, Chapter 320, RSMo, and the engineer's license is in good standing. The engineer's seal and signature are void if the engineer is not a member of the Missouri Professional Engineers Association.



Date: 8-9-2016
RODNEY ARNOLD
License No. PE-2002016612
Civil Engineer

Table with 2 columns: Field, Value. Fields: Job Number (14-04-126), Date (8-9-2016), Drawn (SL), Sheet (7.1), Checked (SDP).

with the discussions on said utility requirements, so as to minimize delays and costs to the developer. Any decision in this regard shall be acted upon by the City Council, if funding is associated with such.

p. All internal streets, access drives, or lanes, whether public or private, shall comply with the Streetscape Requirements of the Town Center Plan in terms of improvements, such as drive lane widths, sidewalks, stormwater drainage facilities, garden walls, street trees and lights, and pedestrian furniture. If certain streets, drives, or lanes are to be private, an easement shall be provided to the City granting public use of them for pedestrian and vehicular purposes. These easements shall be granted at the time of the Record Plat approval by the City Council.

Parking Requirements - Residential

q. Parking spaces shall be provided as required by the Town Center Plan's Neighborhood Design Standards and Section 415-340 Off-Street Parking and Loading Requirements of the City of Wildwood Zoning Ordinance for the R-4,750 square foot Residence District.

Landscape Requirements - Specific

r. Landscaping shall adhere to all requirements of Ordinance 410 and its accompanying Tree Manual, including the submittal of a Tree Preservation Plan in conjunction with the Site Development Plan.

s. All streets, roads, and lanes shall be appropriately landscaped as required by the Streetscape Design Requirements of the Town Center Plan and approved by the Planning and Zoning Commission on the Site Development Plan.

t. The areas of existing vegetation within the P.R.D. Overlay District boundaries identified as to be retained shall be marked on the site prior to the commencement of any disturbance in accordance with the City of Wildwood's Ordinance 410. These areas shall be indicated on the Site Development Plan submitted to the City of Wildwood for Planning and Zoning Commission review and approval. Existing mature tree canopy shall be preserved in accordance with the requirements of City of Wildwood's Ordinance 410 Tree Preservation and Restoration Code.

u. Landscaping with the defined common ground areas shall comply with Ordinance 410 Tree Preservation and Restoration Code requirements and accompanying Tree Manual. The Planning and Zoning Commission, on the Site Development Plan, shall approve the planting pattern. Amenities, such as benches, lights, and walking paths shall be installed in the open space area of the residential development by the developer of these one hundred four (104) dwelling units.

v. The developer shall provide a minimum ten (10) foot wide, landscape buffer strip, with a perpetual easement dedicated to the Homeowners Association for its maintenance and

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States Environmental Protection Agency (EPA) and the Missouri Department of Natural Resources (MDNR), for any determined contaminant exceeding a residential cleanup standard/guideline, with the cost borne for such by the developer and not the City of Wildwood.

Floodplain Study and Plans

f. The developer shall provide a floodplain/wetlands study to the Department of Public Works indicating compliance to the requirements of the City of Wildwood, the U.S. Army Corp of Engineers, and the Federal Emergency Management Agency (FEMA) regarding disturbance or development in the protected waterways and floodplain areas. This study shall minimally provide information relating to disturbance of any protected area and be reviewed and acted upon by the Department of Public Works, as part of the Site Development Plan submittal process.

7. RECORDING

Within ninety (90) days of approval of the Site Development Plan by the Planning and Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

8. VERIFICATION PRIOR TO PERMITS

Notification to Department of Planning

a. Subsequent to approval of the Site Development Plan and prior to issuance of any grading, foundation, or building permit, all approvals from the Department of Public Works (Wildwood), the Missouri Department of Transportation, the Metro West Fire Protection District, the Missouri Department of Natural Resources, and the Metropolitan St. Louis Sewer District must be received by the Department of Planning.

b. Prior to the issuance of a foundation or building permit for any lot, which adjoins the common ground area and/or detention, basin, written certification from a Professional Engineer which verifies these areas are graded in accordance with the approved plans, must be received by the Department of Planning.

Roadway Improvements

c. Improvements to State Route 109 and Eatherton Road must be completed prior to the issuance of building permits in excess of fifty (50) twenty-(20) percent of the units. The State Route 109 required improvements may be credited against the overall Traffic Generation Assessment Fee (TGA) charge associated with these allowable residential units, if authorized by the City Council. Any delays in utility company relocation and adjustments will not constitute a cause to allow occupancy prior to completion of roadway improvements.

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care, along the entire southern boundary of the site, and upon individual rear lot areas, for plantings, as reviewed and acted upon by the Planning and Zoning Commission.

w. A Landscape Architect shall sign and submit all plans for review and approval for this mixed-use development.

Signs - Residential

x. Signs for this P.R.D. Overlay District shall be erected in accordance with the Town Center Plan Architectural Guidelines and Section 415.410 Sign Regulations of the City of Wildwood Zoning Ordinance for the R-4,750 square foot Residence District.

y. The location of all signage shall be as approved on the Site Development Plan by the Planning and Zoning Commission. Signage not located on common ground must be erected within an easement.

Lighting Requirements

z. The location of all lighting standards shall be as approved on the Site Development Plan. No on-site illumination source shall exceed sixteen (16) feet in height or be so situated that light is cast directly on adjoining properties. Illumination levels for all lighting shall comply with the provisions of the City of Wildwood's Zoning Code, Section 415.450 "Outdoor Lighting Requirements." A Lighting Study shall be submitted in conjunction with the Site Development Plan indicating compliance to these requirements. The Planning and Zoning Commission shall approve the location, design, and appearance of all light standards and fixtures as part of the Site Development Plan review process.

Miscellaneous Conditions

aa. The design, color, material, and location of all garden and screen walls or fences, if planned or required, shall be consistent with the requirements of the Town Center Plan's Architectural Guidelines and be shown on the Site Development Plan for review and action by the Planning and Zoning Commission and the Architectural Review Board.

bb. Improvements associated with public infrastructure, such as roadways, sidewalks, and access points, shall comply with general design principles that will provide for safe and efficient movement of traffic in and around these sites and improve overall circulation in the area. These improvements shall be reviewed and approved by the Department of Public Works.

cc. Hours of construction and grading activity shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday, and 8:00 a.m. to 6:00 p.m. on Saturday. No development (grading and construction) activity shall be authorized on Sundays.

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Land Subdivision

d. Record a proper subdivision of the property and comply with all other applicable Subdivision and Development Regulations sections affecting the development of land, except as otherwise specified by this ordinance.

Indentures

e. With the filing of the record plat establishing separate lots, the developer shall record an approved indenture, which defines the necessary assessments and specific trustee obligations in accord with provisions of Section 415.470 and 415.510 of the City of Wildwood Zoning Code.

Escrow Requirements

f. All improvement and landscaping costs shall be submitted to the City of Wildwood through the standard subdivision escrow procedures.

Improvement Plans

g. The developer of this residential subdivision shall provide to the City Improvement Plans indicating construction details relative to public and private infrastructure associated with its development. Said plans will be used to calculate escrow requirements for these identified improvements.

Sanitary Sewage System

h. The developer shall provide verification from the Metropolitan St. Louis Sewer District that public sewer service has been provided to this site. Verification shall be in a form acceptable to the City of Wildwood.

Potable Water Service

i. The developer shall provide verification from the Missouri American Water Company that service to this subdivision can be provided at acceptable levels relative to the density of the project and not cause service issues to other households served by the same.

9. GENERAL DEVELOPMENT CONDITIONS

a. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.

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dd. All retaining walls exceeding three (3) feet in height per section or crossing individual property lines shall be constructed of an appropriate inter-locking concrete block system. Walls crossing property lines shall be located in a maintenance easement. The design, color, material, and location of all walls shall be consistent with the requirements of the Town Center Plan's Architectural Guidelines and be shown on the Site Development Plan for review and action by the Planning and Zoning Commission.

ee. The location of all utility easements for proposed service to this development shall be as approved by the Planning and Zoning Commission on the Site Development Plan. All utilities installed to serve this site shall be placed underground, including any existing overhead lines located on the subject property.

ff. Access to Eatherton Road from this Planned Residential Development Overlay District, e.g. any street or alley, including Main Street, shall not be authorized, until such time as all necessary street and roadway improvements, including temporary access to State Route 109, have been completed to an acceptable minimum level to the Missouri Department of Transportation (MoDOT) and the City of Wildwood. Forty (40) percent of the authorized units within its boundaries are owner-occupied. Until this threshold is reached, access shall be restricted/limited to Eatherton Road, as shown on the Site Development Plan and reviewed and acted upon by the Department of Public Works and the Planning and Zoning Commission. Specifications for the manner in which access shall be controlled to Eatherton Road shall be at the discretion of the City of Wildwood, but all costs associated with such are the responsibility of the developer.

5. TRAFFIC GENERATION ASSESSMENT FEE

The developer shall contribute to the East Area Traffic Generation Assessment Trust Fund established by Section 100.200 of the City of Wildwood's Revised Code. This assessment must be paid in full at the time of the first Zoning Authorization for any building or structure or when the individual issuances of building permits for the authorized lots are approved. This contribution shall not exceed the amount established by multiplying the number of parking spaces provided by the following rate:

Type of Development	Required Contribution
Single Family Dwelling (detached)	\$1,055.10/Parking Space

(Parking space is defined by Section 415.280 of the City of Wildwood Zoning Code.)

If type of development proposed differ than those listed, rates shall be provided by the Department of Public Works.

As this development is located within a Trust Fund area established by the City of Wildwood, any portion of the traffic generation assessment contribution, which remains, following completion of

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b. A grading permit is required prior to any grading on the site. Interim stormwater drainage control in the form of siltation control measures is required.

c. A copy of the most recently approved Site Development Plan for this P.R.D. Overlay District development shall be prominently displayed at all times in all sales offices for this development.

d. The petitioner shall be responsible for obtaining all necessary permits from the Department of Natural Resources Clean Water Commission as they relate to the development of this tract of land.

e. If cut and fill operations occur during a season not favorable for immediate establishment of a permanent ground cover, a fast germinating annual, such as Rye or Sudan Grasses, shall be utilized to retard erosion.

f. Failure to comply with any or all of the conditions of this ordinance shall be adequate cause for revocation of permits by issuing City of Wildwood Departments or Commissions.

g. The Zoning Enforcement Officer of the City of Wildwood, Missouri, shall enforce the conditions of this ordinance in accord with Site Development Plans approved by the Planning and Zoning Commission and the Department of Planning.

h. Any other applicable zoning, subdivision, or other regulations or requirements of the City, whether in effect at the adoption of this ordinance or as may be hereinafter adopted, shall further apply to the development of this property as authorized by this Planned Residential Development Overlay District Ordinance, except as may be provided by law. Nothing herein shall be deemed a waiver of any subdivision, zoning or other development regulation of the City whether by implication or reference.

i. This zoning approval is conditioned on compliance with the Zoning Code, Subdivision Code, and all applicable laws of the City. Such additional regulations are supplemental to the requirements herein and no modification of any applicable regulations shall result from this Planned Residential Development Overlay District ordinance, except where this ordinance has expressly modified such regulations by reference to the applicable provision authorizing such modification.

10. PUBLIC SPACE REQUIREMENTS

a. Developer shall construct improved public space in conformance with or otherwise satisfying the requirements of the City's Public Space Ordinance, Chapter 415.260 and 415.270 of the City of Wildwood's Zoning Ordinance. The City Council accepts the findings of the Public Space Study adopted therein and determines the compliance with the Public Space Ordinance provisions will address the impact of this specific development on public space needs in a manner and amount that is equal to less than an amount that is roughly

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roadway improvements required by the development shall be retained in the appropriate trust fund.

The amount of this required contribution, if not submitted by January 1, 2016, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accord with the construction cost index as determined by the City of Wildwood Department of Public Works.

The Planning and Zoning Commission is recommending these fees be credited to the developer for use for the purposes of assisting with completion of required improvements within the right-of-way of State Route 109 and the off-site portion of the Main Street right-of-way. The granting of these credits is at the sole discretion of the City Council.

6. VERIFICATIONS PRIOR TO APPROVAL OF THE SITE DEVELOPMENT PLAN

Prior to approval of the Site Development Plan, the developer shall provide the following:

Stormwater Improvements

a. Submit to the Planning and Zoning Commission an engineering plan approved by the City of Wildwood Department of Public Works and the Metropolitan St. Louis Sewer District showing that adequate handling of the stormwater drainage of the site is provided.

1. The developer is required to provide adequate stormwater systems in accordance with the City of Wildwood and the Metropolitan St. Louis Sewer District standards.

2. All stormwater shall be discharged at an adequate natural discharge point.

3. Retention/detention of differential runoff of stormwater shall be required. Stormwater management shall be provided in permanent retention/detention facilities, such as ponds or other acceptable alternatives. These retention/detention facilities shall be completed and in operation prior to the issuance of building permits for an approved dwelling unit, except display lots.

4. All proposed retention/detention facilities and related stormwater improvements shall be located in a common ground area and insure perpetual maintenance to the Homeowners Association to be created at the time of planting of this development.

5. The developer of this site shall be solely responsible to provide the necessary mechanisms, as part of the Site Development Plan/Improvement Plan process, to implement "best management practices" for stormwater management and the construction of related facilities. Minimally, these practices/facilities should include rain gardens, vegetative swales, and other options to substantially reduce the amount of stormwater leaving the subject site.

6. The developer shall provide adequate detention and/or hydrologic calculations for review and approval of all stormwater that will encroach on City of Wildwood/Missouri Department of Transportation (MoDOT) rights-of-way.

7. A bond or letter of credit will be required by the City of Wildwood to cover any downstream damage to abutting or adjacent properties, common ground areas, or

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proportional to the actual or anticipated impact. The installation of required public space improvements shall be as required by the applicable ordinances, but shall be completed prior to issuance of any occupancy (temporary or final) permit for the authorized by this ordinance. Unless otherwise approved pursuant to the procedures set forth in the Public Space Ordinance, the public space attributable to this development, based upon the number of authorized dwelling units at a rate of 1,742.4 square feet per new single family dwelling.

Section Three. This ordinance shall be in full force and effect on and after its passage and approval.

Section Four. Nothing contained herein shall in any manner be deemed or construed to alter, modify, supersede, supplant or otherwise nullify any other Ordinance of the City or the requirements thereof whether or not relating to or in any manner connected with the subject matter hereof, unless expressly set forth herein.

Section Five. If any term, condition, or provision of this Ordinance shall, to any extent, be held to be invalid or unenforceable, the remainder hereof shall be valid in all other respects and continue to be effective and each and every remaining provision hereof shall be valid and shall be enforced to the fullest extent permitted by law, it being the intent of the City Council that it would have enacted this Ordinance without the invalid or unenforceable provisions. In the event of a subsequent change in applicable law so that the provision, which had been held invalid, is no longer invalid, said provision shall thereupon return to full force and effect without further action by the City and shall thereafter be binding.

This Bill was passed and approved this ___ day of _____, 2016, by the City Council of the City of Wildwood, Missouri, after having been read by title, or in full, two (2) times prior to its passage.

Presiding Officer _____ The Honorable James R. Bowlin, Mayor

ATTEST: _____ ATTEST:

Elizabeth Weis, City Clerk _____ Elizabeth Weis, City Clerk

Editor's Note: Changes to Ordinance are indicated by blue and bolded type, while a single, strike through line shows deletions.

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drainageways caused by the developers' use of this subject site (land/disturbance/grading/construction activities, etc.), which shall be used for the restoration of damaged areas to their pre-development condition, if the developers fail to meet their responsibilities in this regard. The amount of this bond and the establishment of the process for creating an accurate baseline condition for the existing downstream facilities shall be at the discretion of the City of Wildwood Department of Public Works, in conjunction with input from the petitioner's engineer.

Geotechnical Report

b. Provide a Geotechnical Report covering development and grading required by Improvements Involved with this site, as directed by the Department of Public Works. Said report shall verify the adaptability of grading and improvements with soil and geologic conditions which are susceptible to rapid erosion, landslide, and/or creep. A statement of compliance with this study, signed by the Geotechnical Engineer preparing the report, shall be included on all Site Development Plans. The development and construction plans shall be designed to conform to the requirements and conditions of the Geotechnical Report. The Geotechnical Engineer shall be required to sign and seal all plans with a certification the proposed construction will be completed in accordance with the grading and soils requirements and conditions contained in the report.

Stormwater Pollution Prevention Plan

c. Submit a Stormwater Pollution Prevention Plan, as part of the Site Development Plan review process, indicating compliance to all Federal, State, and local requirements regarding the management of stormwater runoff to prevent siltation and erosion, while preserving water quality, both upon the site and on downstream properties.

Natural Resource Protection Plan

d. Provide a revised and final copy of the Natural Resource Protection Plan indicating all areas of the site, which are to be designated as protected and not developable. This revised and final copy of this map shall be reviewed and signed by a qualified soil scientist, who completed the analysis, and a statement indicating compliance with all the requirements of Section 100.200 of the City of Wildwood's Subdivision and Development Regulations.

Environmental Assessment - Phase One

e. The developer shall provide to the Planning and Zoning Commission, as part of the Site Development Plan submittal package, a Phase I Environmental Assessment Report of the property, which indicates its current condition relative to its past utilization by other owners. Determination regarding any required remediation shall be identified and completed, prior to the approval of the Record Plat and before the occupancy of any residential unit, all being in accordance with State and federal standards and guidelines, as set forth by the United

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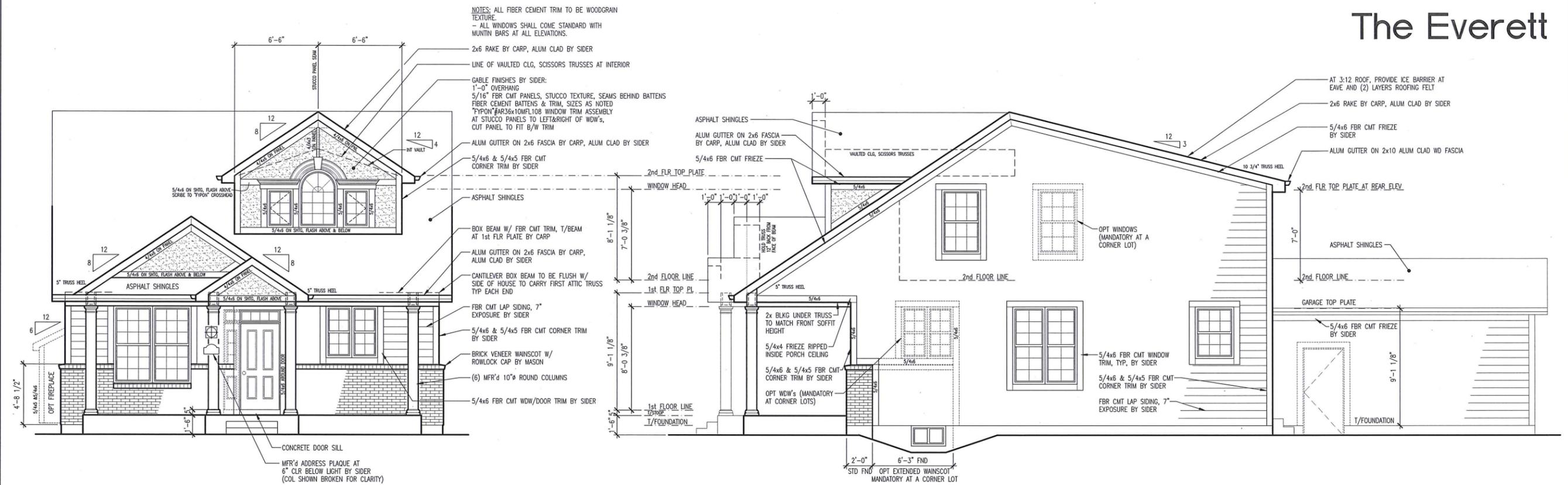
Professional Engineer's seal and signature official to the State of Missouri.
RODNEY ARNOLD
NUMBER
PE-2002016612
PROFESSIONAL ENGINEER

Date: 8-9-2016
RODNEY ARNOLD
License No. PE-2002016612
Civil Engineer

Job Number
14-04-126
Date
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Designed: SL Sheet
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Checked: SDP

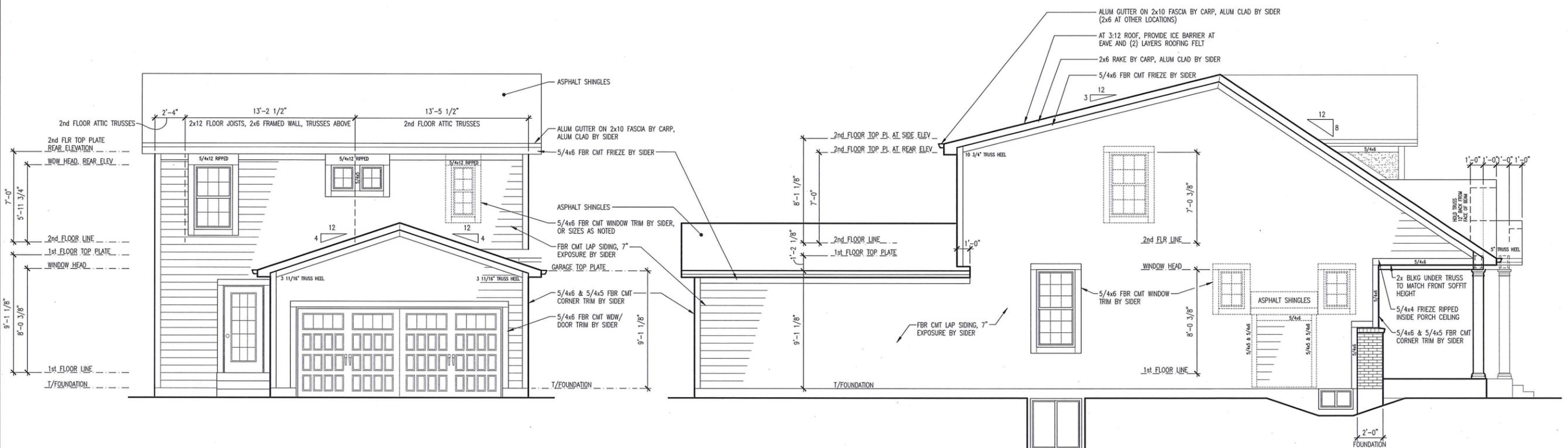


The Everett



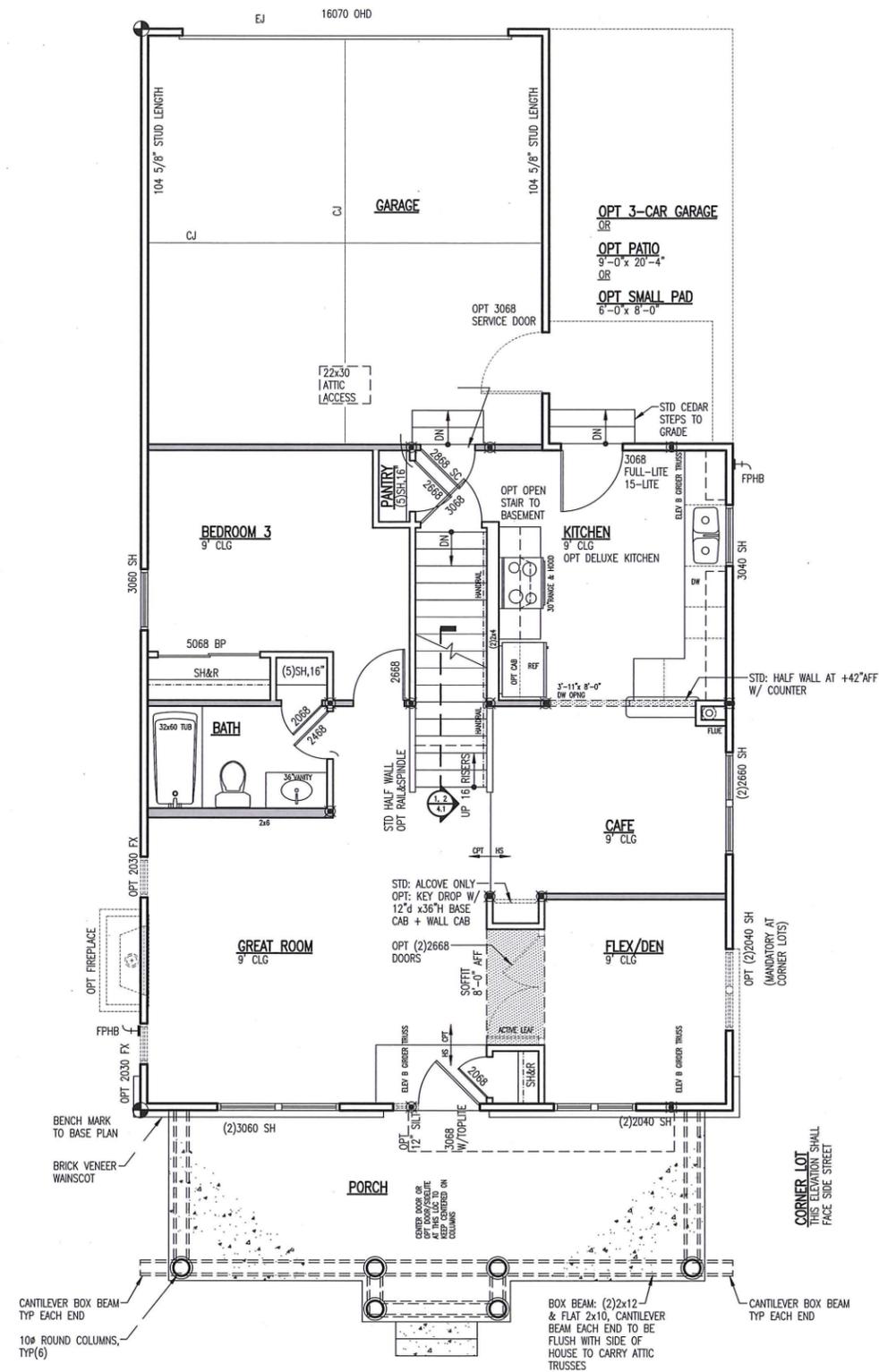
1 ELEVATION B - FRONT ELEVATION
 1/4"=1'-0"

2 ELEVATION B - RIGHT SIDE ELEVATION - FACING SIDE STREET
 1/4"=1'-0"

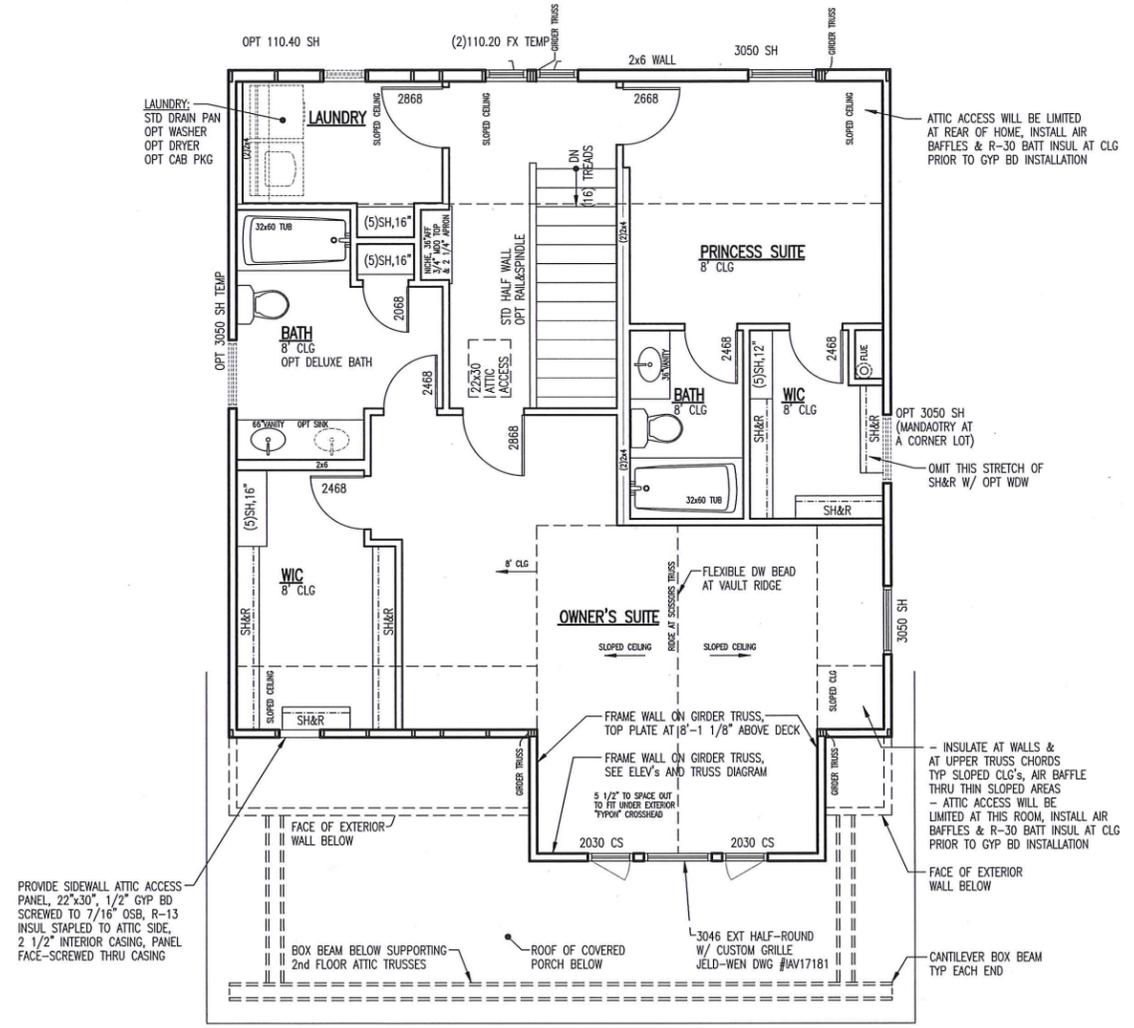


3 ELEVATION B - REAR ELEVATION
 1/4"=1'-0"

4 ELEVATION B - LEFT SIDE ELEVATION
 1/4"=1'-0"



1 ELEVATION B - 1st FLOOR PLAN
1/4"=1'-0"



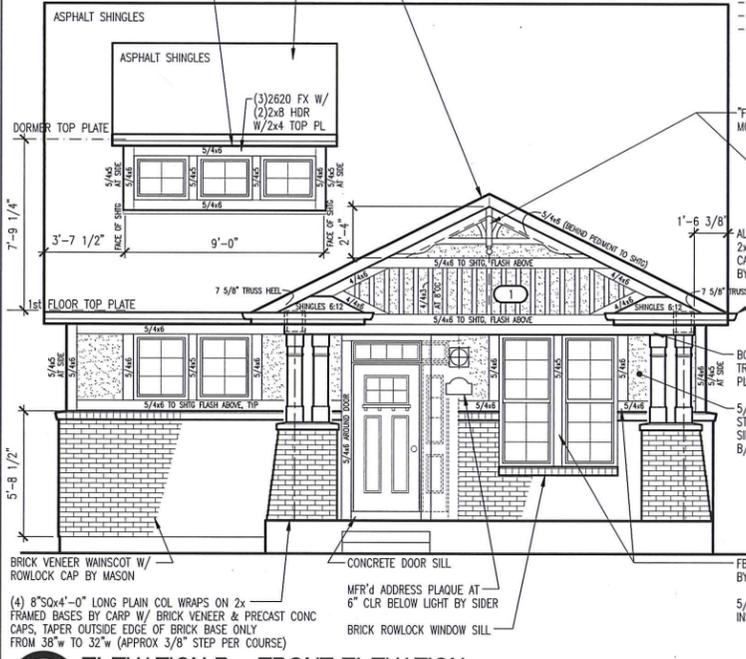
2 ELEVATION B - 2nd FLOOR PLAN
1/4"=1'-0"



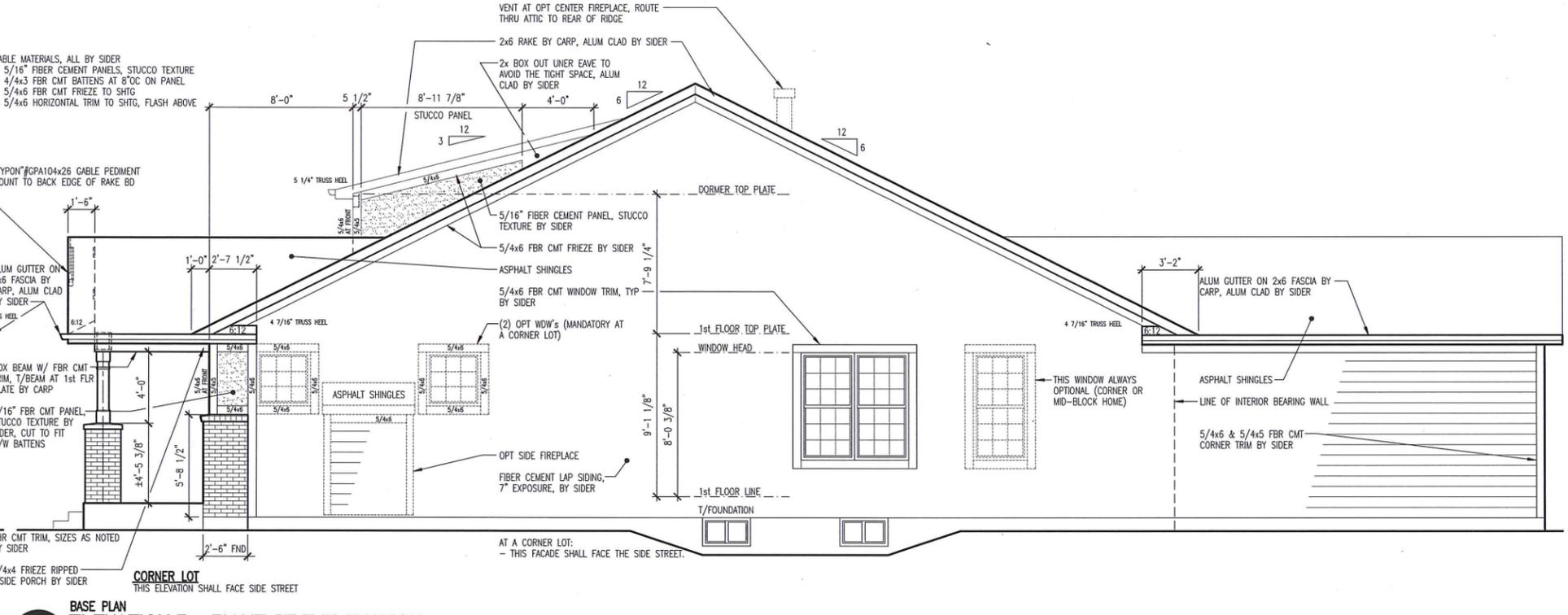
The Fields

NOTES:
 - ALL FIBER CEMENT TRIM TO BE WOODGRAIN TEXTURE.
 - ALL WINDOWS SHALL COME STANDARD WITH MUNTIN BARS AT ALL ELEVATIONS.

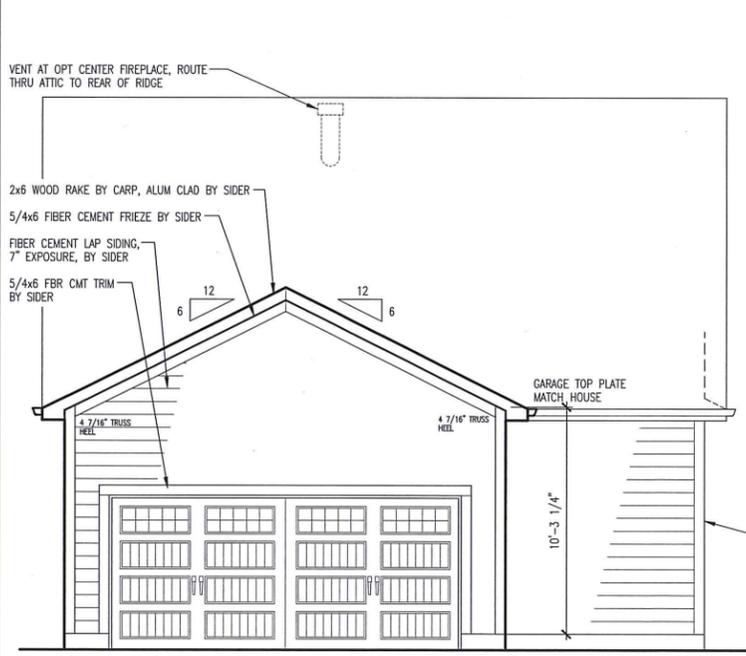
2x6 RAKE BY CARP, ALUM CLAD BY SIDER
 OVER-BUILT DORMER BY CARP, SEE DETAIL 4/AS.2.2
 NON-VENTED VINYL SOFFIT BY SIDER



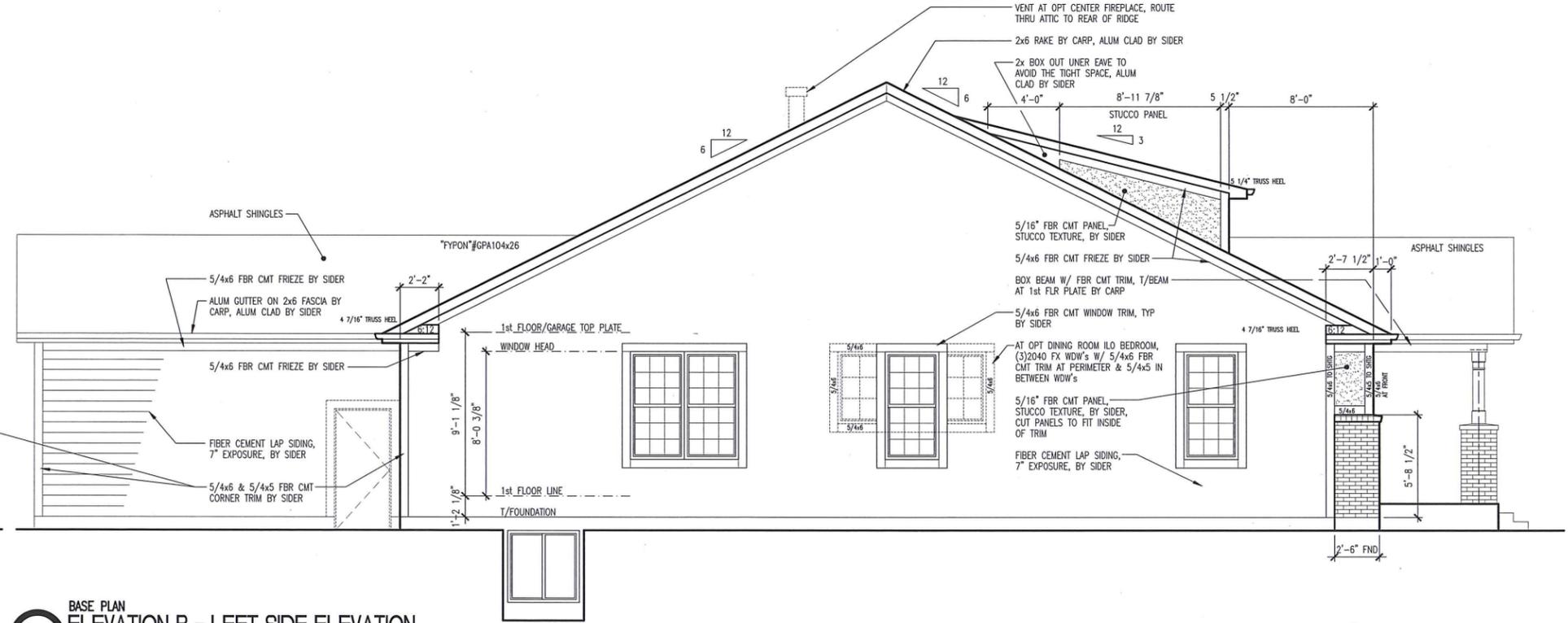
1 ELEVATION B - FRONT ELEVATION
 1/4"=1'-0"



2 ELEVATION B - RIGHT SIDE ELEVATION
 1/4"=1'-0"



3 BASE PLAN ELEVATION B - REAR ELEVATION
 1/4"=1'-0"



4 BASE PLAN ELEVATION B - LEFT SIDE ELEVATION
 1/4"=1'-0"



The Quincy



Inspirations

The Quincy

NOTES:
 - ALL FIBER CEMENT TRIM TO BE WOODGRAIN TEXTURE.
 - ALL WINDOWS SHALL COME STANDARD WITH MUNTIN BARS AT ALL ELEVATIONS.

BOTH GABLES: ALL BY SIDER
 2x6 RAKE BY CARP, ALUM CLAD BY SIDER
 5/16" FIBER CEMENT PANELS, STUCCO TEXTURE, HIDE PANEL SEAMS BEHIND BATTENS AS SHOWN
 4/4x6 FBR CMT FRIEZE ON PANEL
 4/4x3 BATTENS AT 24" OC
 *FYPON#EFLV18x30 LOUVER

ASPHALT SHINGLES
 *FYPON#WCHARS8x16 WINDOW HEAD
 5/4x6 FBR CMT TRIM BY CARP

3 11/16" 4 TRUSS HEEL
 8:12
 12:12
 1'-7 1/4" TRUSS HEEL

4'-0" STUCCO PANELS 12
 4'-0" STUCCO PANELS 12

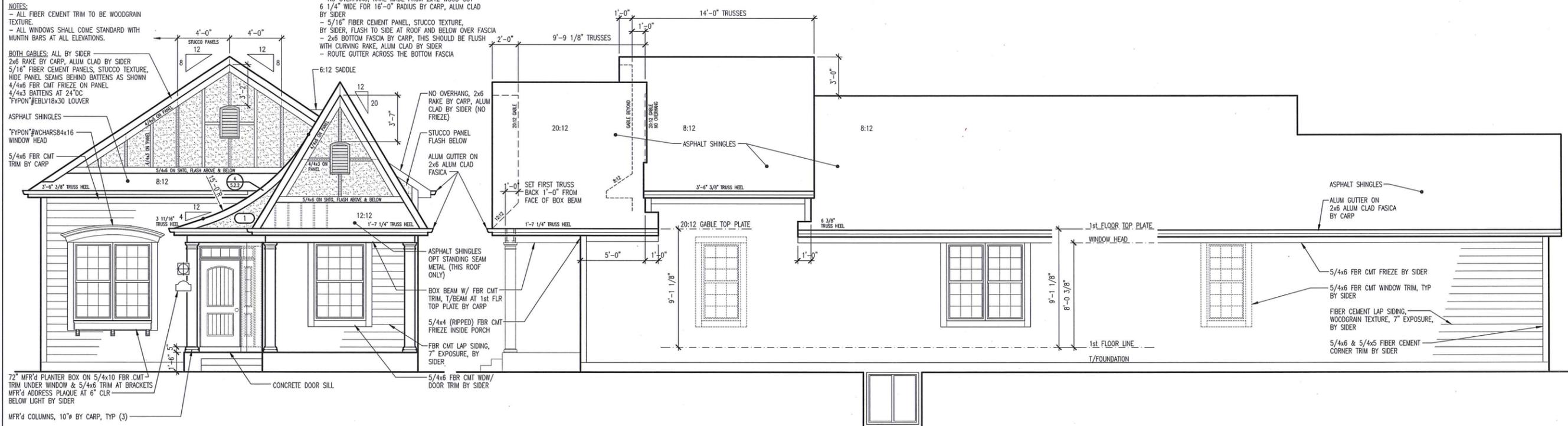
NO OVERHANG, 2x6 RAKE BY CARP, ALUM CLAD BY SIDER (NO FRIEZE)
 STUCCO PANEL FLASH BELOW
 ALUM GUTTER ON 2x6 ALUM CLAD FASCIA

ASPHALT SHINGLES OPT STANDING SEAM METAL (THIS ROOF ONLY)
 BOX BEAM W/ FBR CMT TRIM, T/BEAM AT 1st FLR TOP PLATE BY CARP
 5/4x4 (RIPPED) FBR CMT FRIEZE INSIDE PORCH
 FBR CMT LAP SIDING, 7" EXPOSURE, BY SIDER

72" MFR'd PLANTER BOX ON 5/4x10 FBR CMT TRIM UNDER WINDOW & 5/4x6 TRIM AT BRACKETS
 MFR'd ADDRESS PLAQUE AT 6" CLR BELOW LIGHT BY SIDER
 CONCRETE DOOR SILL
 5/4x6 FBR CMT WDW/DOOR TRIM BY SIDER

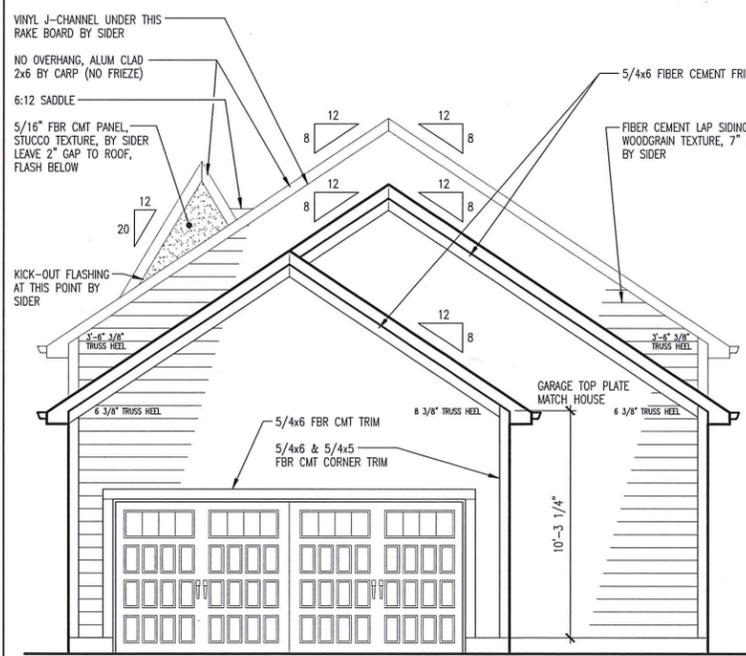
MFR'd COLUMNS, 10" BY CARP, TYP (3)

NOTES AT CURVED ROOF GABLE:
 - NO OVERHANG, RAKE MADE FROM 2x12 WOOD CUT 6 1/4" WIDE FOR 16'-0" RADIUS BY CARP, ALUM CLAD BY SIDER
 - 5/16" FIBER CEMENT PANEL, STUCCO TEXTURE, BY SIDER, FLASH TO SIDE AT ROOF AND BELOW OVER FASCIA
 - 2x6 BOTTOM FASCIA BY CARP, THIS SHOULD BE FLUSH WITH CURVING RAKE, ALUM CLAD BY SIDER
 - ROUTE GUTTER ACROSS THE BOTTOM FASCIA

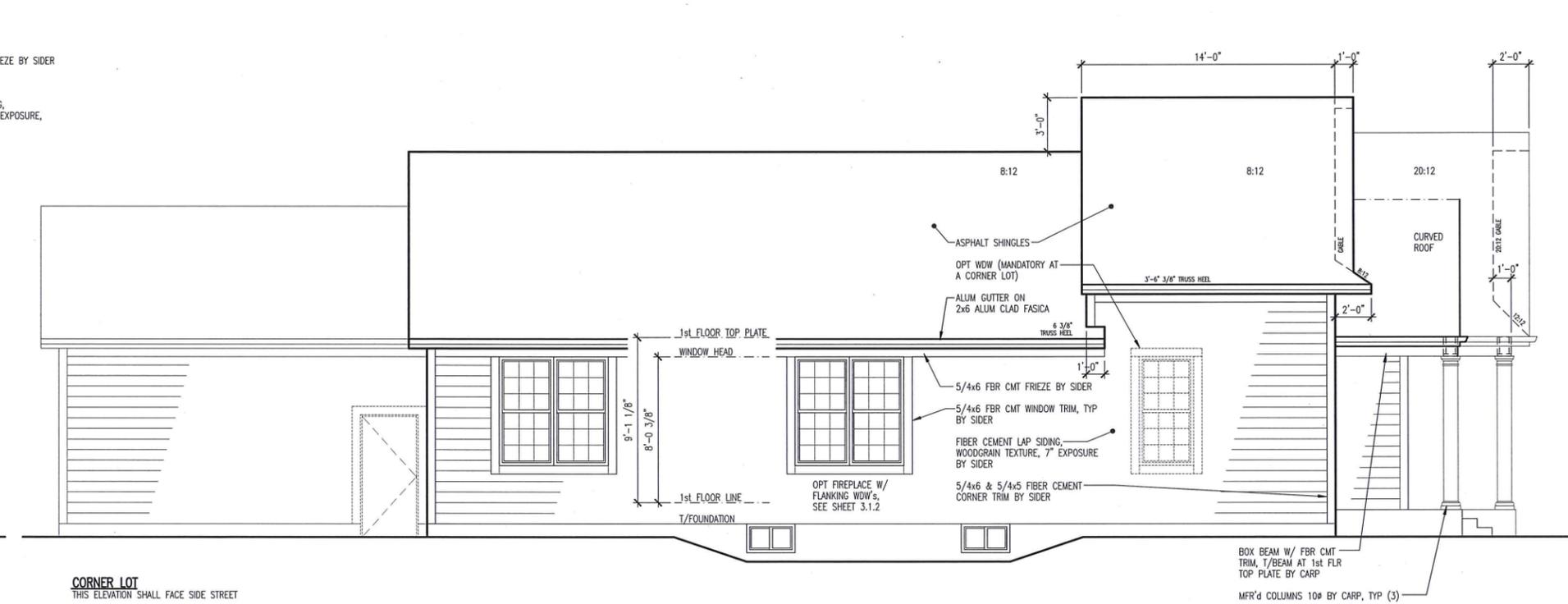


1 ELEVATION B - FRONT ELEVATION
 1/4"=1'-0"

2 ELEVATION B - RIGHT SIDE ELEVATION
 1/4"=1'-0"



3 ELEVATION B - REAR ELEVATION
 1/4"=1'-0"

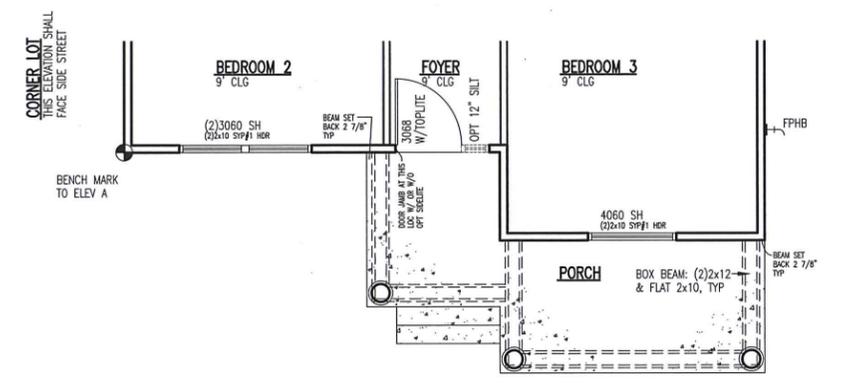
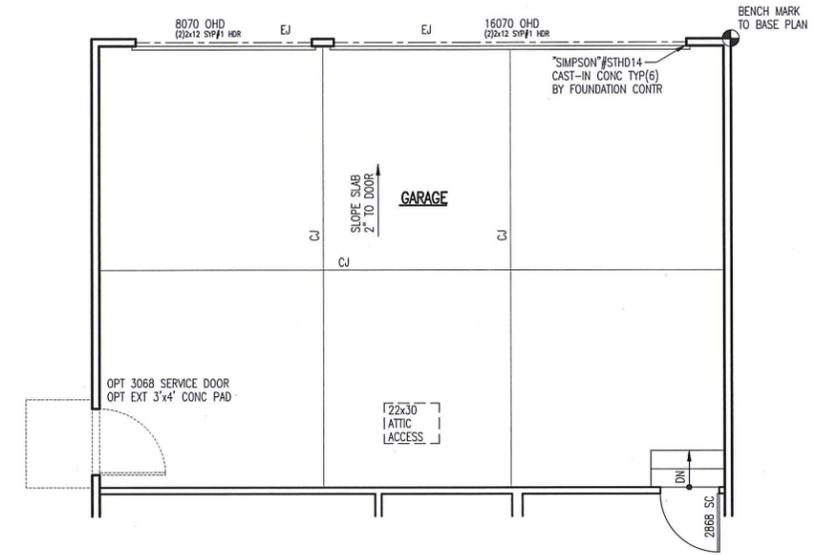
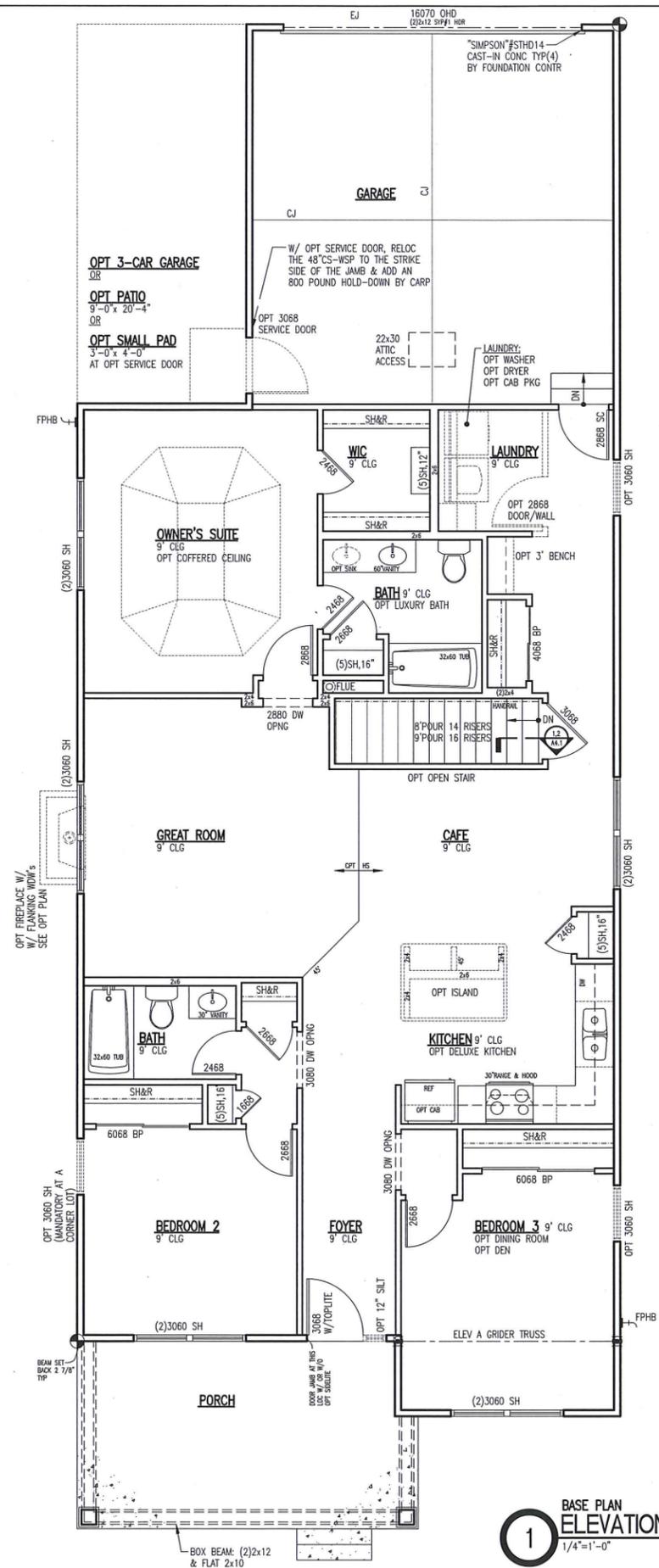


4 ELEVATION B - LEFT SIDE ELEVATION
 1/4"=1'-0"

CORNER LOT
 THIS ELEVATION SHALL FACE SIDE STREET

BOX BEAM W/ FBR CMT TRIM, T/BEAM AT 1st FLR TOP PLATE BY CARP
 MFR'd COLUMNS 10" BY CARP, TYP (3)

The Quincy



CORNER LOT
THIS ELEVATION SHALL
FACE SIDE STREET

OPT FIREPLACE W/
W/ FLANKING WDW'S
SEE OPT PLAN

OPT 3060 SH
(MANDATORY AT A
CORNER LOT)

BOX BEAM: (2)2x12
& FLAT 2x10

BOX BEAM AT THIS
LOC W/ 8" W/O
OPT SHEDITE

1 BASE PLAN
ELEVATION A - 1st FLOOR PLAN
1/4"=1'-0"

3 ELEVATION B - 1st FLOOR PLAN
1/4"=1'-0"

CORNER LOT
THIS ELEVATION SHALL
FACE SIDE STREET

BENCH MARK
TO ELEV A

BENCH MARK
TO BASE PLAN

BENCH MARK
TO ELEV A

JELD-WEN® VINYL WINDOW & PATIO DOOR LIMITED WARRANTY OUR WARRANTY TO YOU...

JELD-WEN® Products¹ are designed to create lasting value for your home. This warranty is effective for all JELD-WEN vinyl Products (except United Collection products) manufactured on or after July 1, 2010 for use in the United States and Canada. Any previous warranties will continue to apply to products manufactured by JELD-WEN prior to this date. For additional information, including care and maintenance instructions, installation instructions, and previous warranties, refer to www.jeld-wen.com or www.jeld-wen.ca.

What this warranty COVERS

Except as set forth in the Special Coverages section below, we warrant that if your JELD-WEN Product exhibits a defect in material or workmanship within the time periods from the date of manufacture as specified below, we will, at our option, repair, replace or refund the purchase price of the Product or component part. Skilled labor² (where deemed necessary by us) to repair or replace any component is provided for two (2) years from the date of manufacture.

Owner-Occupied Single-Family Residence Lifetime Warranty

We warrant our Products to the original owner of the owner-occupied single-family residence in which they are initially installed for as long as you own and occupy your residence.

Transferability

The Owner-Occupied Single-Family Residence warranty is transferable as follows. In the event you sell your residence or it becomes occupied by other than the original owner, the warranty is ten (10) years from the date of manufacture.

Commercial Ten Year Warranty (Other than Owner-Occupied Single-Family Residence)

We warrant our Products for a period of ten (10) years from the date of manufacture.

Transferability

The Commercial warranty is transferable as follows. In the event you sell the building, this warranty is transferable to subsequent owners.

Special Coverages (Applies to both Owner-Occupied and Commercial)

The following special coverages include **free** replacement parts.

ImpactGard® Glass: We warrant each ImpactGard glass unit for ten (10) years.

Special Glazings (including laminate glass units other than ImpactGard): We warrant special glazings (including glass options not listed in our product literature e.g., leaded or decorative glass) for five (5) years.

Blinds/Shades Between the Glass: We warrant the insulated glass unit (including the seal), the external control mechanism, and the operation of the shade/blind for ten (10) years.

Triple-Glazed Products: We warrant triple-glazed insulated glass units for twenty (20) years.

Spontaneous Glass Breakage: We warrant sealed glass units installed in windows and patio doors (excluding laminated glass, and special glazings) for spontaneous breakage for one (1) year (to include free replacement glass and skilled labor² necessary to replace the glass for one (1) year. Spontaneous breakage occurs when the glass develops a crack without sign of impact.

Retractable Screens: We warrant retractable roll screens for five (5) years.

Colored Exterior and Laminated Interior: We warrant that our factory-applied painted exterior color and factory-applied laminate interior finishes will not peel, blister, or flake for ten (10) years. Our applied exterior color will not exhibit excessive color change³ for ten (10) years. Note: this coverage does not extend to discoloration, polish, surface damage, or alteration caused by the use of natural or chemical solvents or an environmental factor causing such damage.

Accidental Screen Damage: On our Bravo, Primo and Ipex Replacement window and patio door product lines, our standard component warranty (Owner-Occupied or Commercial) will extend to screen damage unless the damage is attributable to acts of nature (e.g. fire, hurricane, etc.), civil disorder, building settling, structural failures of walls or foundations or improper installation, construction job-site mishaps, storage, or handling.

Accidental Glass Breakage: On our Bravo, Primo and Ipex Replacement window and patio door product lines, and on any other vinyl Products ordered with the "RS" glass package, our standard component warranty (Owner-Occupied or Commercial) will extend to accidental glass breakage. This coverage does not apply to damage attributable to acts of nature (e.g. fire, hurricane, etc.), civil disorder, building settling, structural failures of walls or foundations or improper installation, construction job-site mishaps, storage, or handling. Special glazings and ImpactGard glass are not covered by this glass breakage warranty.

How To Get Assistance

If you have a problem with your JELD-WEN Product, contact the dealer/distributor or contractor from whom you purchased your product or contact us directly:

In the United States:

Mail: JELD-WEN Customer Care
Attn: Vinyl Warranty Claims
P.O. Box 1329, Klamath Falls, OR 97601
Phone: 888-JWHelpU (888-594-3578)
Fax: 800-436-5954
Email: CustomerServiceAgents@jeld-wen.com

In Eastern Canada:

Mail: JELD-WEN Service Department
90, rue Industrielle
Saint-Appollinaire, Quebec, Canada G0S 2E0
Phone: 800-463-1930
Fax: 888-998-1599

In Western Canada:

Mail: JELD-WEN Service Department
550 Munroe Avenue
Winnipeg, Manitoba, Canada R2K 4H3
Phone: 888-945-5627
204-668-8230
Fax: 204-663-1072
Email: wpgservice@jeld-wen.com

We can respond quickly and efficiently if you provide the following: a) product identification (from the original order/invoice, spacer code, permanent label, or the window identification number found on corner of glass), b) how to contact you, c) the address where the product can be inspected, and d) a description of the apparent problem and the product (photographs are helpful).

What We Will Do

Upon receiving your notification, we will send out an acknowledgement, usually within three business days. We will investigate your claim and will begin to take appropriate action within 30 days after notification. If it is determined that the Product does not have a defect covered by the labor warranty, we may charge an inspection fee for any onsite inspection that is required or requested by you. Because manufacturing materials and techniques can change, replacement part(s) may not be an aesthetic match to the original. Replacement components/products are warranted for the balance of the original product warranty or 90 days, whichever is longer. If we determine we are unable to provide replacement parts and repair is not practicable or cannot be made timely, then we will refund the unit/component purchase price.

What This Warranty Does NOT Cover

JELD-WEN is not liable for:

- Normal wear and tear; natural weathering of surfaces.
- Normal wear and tear to hardware and naturally occurring changes to hardware finishes (e.g., corrosion or tarnishing).
- Damage caused by chemicals (e.g. brick wash) or a harsh environment (e.g., salt spray or airborne pollutants).
- Product failure due to misuse or abuse; damage caused by failure to provide maintenance, by alteration or modification to the window (e.g. customer applied tints or films, paint finishes, security systems), or as a result of any cause beyond the control of JELD-WEN (e.g. fire, flood, earthquake, other acts of nature, and acts of third parties outside of our reasonable control).
- Glass breakage (except as specifically covered above).
- Slight imperfections or wavy distortions in the glass that don't impair structural integrity. Note: wavy distortions in the glass (e.g. related to laminate interlayer or heat strengthening of glass) are not considered a defect. Slight color variations in glass are not considered a defect.
- Improper installation not in conformance with JELD-WEN installation instructions (note: see www.jeld-wen.com for current installation instructions); operational problems and problems related to water and/or air infiltration/leaking as a result of improper installation or flaws in building design or construction.
- Damage or poor product performance resulting from installation into a condition that exceeds product design standards and/or certified performance specifications and/or is not in compliance with building codes.
- Damage caused by extreme artificial temperature buildup or exposure (e.g., where storm doors/windows are present).
- Product or component performance decline due to aging, inert gas dissipation, natural processes or failure to provide proper maintenance. Note: Other than inert gas loss due to seal failure, the migration of an inert gas, such as argon, is a natural process that occurs over time and is not a defect.
- Screen damage due to normal wear and tear, misuse, abuse, or insect or animal activity (except as specifically covered above).
- Condensation or damage as a result of condensation (Note: unless due to insulating glass failure, most condensation problems are related to excessive humidity levels in a structure. Contact a heating/air conditioning specialist for help).
- Labor and materials for repainting or refinishing activities or the removal or disposal of defective product(s); labor exceeding the time periods specified above.
- Incidental or consequential damage. Some states do not allow the exclusion or limitation of incidental or consequential damages, so this may not apply to you.

Important Legal Information

This Limited Warranty document sets forth our maximum liability for our products. We shall not be liable for special, indirect, consequential, or incidental damages. Your sole and exclusive remedy with respect to any and all losses or damages resulting from any cause whatsoever shall be as specified above. We make no other warranty or guarantee, either express or implied, including implied warranties of merchantability and fitness for a particular purpose to the original purchaser or to any subsequent user of the product, except as expressly contained herein. In the event state or provincial law precludes exclusion or limitation of implied warranties, the duration of any such warranties shall be no longer than, and the time and manner of presenting any claim thereon shall be the same as, that provided in the express warranty stated herein. This Limited Warranty document gives you specific legal rights, and you may have other rights that vary from state/province to state/province.

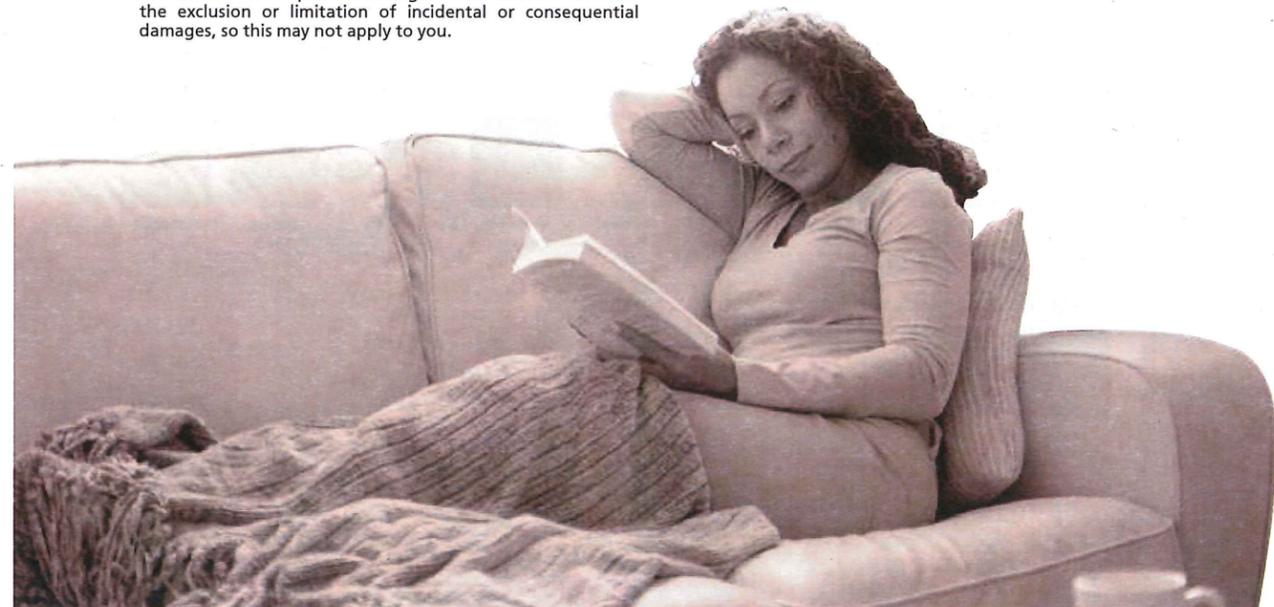
No distributor, dealer or representative of JELD-WEN has the authority to change, modify or expand this warranty. The original purchaser of this Product acknowledges that they have read this warranty, understand it and are bound by its terms and agrees to provide this warranty to the original owner of the structure into which the Product is installed.

¹ "JELD-WEN Products" shall refer to vinyl window and patio door products (except United Collection products) manufactured in the United States and/or Canada and marketed under the JELD-WEN brand name for use in the United States and/or Canada. See our separate United Collection warranty, or our Export Warranty for applicable coverage on products used outside the United States and Canada.

² "Skilled labor" refers to tasks where specialized technical knowledge, experience, methods or tools are required to properly identify, diagnose and/or correct product-related problems.

³ Fading or changing in color of the applied exterior color finish is not a defect unless it exceeds five (5) E units, calculated in accordance with ASTM D2244, paragraph 6.2. Color change shall be measured on an exposed colored surface that has been cleaned of soils, and the corresponding values measured on the original or unexposed colored surface. Fading or color changes may not be uniform if the surfaces are not equally exposed to the sun and elements. If the above ASTM standards change, the standard in effect at the time of purchase applies. As an option to replacement, we may choose to refinish the product.

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Continued on next page

ABOUT JELD-WEN



Since 1960, when JELD-WEN began with one Oregon millwork plant, we've been dedicated to crafting windows and doors that enhance the beauty and functionality of your home. Today we continue that tradition with products that are durable, energy efficient, and worry-free. Our extensive product offering is available globally through multiple distribution channels, including retail home centers, wholesale distributors and building products dealers.

We strive to conduct our business with the highest ethical standards. That includes providing our customers with superior products, establishing solid relationships in the communities where we live and work, and conserving valuable resources.

JELD-WEN's goal is to be the industry leader in environmentally responsible practices and to conduct our business in a manner that demonstrates environmental stewardship. At JELD-WEN, we believe that a healthy environment and healthy business practices go hand in hand.

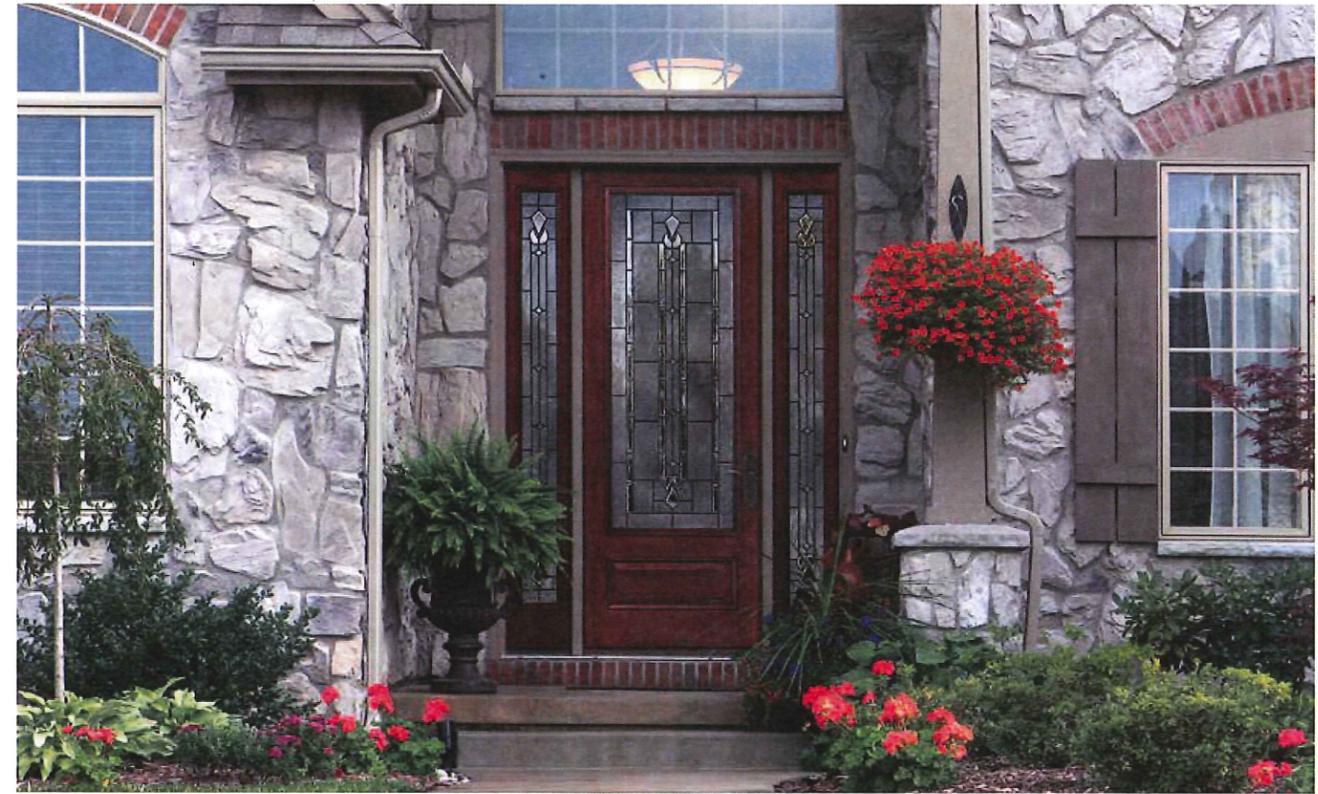


The JELD-WEN website is your ultimate resource for learning about our reliable windows and doors. It has all the product information and design advice you need. Visit us at jeld-wen.com today.



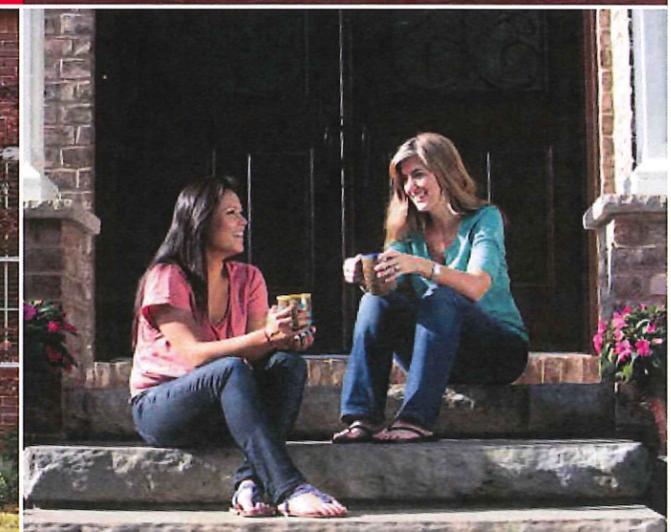
Therma-Tru® Door Systems

THERMA-TRU®
DOORS



• Always make a great entrance.

Entry Doors





Home begins at the door.

Simply beautiful products.

A Welcome Sight

The door greets friends and protects family. But the purpose of a door runs deeper. As an entrance, it makes a lasting impression of beauty; as a well-designed system, it provides security, efficiency and confidence. It's no wonder that homeowners can be so passionate about their doors. Therma-Tru takes your choice of door as seriously as you do. We have dedicated ourselves to reflecting inspiration and passion in every product we make.

Our Commitment

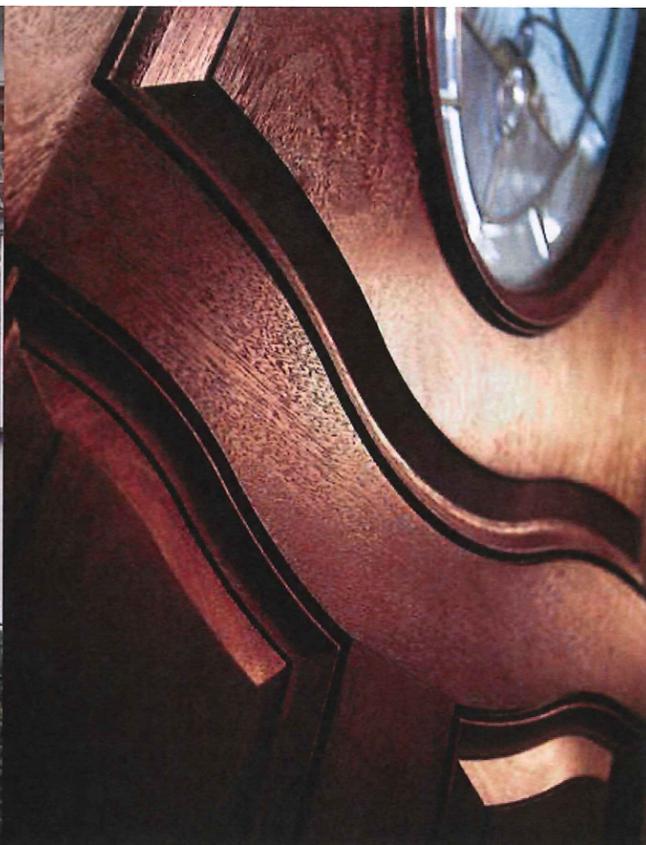
At Therma-Tru, we are committed to always making a great entrance. As the inventors of the fiberglass door, we believe we are uniquely qualified to do this. We will inspire confidence during your home enhancement process by ensuring reliability and simplicity with beautiful, easy-to-install entry door products.

Cover, Top: Classic-Craft. Mahogany Collection., Lucerna Glass, Door - CCM898, Sidelites - CCM3412SL
 Cover, Bottom Left: Smooth-Star., Sedona Glass, Door - S91, Sidelites - S139SL, Transom - 19520T
 Top: Classic-Craft. Canvas Collection., Homeward. Glass, Door - CCV911, Sidelites - CCV911SL, Dentil Shelf

Top: Smooth-Star., Blackstone. Glass, Door - S6002, Sidelites - S6002S



4



The Beauty of Fiberglass

Therma-Tru works with fiberglass because we discovered that it combined the best characteristics of wood and steel – design and performance – and took them a step beyond.

Therma-Tru fiberglass doors offer wood grains and architectural styles that replicate the beauty of natural wood doors with intricate panel detailing and true-to-life graining.

A fiberglass door also offers plenty of strength, as it is made from a material that will not dent or rust, nor will it warp, split, crack or rot. It is suited to provide homes with both weather resistance and security, as well as long-lasting curb appeal.

Therma-Tru is dedicated to excellence in the manufacture of fiberglass doors, because we believe it allows us to create the best possible door systems.

5

You're in expert hands.



Therma-Tru is the trailblazer in manufacturing fiberglass door systems. For the past five decades, we have studied the science of the entry door and turned our experience into industry-leading innovations. So when you choose Therma-Tru, you can be confident that you are choosing the fiberglass door expert.

Top: Smooth-Star, Arden. Glass, Door – S701R, Sidelites – S9021RSL

Trust the System

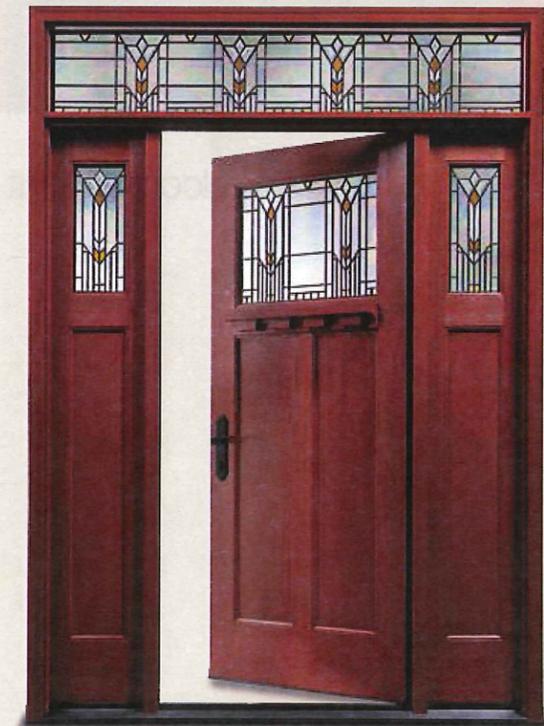
We want to provide you with more than a door. A full Therma-Tru door system enhances performance better than materials from multiple sources.

We design the door and glass, along with the hinges, sill, lock and weathersealing components, to create a unified whole. Working together, these components help maximize the seal between the door and frame, improving performance against the elements by helping to keep out harsh weather, wind and rain.

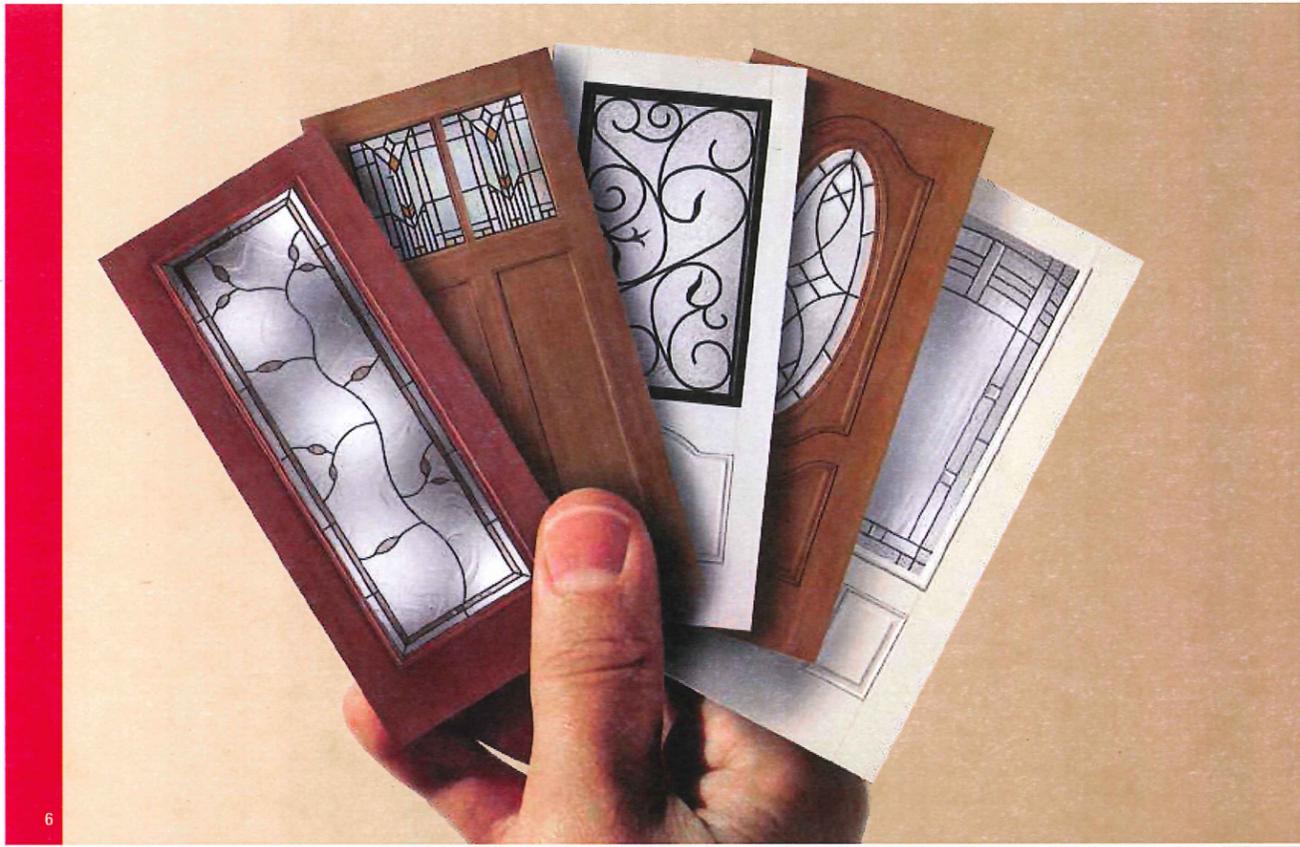
A Therma-Tru door system also helps to enhance security and stability, with a multi-point locking system. And by helping to keep heating and air conditioning sealed in the house, it may provide a boost to home energy efficiency.

#1 Choice Among Builders and Remodelers.

Brand Use Studies, 2013 *Builder* and 2013 *Remodeling* magazines.



Classic-Craft. American Style Collection., Hazelton. Glass, Door – CCA214, Sidelites – CCA214SL, Transom – HART, Dentil Shelf



6

The easy, reliable choice.



Therma-Tru pioneered the fiberglass door because we realized that fiberglass was a material that offered superior design and performance characteristics. By engineering entire door systems, we added a new level of reliability to the home entry door. Today, we continue to bring expertise and innovation to every door we make. That's why building industry professionals and homeowners alike can rely on Therma-Tru to simplify the home enhancement process – and always make a great entrance.

*See your Therma-Tru representative or visit www.thermatru.com for details on warranties.
Left: Classic-Craft. Rustic Collection™, Augustine, Glass, Doors – CCR804037

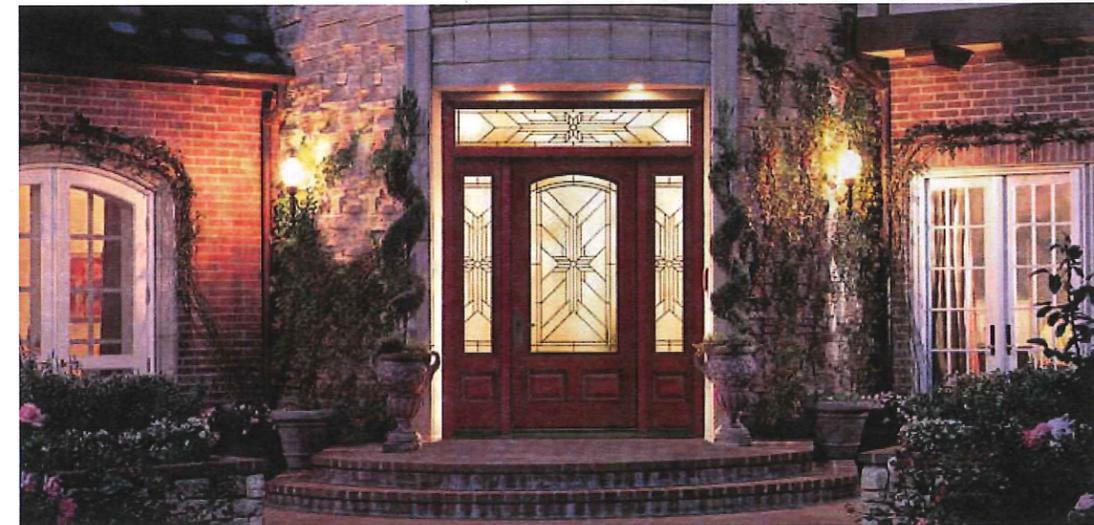
Beautifully Dependable: The Therma-Tru® Product Line

Being the fiberglass door system expert enables Therma-Tru to offer an expansive selection of stylish, reliable door systems.

Therma-Tru's Classic-Craft™ premium entryways blend precision-engineered features with architecturally correct details to create entryways that perform as exceptionally as they look – instilling confidence and peace of mind.

Designed with varying home styles in mind, Therma-Tru's wide array of decorative glass designs help create a stunning look to enhance any entryway.

And that's just the beginning. Therma-Tru offers thousands of fiberglass door system options designed to bring design and performance to every dwelling.



7

Integrity in the Industry

Therma-Tru places great importance on meeting the needs of both homeowners and our industry partners. So we work closely with door distributors, builders and remodelers. We listen to their insights about building trends and homeowner needs, and in turn, we share our knowledge, resources and expertise to help produce the ultimate fiberglass door system solutions for homeowners nationwide.

Maintaining these relationships has taught us the importance of everything from on-time delivery and installation training programs to outstanding warranties* and on-trend designs. This attention to detail is what makes Therma-Tru the most preferred brand in the business. And we believe that our industry reputation is one that homeowners can believe in, too.

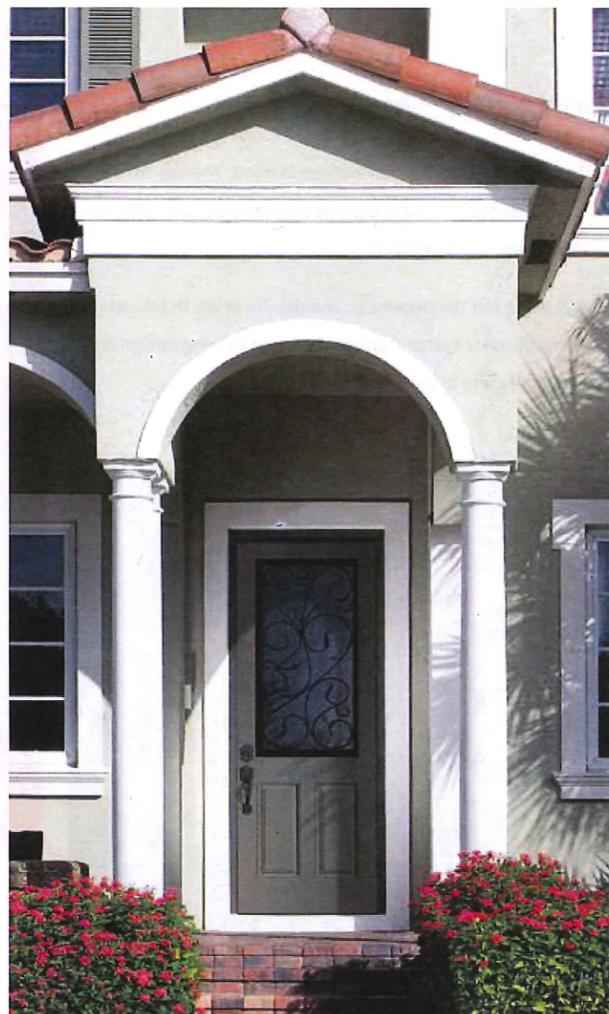
Top: Classic-Craft. Mahogany Collection™, Ashurst™, Glass, Door – CCM305, Sidelites – CCM3305SL, Transom – ASRT

The Simple Solution

You have a passion when it comes to home enhancement; we are passionate about meeting our customers' needs. That's why we are committed to always making a great entrance, and the reason you can believe in Therma-Tru door systems.

Make your dream doorway a reality.

Visualize what a beautiful, new Therma-Tru door system will look like on your home. To browse our full product offering and build the doorway of your dreams, visit www.thermatru.com.

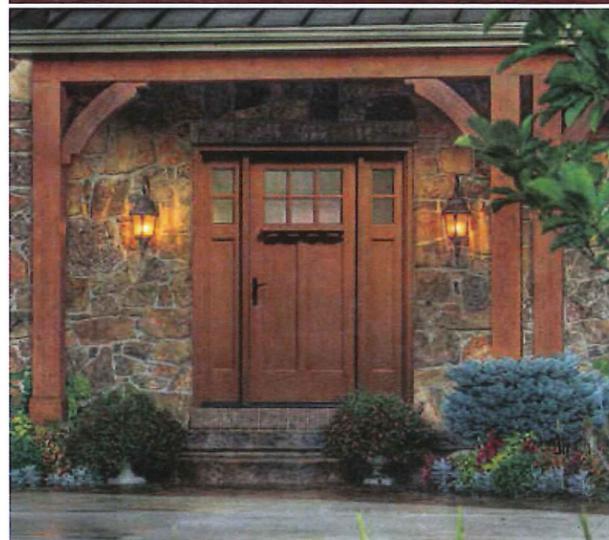


THERMA-TRU[®]
DOORS

www.thermatru.com

1-800-THERMA-TRU (843-7628)
1750 Indian Wood Circle
Maumee, OH 43537

Left Top: Classic-Craft. Canvas Collection., Augustine, Glass, Door – CCV806027
Left Bottom: Classic-Craft. American Collection., Chord Privacy Glass,
Door – CCA260XC, Sidelites – CCA220XCSL

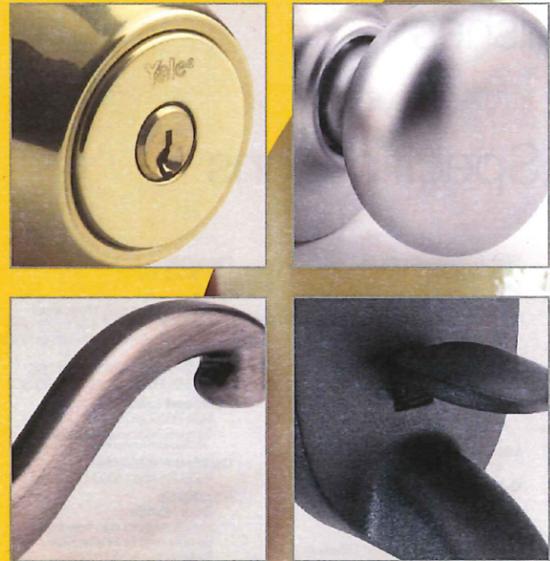


Door Hardware

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Part #MAFWTT09 MTZT / REV JAN 2014

Enhanced quality & style
in the great Yale tradition.

NEW
TRADITIONS®



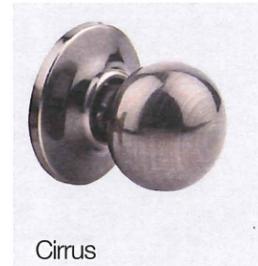
The world's favorite lock



ASSA ABLOY

An ASSA ABLOY Group brand

Knobs & Levers



Cirrus



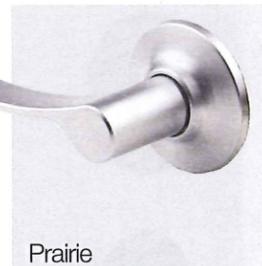
Niagara



Mesa



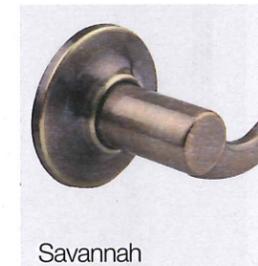
Horizon



Prairie



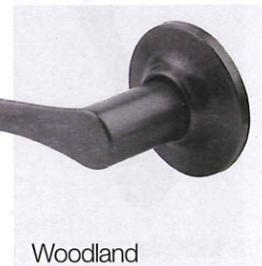
Terra



Savannah

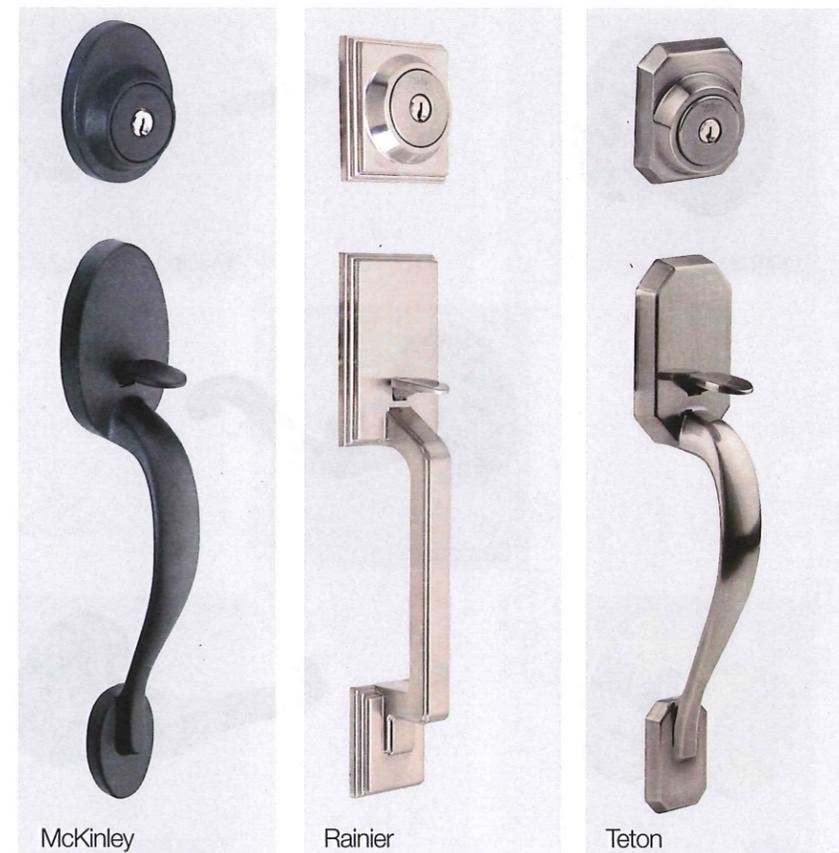


Valley



Woodland

Deadbolts & Handlesets



McKinley

Rainier

Teton

NEW TRADITIONS®



Designer Finishes

Features & Specifications

New Traditions® from Yale®

Lifetime limited warranty for original owner – finish & mechanical operation
ANSI Grade 3 – tested & certified to meet ANSI Grade 3 requirements
Pre-installed screws – quick-install mounting system saves installation time
Concealed screws – clean consistent look, no-scratch installation
Interior snap on-off knobs & levers – quick, scratch free installation
Removable cylinder – quick and easy re-keying that requires no special tools
Brass cylinder plug/housing standard – reduces wear/smooth operation
Non-handed levers – lowers inventory needs, minimizes mistakes
Interconnected handleset – one motion latch/deadbolt activation

Standard Specifications
Door Bores
 2 1/8" Face Bore, 1" Edge Bore
 Latch Face 1" x 2 1/4"
 RC(Round Corner) or SC(Square Corner)
Backset
 2 3/8" Fixed – RC/SC
 2 3/4" Fixed – RC/SC
 2 3/8" to 2 3/4" Adj – RC/SC
 2 3/8" to 2 3/4" Adj Drive-in – RC/SC
Door Thickness
 1 3/8" to 1 3/4"
Interconnected Handlesets
 4" center to center
Cylinder
 Yale KW 5 Pin All Brass Cylinder
 Schlage® Keyway Available
Keying
 BOX PACK: KD (Keyed Different)
 CLEAR PACK: KA6 (Keyed Alike in sets of 6)

Faceplate
 1" W x 2 1/4" H
Strike
Knobs, Levers & Handleset
 BOX PACK: 2 1/4" Full Lip RC/SC
 CLEAR PACK: 2 1/4" Full Lip RC/SC
Deadbolts
 BOX PACK: 1" x 2 1/4" RC/SC
 CLEAR PACK: 1" x 2 1/4" RC/SC
Handleset Latch*
 Split Hub Latch
*Multiple latch and strike configurations available to meet your needs
Certified ANSI/BHMA
 A156.2 Series 4000 Grade 3
Handlesets
Door Handling
 Handlesets are non-handed. Specify right or left-handed for lever interior trim only.
Interior Trim
 BOX PACK: Cirrus Knob
 CLEAR PACK: Cirrus Knob
U.L.
 90 Minute U.L. Rating Available
 Entry and Deadbolt function



Yale Locks & Hardware
 100 Sargent Drive
 New Haven, CT 06511 USA
 Tel 1-800-438-1951 Fax 1-800-338-0965
 www.yalelocks.com

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YALE, with its unique global reach and range of products, is the world's favorite lock – the preferred solution for securing your home, family and personal belongings.

ASSA ABLOY is the global leader in door opening solutions, dedicated to satisfying end-user needs for security, safety and convenience.

099646 1/14

An ASSA ABLOY Group brand

Yale Locks & Hardware



ASSA ABLOY

Garage Doors

Vintage Plus Collection



Recessed Panel with optional Thames design trim insert.

Vintage Plus Collection

Self-expression shouldn't cost a fortune. With Delden's Vintage Plus Collection, it won't. These durable steel doors offer an attractive carriage house look. Choose from a variety of door colors, decorative hardware, and window accents. Customize your home with Delden's most affordable carriage house door.

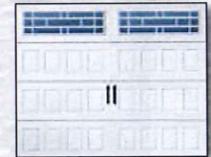


Bead Board Panel with optional Mission estate glass windows.

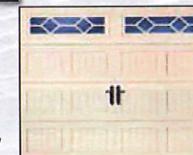
Recessed Panel with optional Thames design trim insert.



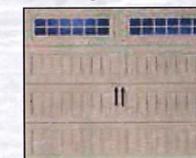
Raised Panel with optional Stockford design trim insert.



Bead Board Panel with optional Waterton design trim insert.



Long Panel Bead Board with optional Stockton design trim insert.



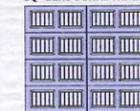
Recessed Panel with optional Arched Thames design trim insert.



Photos shown with optional decorative hardware.

PANEL DESIGNS

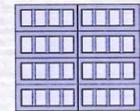
SQ • BEAD BOARD PANEL



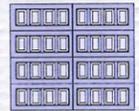
LQ • LP BEAD BOARD PANEL



RE • RECESSED PANEL



RS • RAISED PANEL

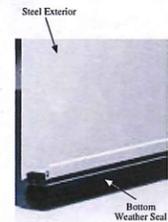


"Experience the Quality"



Vintage Plus Collection

CONSTRUCTION

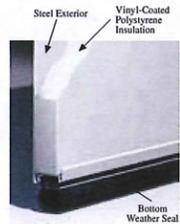


Series 1000
Single-Layer: Steel
 Get value and durability with a Vintage Plus 1000 single-layer steel door. These heavy-duty steel doors are durable, reliable, and low maintenance.

- Heavy-Duty Exterior Steel
- Durable, Reliable, Low Maintenance

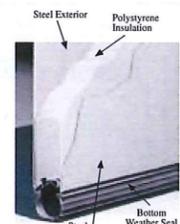


Delden's section interfaces are designed to reduce the risk of serious finger and hand injuries.



Series 2000
Double-Layer: Steel + Insulation
 The Vintage Plus 2000 double-layer door provides durable, low maintenance features, plus a layer of vinyl-coated insulation for increased thermal properties and quieter operation.

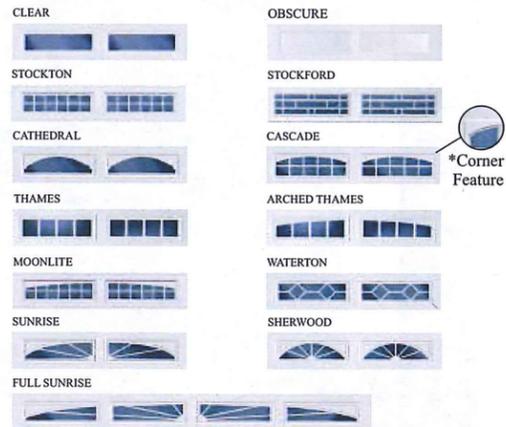
- Heavy-Duty Exterior Steel
- Durable, Reliable, Low Maintenance
- Environmentally Safe Polystyrene Thermal Insulation with Vinyl Backing
- Energy Efficient
- Quiet Operation



Series 3000
Triple-Layer: Steel + Insulation + Steel
 For the toughest, energy-efficient steel door, the Vintage Plus 3000 triple-layer door includes the ultimate in thermal properties, plus a layer of steel for a finished interior look and added durability.

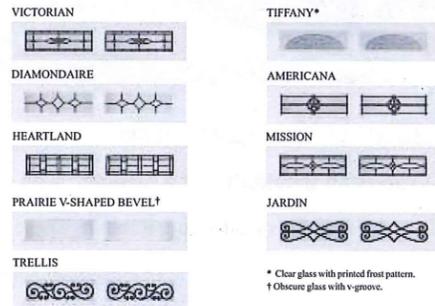
- Heavy-Duty Exterior and Interior Steel
- Durable, Reliable, Low Maintenance
- Environmentally Safe Polystyrene Thermal Insulation
- Superior Energy Efficiency
- Extra Quiet Operation

DELLEN DESIGN TRIM INSERTS



ESTATE GLASS™

Tempered obscure glass with baked-on ceramic designs.

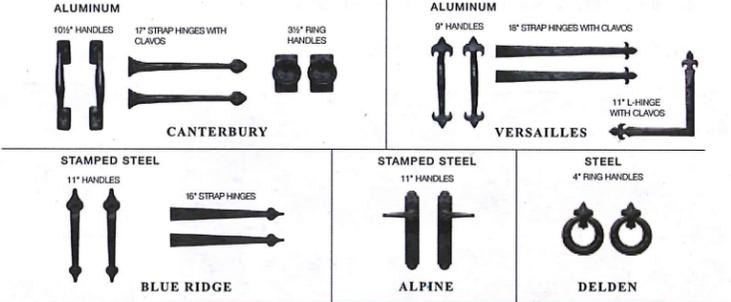


* Clear glass with printed frost pattern.
 † Obscure glass with v-groove.

DECORATIVE HARDWARE

Aluminum hinges with clavos not recommended for arched openings.

	Vintage Plus Series 1000	Vintage Plus Series 2000	Vintage Plus Series 3000
Panel Designs	4	4	4
Insulation ¹	N/A	Polystyrene	Polystyrene
R-Value / U-Factor ²	N/A	6.84/0.15	6.48/0.15
Steel Thickness	25 ga	25 ga	27/27 ga
Gauge (mm)	0.53mm	0.53mm	0.42/0.42mm
Door Thickness	2" (5.1cm)	2" (5.1cm)	1 3/8" (3.4cm)
Window Glass Options			
3/32" (0.24cm) Single Strength	✓	✓	✓
Obscure	✓	✓	✓
Insulated	✓	✓	✓
Wind Load Available ³	✓	✓	✓
Exterior Color Options			
True White	✓	✓	✓
Almond	✓	✓	✓
Sandstone	✓	✓	✓
Wicker Tan	✓	✓	✓
Hunter Green		✓	✓
Gray			✓
Dark Brown	✓	✓	✓
Terratone	✓	✓	✓
Woodgrain	Price upcharge applies.		
Golden Oak	✓	✓	✓
Walnut	✓	✓	✓
Mahogany	✓	✓	✓
Warranty ⁴			
Paint Finish	15 Years	25 Years	Lifetime
Hardware	1 Year	2 Years	3 Years



¹ Insulation has passed self-ignition, flamespread and smoke developed index fire testing.
² Calculated door section R-value is in accordance with DASMA TDS-163.
³ It is your responsibility to make sure your garage door meets local building codes.
⁴ For complete warranty details, visit deldenmfg.com or contact your local Delden dealer.
 Delden reserves the right to change specifications and designs without notice and without incurring obligations. Some graphics and details provided courtesy of Entrematic and used by permission.

COLORS

Delden steel doors arrive pre-painted; for custom colors, exterior latex paint must be used. Ask your Delden dealer for instructions on painting.



*Only available in Vintage Plus 3000.



"Experience the Quality" ©2016 Rev06/16
 Your Local Delden Dealer: KANSAS CITY, MO www.DeldenMfg.com

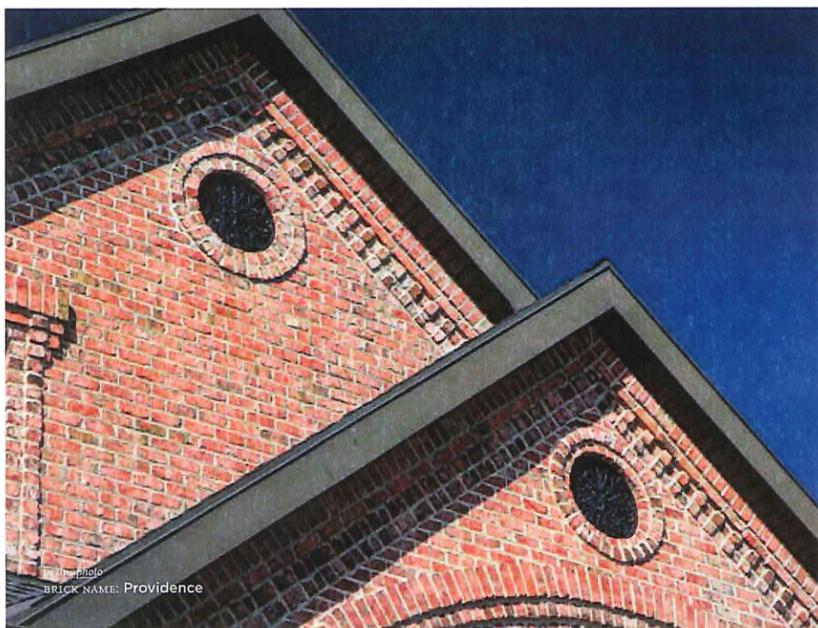
Brick



in this photo
BRICK NAME: Silas Lucas

Brick — the Smart, Natural Choice

Add BEAUTY and VALUE TO YOUR HOME with BRICK FROM GENERAL SHALE



in this photo
BRICK NAME: Providence



in this photo
BRICK NAME: Nottingham Tudor with Millstone Accents

Timeless Brick

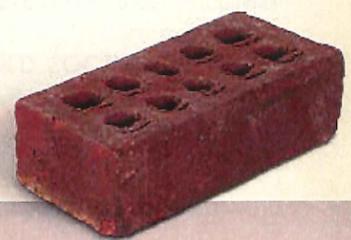
3

A brick home or building is more than just a statement of style; it's a sound investment in a structure's future. When constructed properly, a brick exterior can be expected to last around 100 years.

As one of the oldest building materials still in use today, brick is the embodiment of natural and sustainable building practices. Brick is highly energy efficient, as it retains heat and coolness better than most other natural construction materials or techniques. These energy-efficient characteristics mean not only a smaller utility bill for the homeowner but also a smaller impact on our environment.

General Shale brings the power of choice right to the consumer with a multitude of color and size variations to choose from. The timeless art of masonry offers an endless array of stylistic options for today's homeowner. From flemish and herringbone patterns to pinwheel or traditional layouts, a skilled mason can bring the perfect artful touch to your home or business.

So make the smart choice. Choose brick and enjoy the years of natural aesthetics, energy efficiency and unmatched style that only brick can bring.



HELPFUL HINT

When deciding on a brick mason, ask your builder or contractor to provide examples of their work and find out if they have ever completed any projects similar to yours.

Our Environmental Commitment

As one of America's largest brick manufacturers, a major concrete block manufacturer and a supplier of a variety of masonry materials for the construction industry, we are proud of our products and their role in our environmental accomplishments.

General Shale has a long history of responsible stewardship of the environment. We lead our industry with innovative processes while providing the world's best building materials for customers across the country and around the world. On these pages, you will find a few facts that chronicle the story of the environmental benefits of brick in different applications.

LONGEVITY

Clay bricks have been used for hundreds of years because they last for generations and require almost no maintenance. Buildings made of brick stand the test of time due to the inherent strength, durability, and weather-resistant and fire-resistant qualities of brick products.

EFFICIENCY

Brick's high thermal mass allows it to better regulate indoor temperature. Brick retains heat from the sun

during winter days and then releases it back into the building at night. In the summer, brick absorbs heat slowly, keeping living and working conditions much more stable compared to other building materials.

Over a 50-year period, as much as 89% of a building's cost lies in the regulating of indoor temperature, so brick is the best choice for an energy-efficient construction material.

RECYCLABILITY

Brick buildings can be renovated for new use long after original construction. Brick can also be salvaged for use in new construction for an authentic, broken-in look and feel. It can even be crushed for use in landscaping or concrete or as a base for pavement.

ENVIRONMENTAL FOOTPRINT

Because brick can be recycled, is energy efficient and lasts for such a long period of time, its cumulative environmental footprint is far smaller than materials that are considered disposable after 10 to 15 years.

HEALTH AND SOCIAL BENEFITS

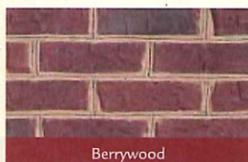
Brick interior walls contribute to better air quality by eliminating the need for interior paint, which can contain harmful VOCs. Brick also fosters a positive emotional environment, as the warmth of natural materials has been shown to improve overall outlook in people who occupy those environments on a regular basis.

OUR ENVIRONMENTAL FUTURE

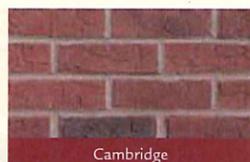
As General Shale brings ancient building materials into our modern times, we will continue to strive for better use of our natural resources and more efficient methods of production and distribution. Our continual goal is to achieve a level of environmental stewardship worthy of our planet and of the natural materials that lie at the heart of our business.

Whether we are fortunate enough to have a relationship with you as a mason, a general contractor, a homeowner or a weekend warrior, we want you to rest assured that our products are created with the utmost care and respect for our planet.

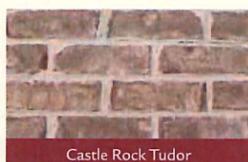
Top 10 Colors from Rome, Georgia



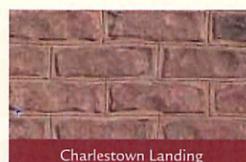
Berrywood



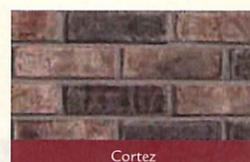
Cambridge



Castle Rock Tudor



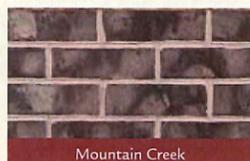
Charlestown Landing



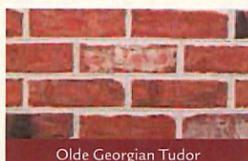
Cortez



Millstone



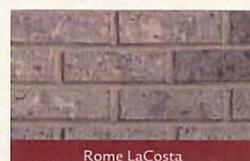
Mountain Creek



Olde Georgian Tudor



Preservation Red

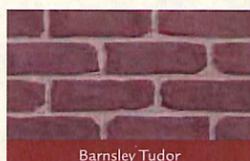


Rome LaCosta

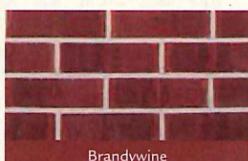
Top 10 Colors from Mooresville, Indiana



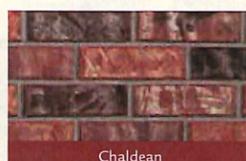
Arcadia



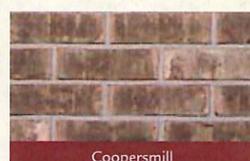
Barnsley Tudor



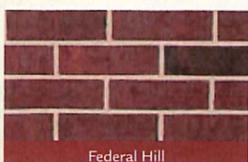
Brandywine



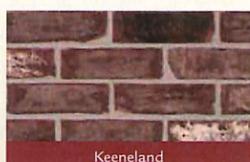
Chaldean



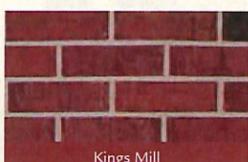
Coopersmill



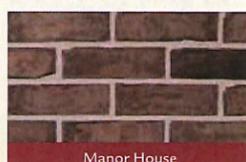
Federal Hill



Keeneland



Kings Mill



Manor House



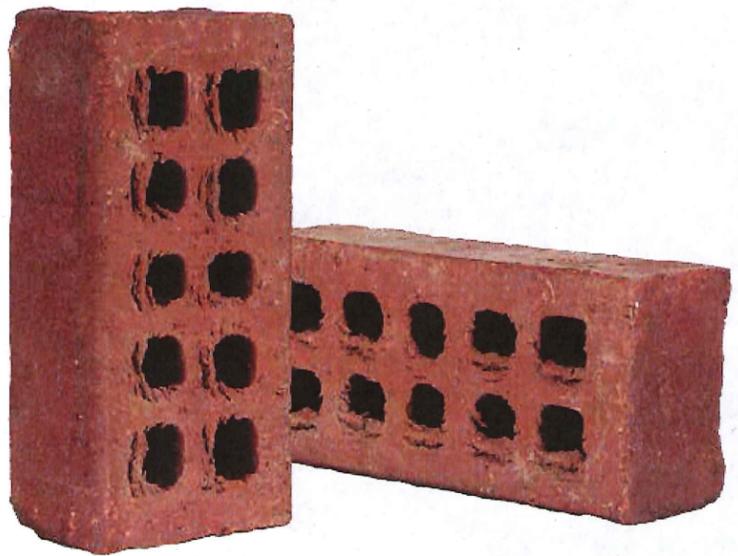
Old Indiana

Bricks by Size

General Shale offers hundreds of colors, styles, textures and sizes of brick. You can choose from traditional reds to pastels, earth tones, misty grays, browns and deep burgundies. Our surface textures run the gamut from smooth for a sleek, modern feel to heavily textured units that create an Early American handmade look. Build beauty, value, strength and distinctive appeal into your next project with our brick.

Looking for cost savings? Energy efficiency? Long-term beauty? No matter what your needs, General Shale has the type of brick for the job. From a variety of colors and textures to different sizes for different projects — General Shale is your one-stop source.

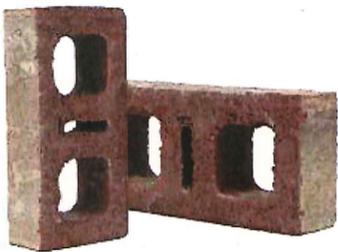
Whether you are a homeowner, contractor, architect or designer, the General Shale promise is to help you build the most enduring project possible with the brick and other materials we offer.



LIGHTWEIGHT MODULAR

3-1/2" bed, 2-1/4" face, 7-5/8" length

Modular size is the most common in the industry. When laid with 3/8" mortar joints, it forms an 8" modular dimension. With a slightly larger void area (30% versus 24%), C652 units allow for a greater fire resistance rating.



ENDURANCE RS4

5-5/8" bed, 2-3/4" face, 11-5/8" length

The Endurance unit is a load-bearing structural brick that can be reinforced with steel to provide very strong walls capable of handling high loads.



UTILITY

3-5/8" bed, 3-5/8" face, 11-5/8" length

Utility-sized bricks bring labor costs down compared with standard or modular-sized bricks. Its larger length dimension, 11-5/8" wide, makes it well suited for a wide range of commercial and institutional applications.



ELITE

3-1/8" bed, 3-1/2" face, 10-1/8" length

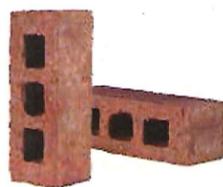
The Elite brick is an ASTM C216 unit that is commonly used in Canada. This brick is referred to as a solid unit because the void area is less than or equal to 25%. Face shell is 3/4" or greater.



LIGHTWEIGHT KING SIZE

2-3/4" bed, 2-3/4" face, 9-5/8" length

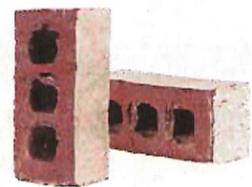
The King Size unit provides a very low installed wall cost because fewer bricks are required per square foot. The 2-3/4" width complies with model building codes in the U.S. (Minimum 3" bed depth is required in Canada.)



LIGHTWEIGHT QUEEN SIZE

2-3/4" bed, 2-3/4" face, 7-5/8" length

The Queen Size provides the same face size as Engineered Modular with a cost-effective reduced bed depth of 3".



LIGHTWEIGHT ENGINEERED MODULAR

3-1/2" bed, 2-3/4" face, 7-5/8" length

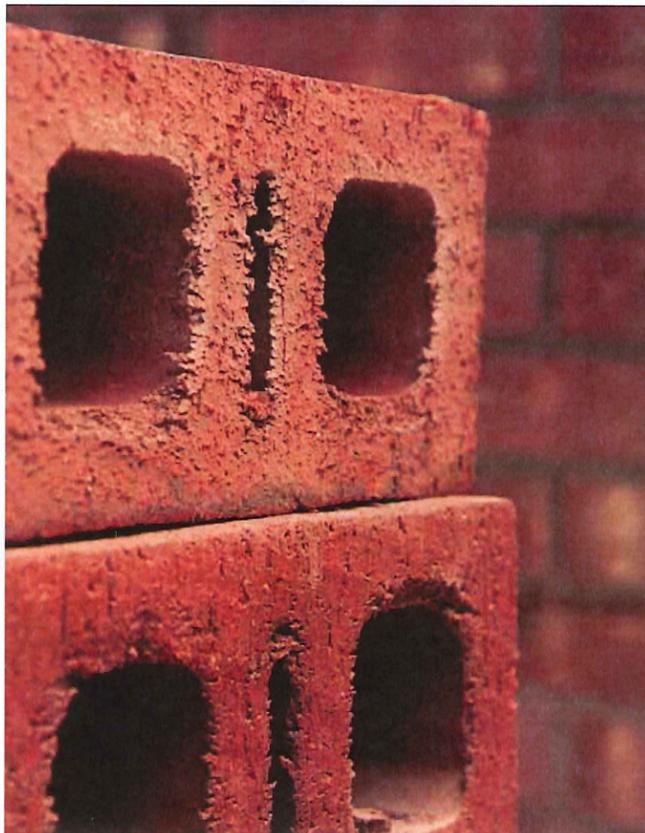
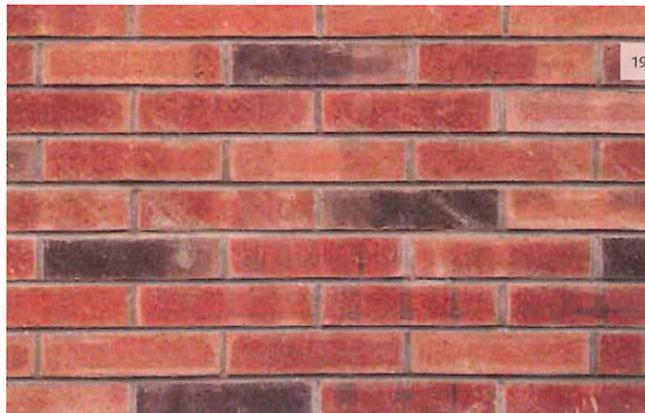
Engineered Modular has the same bed size as Modular, with an increased face height. This size is often referred to as an "oversized" brick.

Perfect for Energy-Efficient Construction

Brick homes are more energy efficient than many people realize. Due to its high thermal mass, brick responds more slowly than other exterior cladding materials to changes in temperature. This phenomenon is called "thermal lag." Thermal lag keeps the inside temperature of a home at a more moderate level when outside temperatures change, thereby reducing peak heating and cooling loads on a home's HVAC system.

Thermal Mass Properties

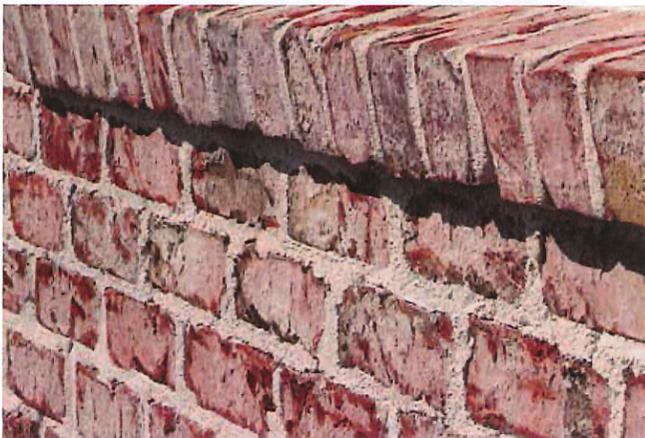
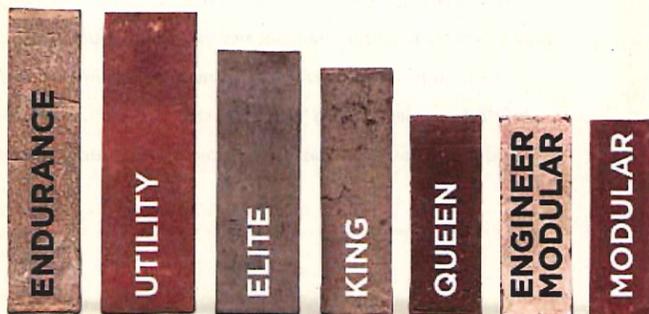
Endurance wall systems can be used in conjunction with any type of interior wall construction (e.g., furring strips, non-load-bearing metal studs, hat channel) and insulation systems. One of the most efficient methods, both in terms of cost and energy savings, is one using continuous rigid insulation, reducing thermal bridging, making Endurance Structural Brick one of the most energy-efficient building materials in the industry.



Dreams Built with General Shale

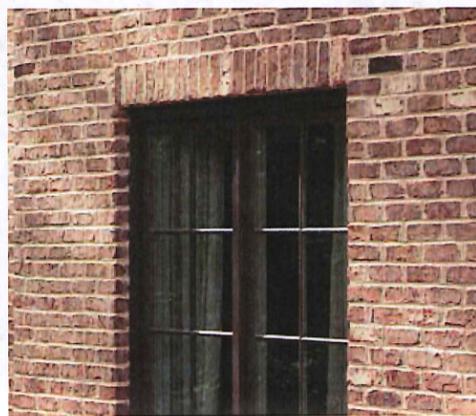
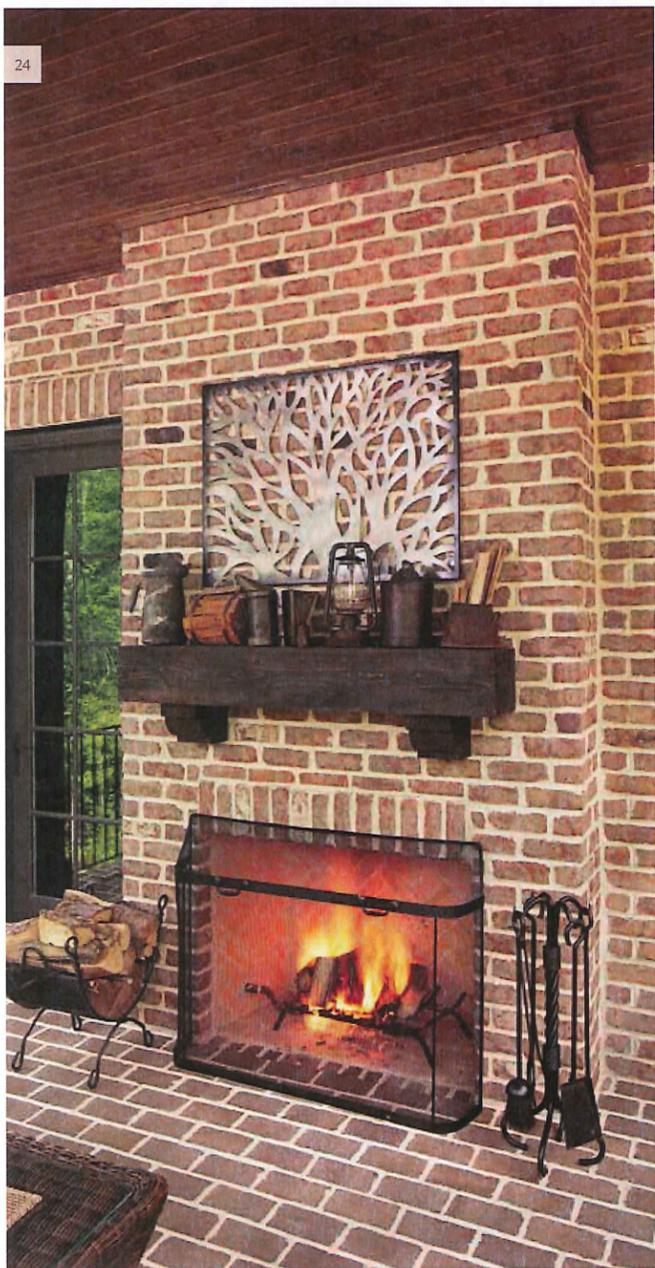
When building or renovating your ideal home, consider the dream team of General Shale brick and a skilled mason. Discuss with your builder the type of brick exterior you envision, and research existing homes, old and new, to get ideas.

You may also be inspired by the photos in the next several pages. These featured homes utilize brick from General Shale in a variety of ways. Whether interior or exterior, General Shale has the perfect brick style to complement your home's design.



HELPFUL HINT

General Shale's residential brick is made to meet ASTM C652, which uses less material and lowers energy costs throughout the manufacturing process and finished product delivery.

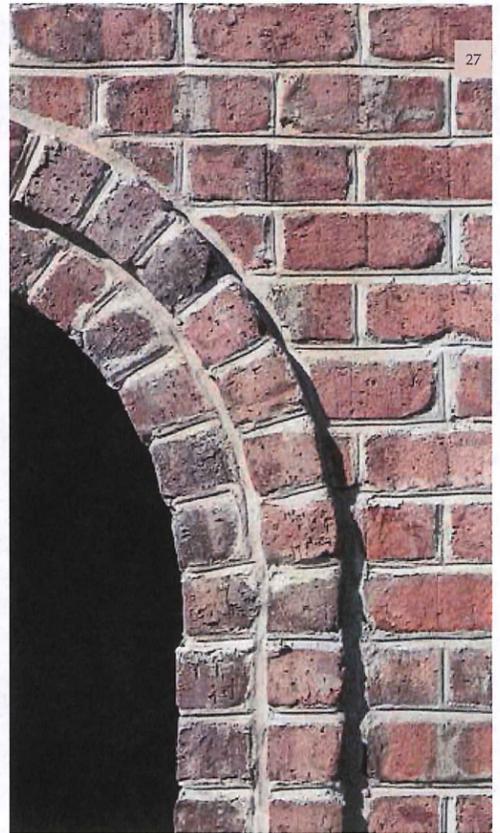
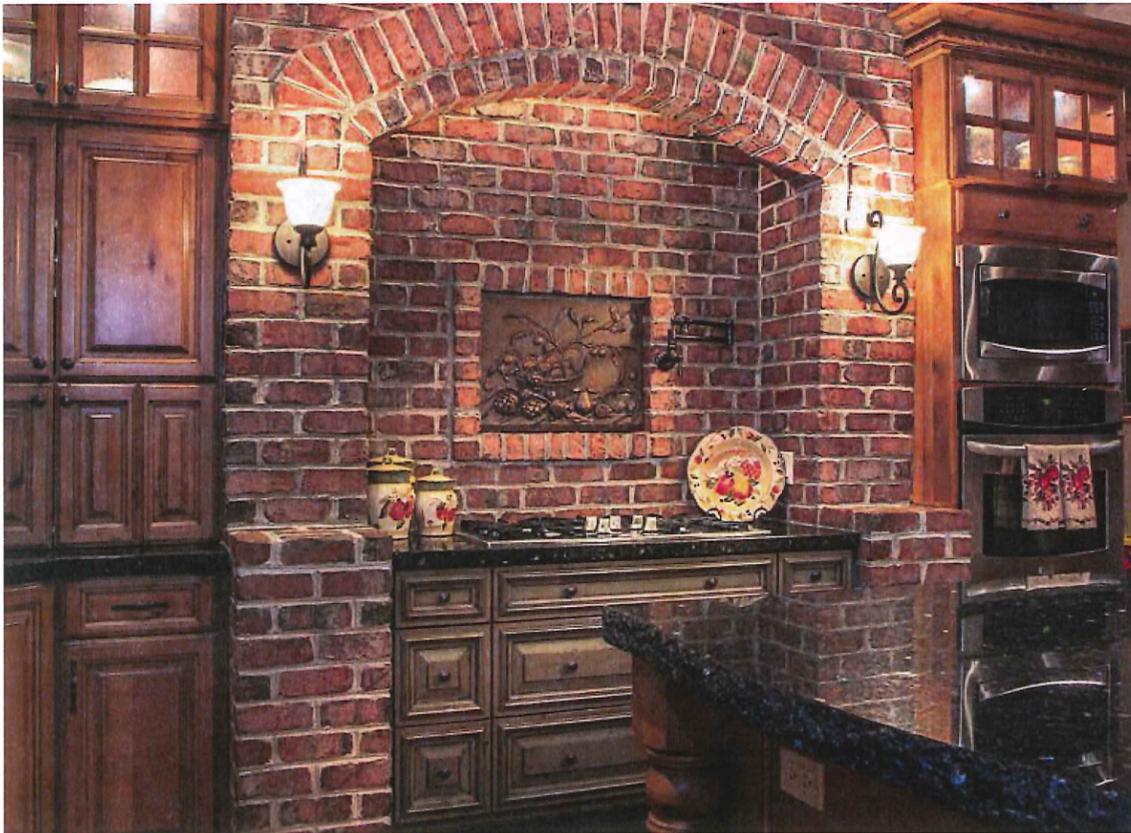




in the photos on pages 24-25
 BRICK NAME: **Silas Lucas**
 BUILDER: Kingswood Custom Homes
 ARCHITECT: Elite Design Group, J.J. Barja, Principal



in the photos on pages 26-27
 BRICK NAME: **Providence**
 GENERAL CONTRACTOR: Clark and Stephanie Terry

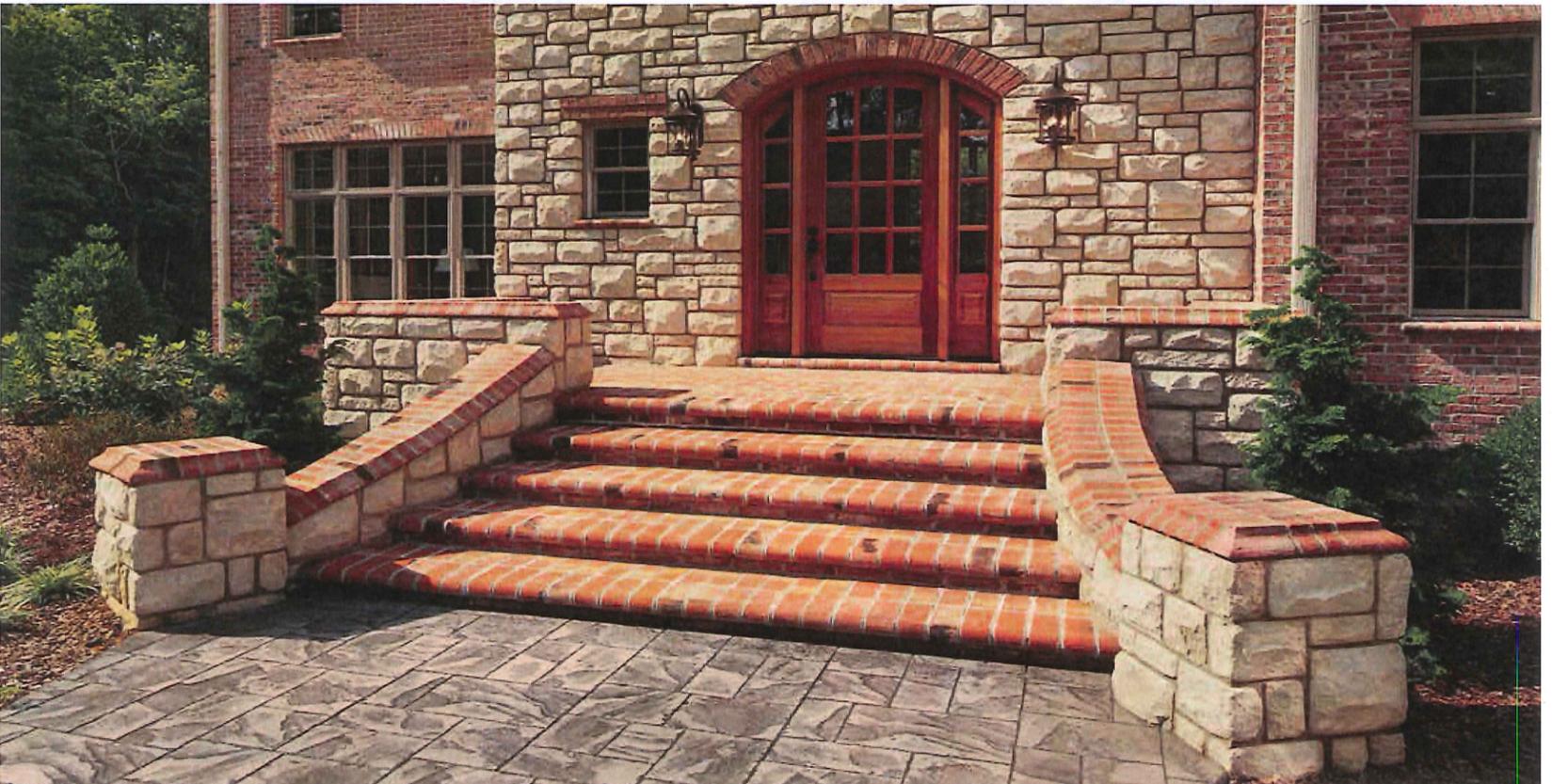


28

in the photos on pages 26-27
BRICK NAME: Phoenix
BUILDER: Harold Neely



in the photos on pages 30-31
 BRICK NAME: **Olde Georgian Tudor**
 BUILDER: **John Allen**





BUILDING *the* AMERICAN DREAM for MORE THAN 80 YEARS

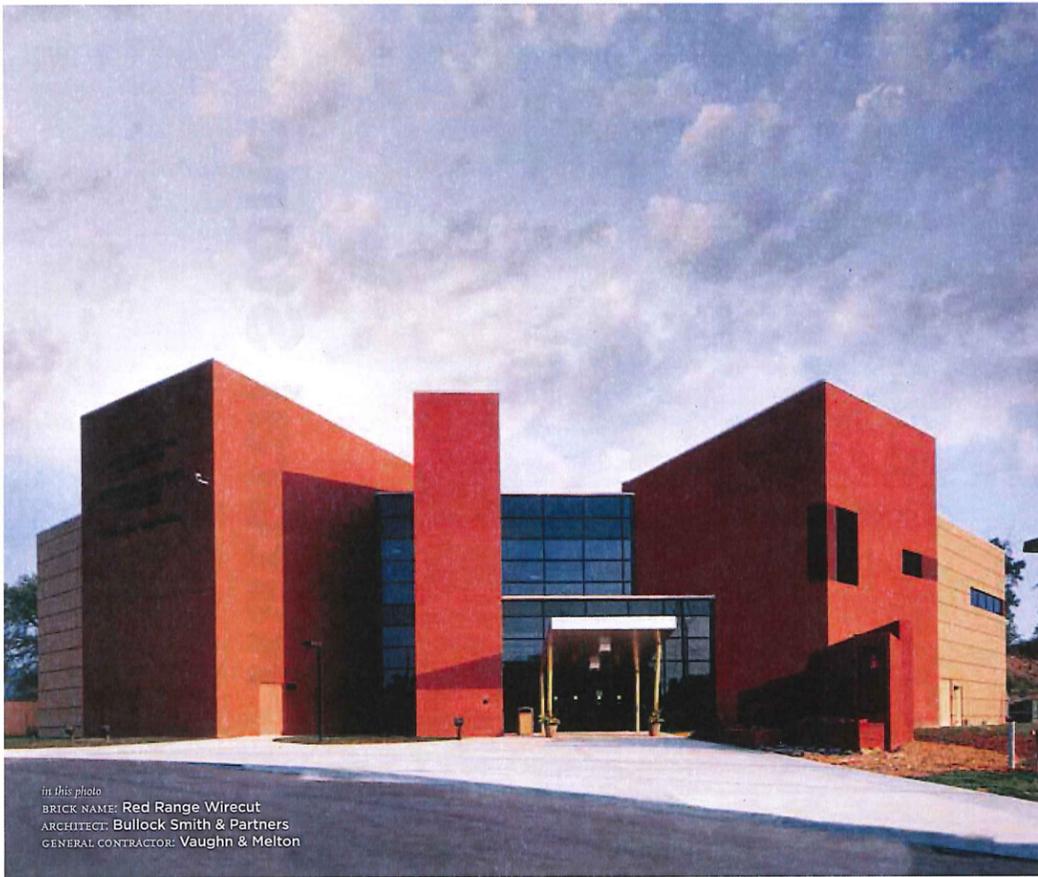
In 1928, General Shale began as a local brick manufacturer in East Tennessee. Over the years, we have grown to be one of America's leading masonry suppliers, with manufacturing and sales sites across the U.S. and Canada. Strategic acquisitions and plant expansions have broadened our product offering to include Arriscraft™ Stone Products, a well-known brand among commercial and residential builders, and a complete line of outdoor living products in the form of do-it-yourself kits. In 1999, General Shale joined forces with the world's largest producer of bricks, Wienerberger of Vienna, Austria, further establishing our commitment to the brick industry.

General Shale has been a driving force in building the American dream for over 80 years. From professional-grade products for some of America's greatest landmarks to high-quality goods for home renovations and backyard projects, our entire portfolio of products stands for quality, service and lasting beauty. Regardless of the size — a small patio renovation or large new home, multi-family housing or multi-story commercial buildings — General Shale is the right solution for your project. Stop by one of our General Shale locations or visit us at www.GeneralShale.com to see our entire selection of products such as:

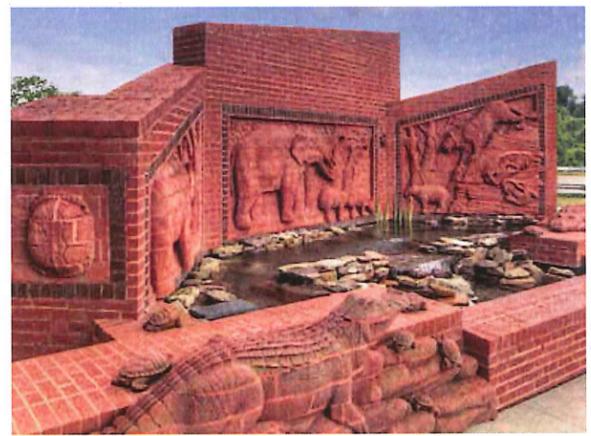
- | | | | |
|--------------|--------------------|---------------------|------------|
| Brick | Heaters | Natural Stone | Thin Brick |
| Brick Murals | House Wrap | Outdoor Living Kits | Thin Rock |
| Concrete | Landscape Lighting | Pavers | |
| Grills | Mortar | Real Brick Siding | |

RETAIL LOCATIONS

- | | | |
|--|---|---|
| <p>ALABAMA
7029 Highway 72 West
Huntsville, AL 35806
(256) 837-8685</p> <p>COLORADO
3255 Drennan Road
Colorado Springs, CO 80910
(719) 390-5477</p> <p>1845 West Dartmouth Avenue
Denver, CO 80110
(303) 783-3000</p> <p>2415 East Mulberry Street
Unit #9
Ft. Collins, CO 80524
(970) 484-1292</p> <p>2122 Highway 6 & 50
Grand Junction, CO 81501
(970) 248-9723</p> <p>GEORGIA
121 Turner Bend Road SW
Rome, GA 30165
(877) 556-0009</p> <p>ILLINOIS
Chicago (West)
1975 Aucutt Road
Montgomery, IL 60538
(630) 897-7922</p> <p>Chicago (South)
16109 108th Avenue
Orland Park, IL 60467
(708) 460-4581</p> <p>INDIANA
105 Carmel Drive West
Carmel, IN 46032
(317) 846-2566</p> <p>3401 Mt. Vernon Avenue
Evansville, IN 47712
(812) 425-3381</p> <p>148 Sycamore Lane
Mooresville, IN 46158
(317) 831-4614</p> <p>KENTUCKY
307 Peterson Drive
Elizabethtown, KY 42701
(270) 765-2116</p> <p>211 N. English Station Road
Louisville, KY 40216
(502) 448-1780</p> | <p>MARYLAND
34 Thomas Avenue
Baltimore, MD 21225
(410) 789-2708</p> <p>MICHIGAN
42374 Mound Road
Sterling Heights, MI 48314
(586) 726-0400</p> <p>6556 Whitmore Lake Road
Whitmore Lake, MI 48189
(734) 665-8800</p> <p>MISSISSIPPI
2027 McCullough Boulevard
Tupelo, MS 38801
(662) 840-8221</p> <p>MONTANA
531 Sugar Avenue
Billings, MT 59101
(406) 259-9222</p> <p>NORTH CAROLINA
10800 Reames Road
Charlotte, NC 28269
(704) 599-2877</p> <p>1622 Long Branch Road
Grover, NC 28073
(704) 937-7431</p> <p>1060-A Highway 66 South
Kernersville, NC 27284
(336) 993-0882</p> <p>245 Brick Plant Road
Moncure, NC 27559
(919) 777-6899</p> <p>8820 Westgate Park Drive
Raleigh, NC 27617
(919) 828-0541</p> <p>2507 Jefferson Davis Highway
Sanford, NC 27332
(919) 775-2121</p> <p>3750 Highway 421 North
Wilmington, NC 28401
(910) 452-3498.</p> <p>SOUTH CAROLINA
425 Oak Road
Piedmont, SC 29763
(864) 801-1775</p> | <p>TENNESSEE
7833 Lee Highway
Chattanooga, TN 37421
(423) 485-1260</p> <p>400 Wittichen Lane
Humboldt, TN 38343
731-824-5272</p> <p>3015 Bristol Highway
Johnson City, TN 37601
(423) 282-4661</p> <p>925 East Stone Drive
Kingsport, TN 37660
(423) 245-6131</p> <p>9714 Parkside Drive
Knoxville, TN 37922
(865) 531-6203</p> <p>605 Morrison Street
McMinnville, TN 37110
(931) 473-2139</p> <p>2076 Whitten Road
Memphis, TN 38133
(901) 363-1887</p> <p>1838 West Morris Boulevard
Morristown, TN 37813
(423) 586-9666</p> <p>909 Mountain View Drive
Piney Flats, TN 37686
(423) 538-3332</p> <p>241 Hoyal Lane
Spring City, TN 37381
(423) 365-2444</p> <p>VIRGINIA
7164 Lee Highway
Atkins, VA 24311
(276) 783-3156</p> <p>16019 Lee Highway
Bristol, VA 24202
(276) 591-5400</p> <p>7500 Mason King Court
Manassas, VA 20109
(703) 368-9991</p> <p>2353 Webster Road
Roanoke, VA 24012
(540) 977-5505</p> <p>WYOMING
1615 East Yellowstone Highway
Casper, WY 82601
(307) 234-4831</p> <p>601 East Lincolnway
Cheyenne, WY 82001
(307) 634-4474</p> |
|--|---|---|



In this photo
BRICK NAME: Red Range Wirecut
ARCHITECT: Bullock Smith & Partners
GENERAL CONTRACTOR: Vaughn & Melton



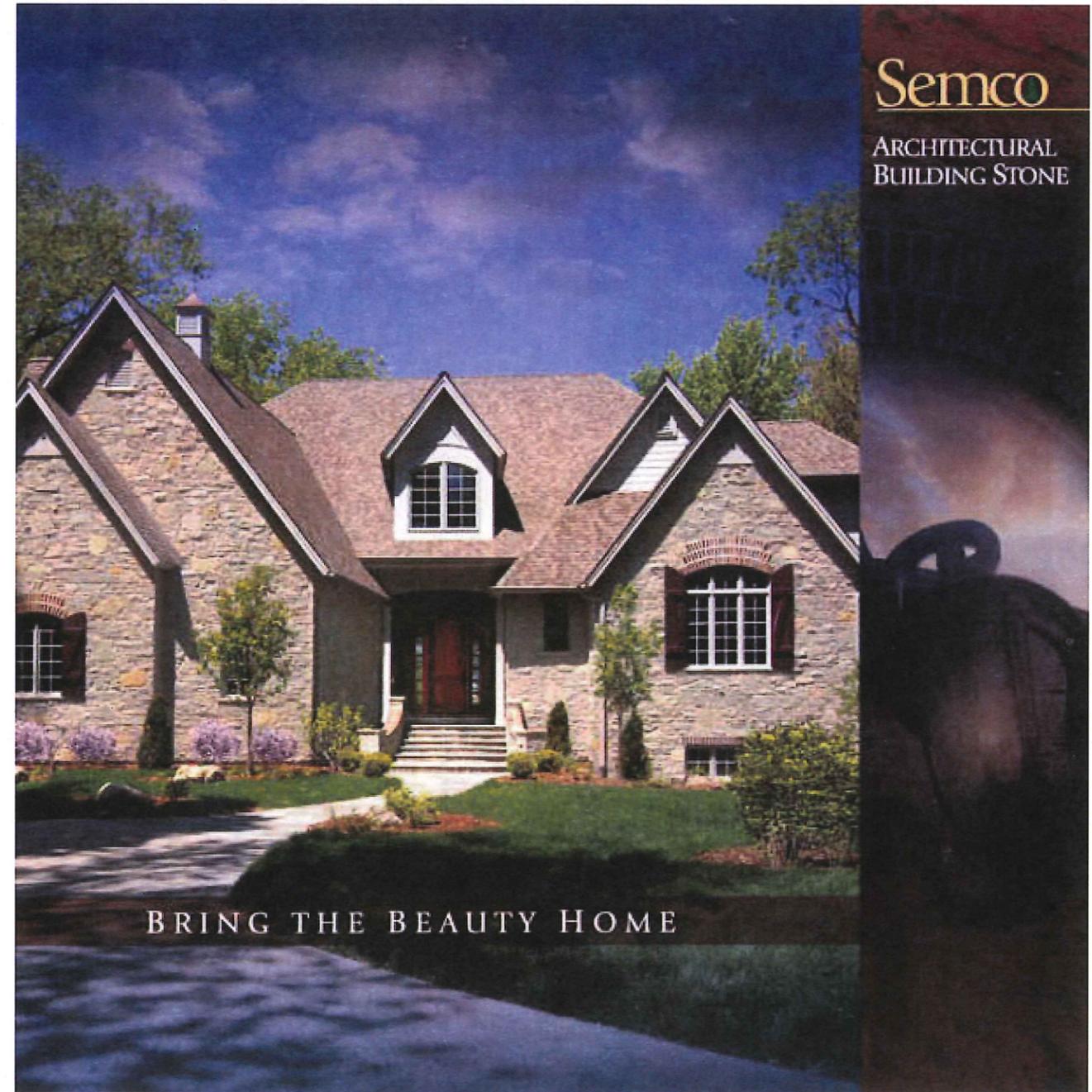
General Shale masonry products are an integral part of a systems solution for sustainable construction. From highly efficient and environmentally friendly production to extremely long product life cycles, General Shale products can benefit both the environment and the building's occupants.

Our company has a long history of responsible stewardship of the environment and has received numerous awards for our conservationist accomplishments. We are proud of leading the masonry products industry with innovative processes while providing the world's best building materials for customers across North America.



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Natural Stone



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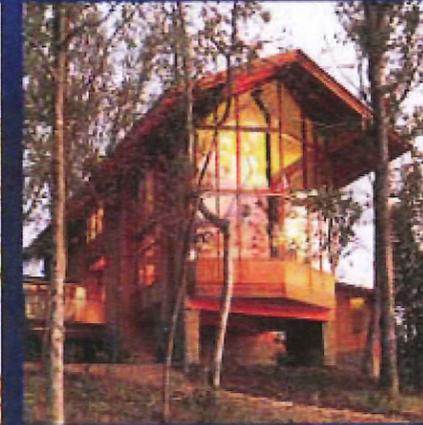
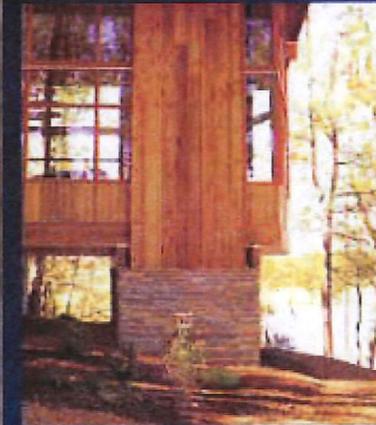
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Semco
ARCHITECTURAL STONE



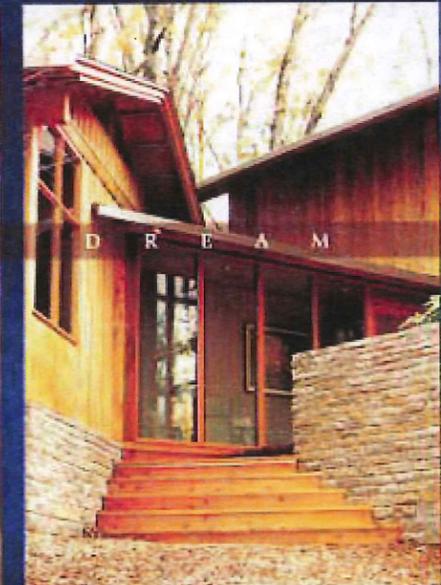
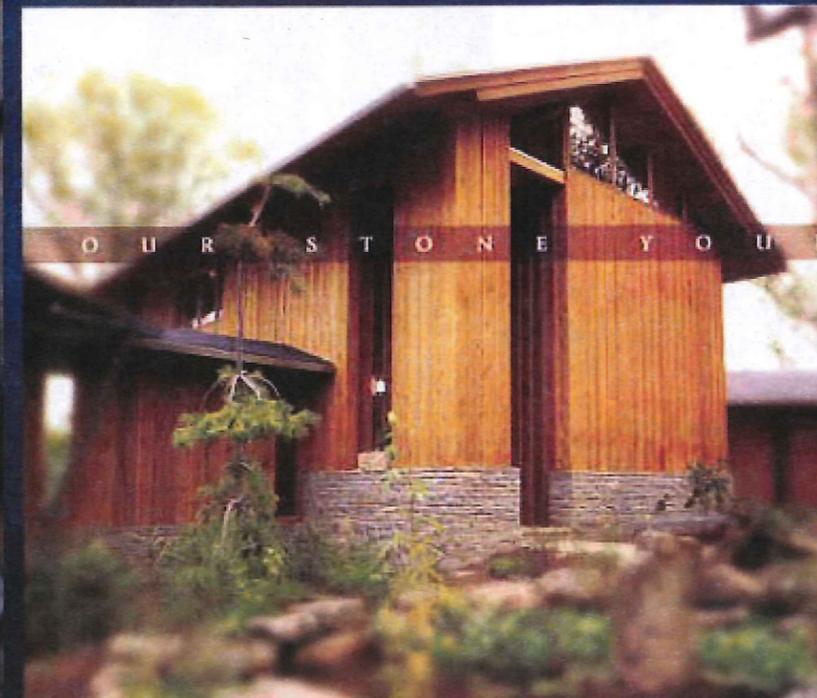
Semco
ARCHITECTURAL STONE

MACHINE CUT



Depending on the lay of the stone, Machine Cut veneer can be elegant or rustic and unrefined. Our Machine Cut veneer is snapped stone with heights created by the natural horizontal layering in the quarry formed millions of years ago.

A unique use of our Blue River Variegated Machine Cut veneer is seen on this lake view home nestled in the woods. The architect's custom design called for the mason to lay the stone in a pattern so that the heights of the stone decrease as he worked his way up the wall.

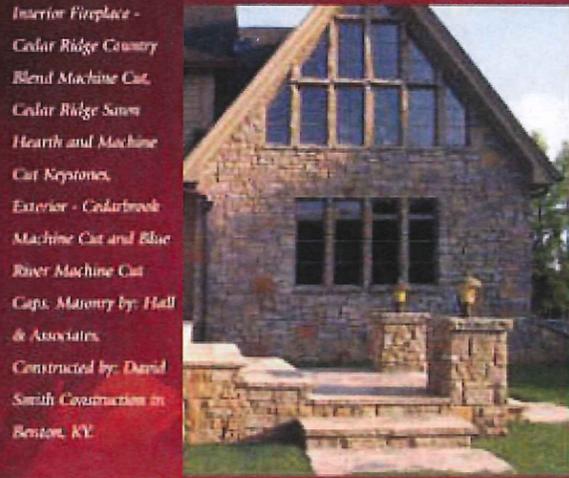


Private residence featuring Blue River Variegated Machine Cut. Photo courtesy of Lindal Cedar.



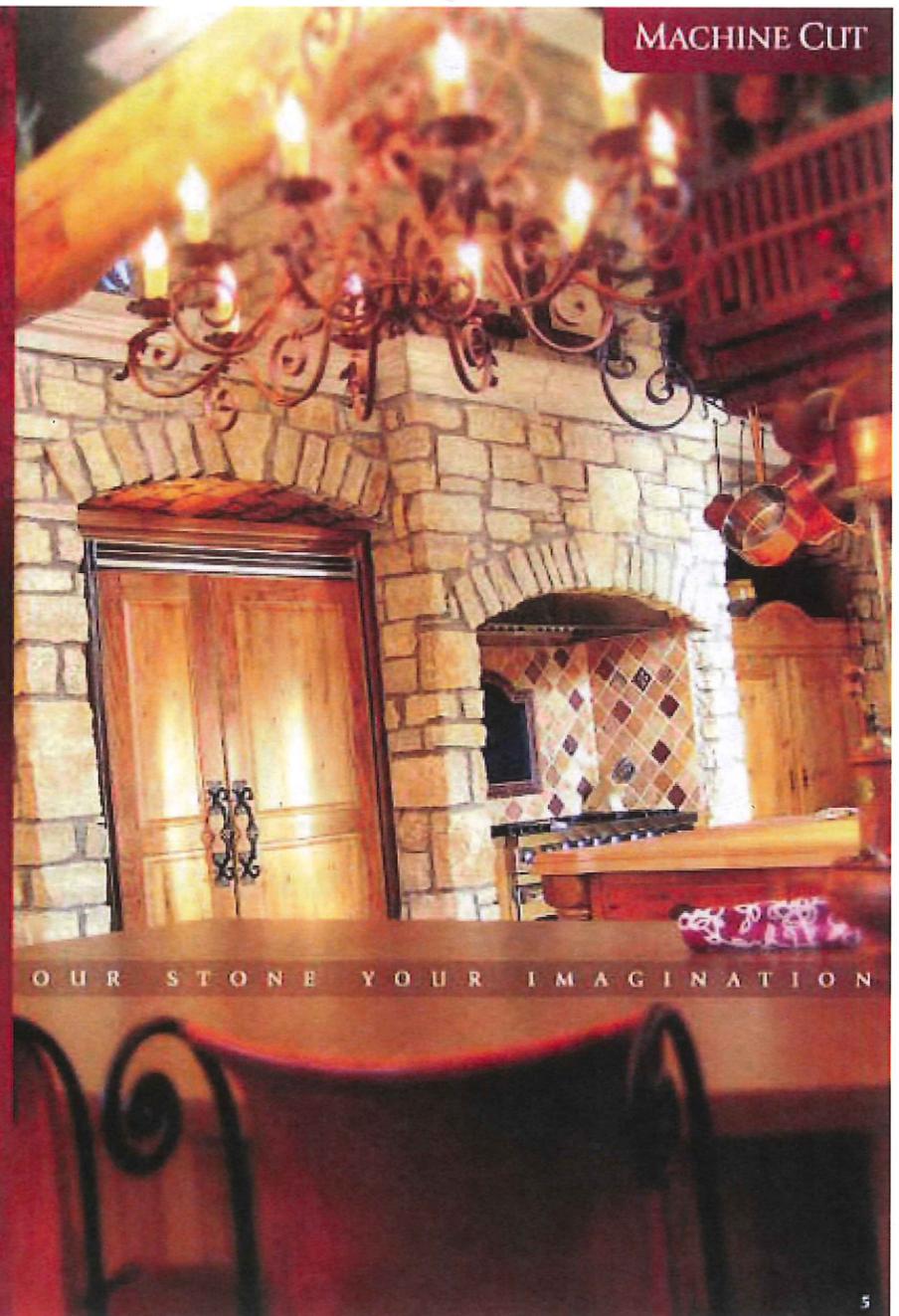
Semco ARCHITECTURAL STONE

With a 30 foot tall fireplace, this house is not lacking drama. The great room's stunning Cedar Ridge Country Blend fireplace sets an impressive stage for prized game. The dual-sided stone fireplace features a library & entertainment center while the opposite side is custom designed to fit the armoire, refrigerator & stove in the kitchen.



Interior Fireplace - Cedar Ridge Country Blend Machine Cut, Cedar Ridge Sawtooth Hearth and Machine Cut Keystone, Exterior - Cedarbrook Machine Cut and Blue River Machine Cut Caps. Masonry by: Hall & Associates, Constructed by: David Smith Construction in Benton, KY.

MACHINE CUT

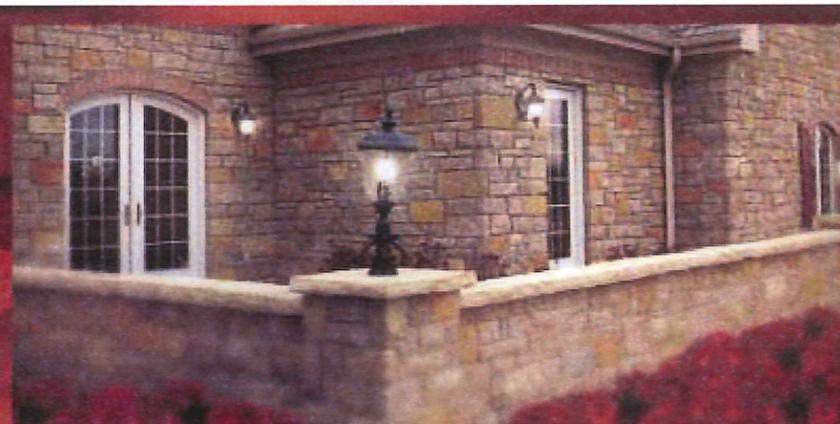


OUR STONE YOUR IMAGINATION

Semco

ARCHITECTURAL STONE

The European influence of this unique design features French Country Machine Cut veneer. By combining the best of old-world character and country elegance the home commands the attention of passersby with its exquisite details. The beautiful golden highlights of Blue River Bed-face and neutral hues of Cedar Ridge reflect the home's French Country style.



Private residence featuring French Country Machine Cut. Distributed through: Wenden Back Company.



Photo courtesy of Kipling Home Designs



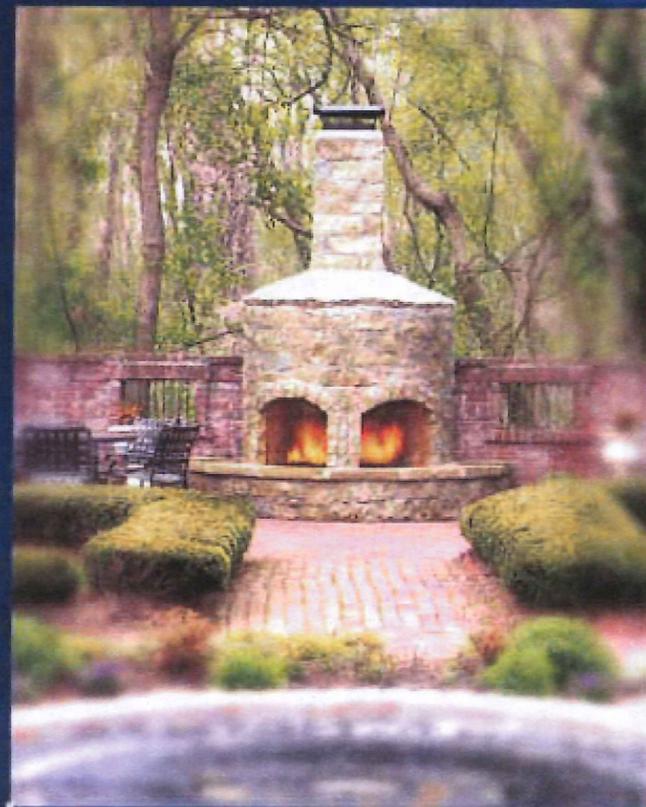
Private residence featuring French Country Machine Cut. Distributed through: Wenden Back Company.



Semco

ARCHITECTURAL STONE

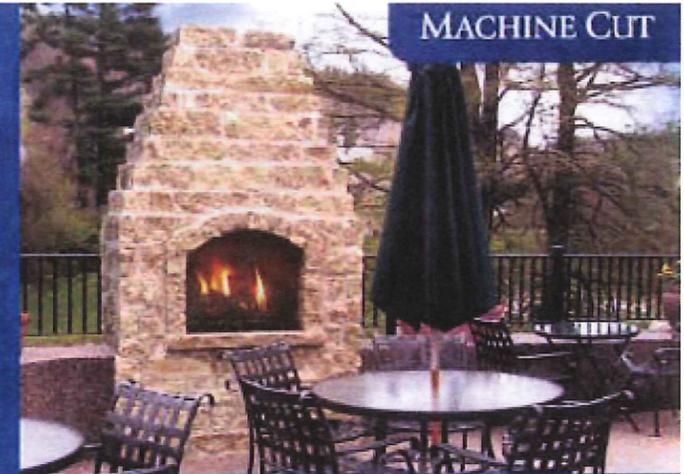
Finding the right stone can be challenging, it is a vital part of any project. Cedar Ridge & Blue River present a unique look and feel to every project. Just ask the owners of the Malmaison Restaurant in St. Albans, Missouri. This coast-and-tie restaurant caters both to casual diners looking for a getaway and connoisseurs who crave traditional French food. The elegant outdoor fireplaces offer an intimate setting, while the bar and pizza oven are a great place to relax with friends.

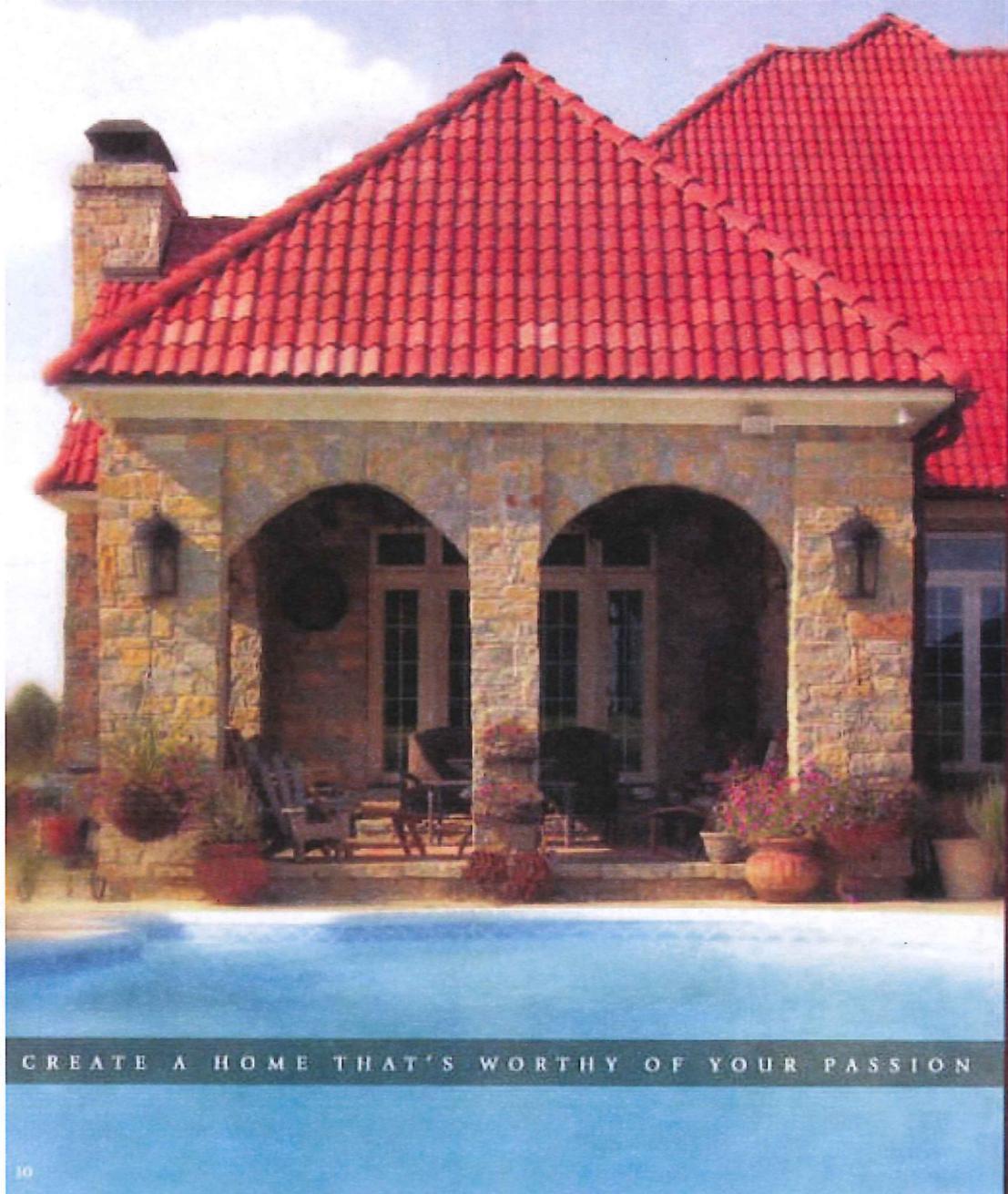


"Take a journey to a time and place where a meal is gracious and the grounds are simply grand."

Malmaison Restaurant,
St. Albans, MO
featuring Cedar Ridge &
Blue River Vertigated
Tumbled Machine Cut.
Masonry by:
Spencer Brickwork,
Designed by:
Dayna Herzog.

MACHINE CUT

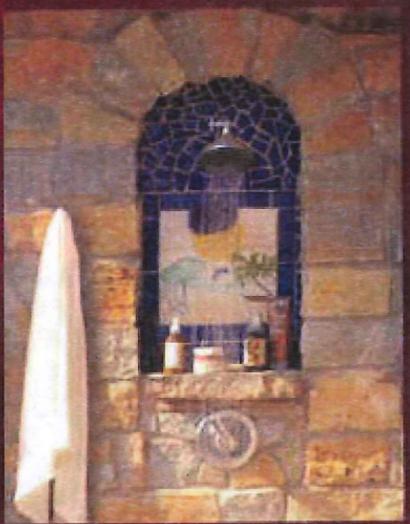




CREATE A HOME THAT'S WORTHY OF YOUR PASSION



Private residence featuring Blue River Country Blend Machine Cut and Blue River Machine Cut Select Gray Variegated and Red-face Keypstones.



MACHINE CUT

Semco
ARCHITECTURAL STONE

Create a home that is worthy of your passion. This private residence offers the perfect setting for an evening cocktail party or family BBQ. With special masonry features such as the divine cross on the chimney, an exterior pool shower, and Blue River natural stone shelves used to display a collection of conch shells from vacations past, this breezeway is the perfect addition to your backyard experience. The gorgeous Blue River Country Blend veneer perfectly complements this cozy outdoor setting.

Semco ARCHITECTURAL STONE

SEMCO OUTDOOR

Semco Stone is proud to announce the addition of Semco Outdoor which is located five miles south of Kansas City, Missouri. The facility is designed for professionals, do-it-yourselfers and homeowners alike, offering an inspirational and innovative environment to create the home of their dreams.



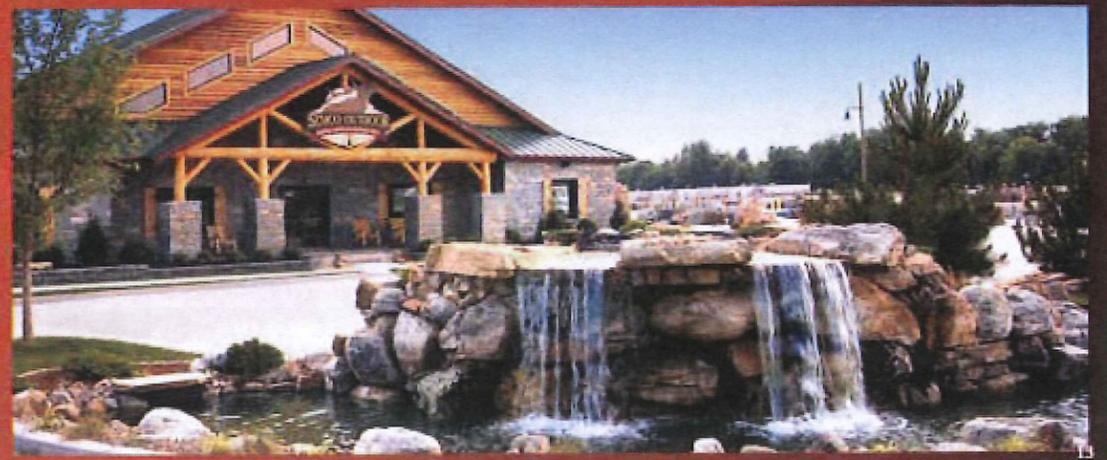
Entrance Monument: Chopped Fieldstone and Custom Cut Blue River Natural Top Ledge material.

Building: Stoney River Tumbled Ashlar with Blue River Bed-face veneer, Blue River Jumpers and Blue River Sawm. Keystones and Headers with a Thermal finish. Pillars on porch: Blue River Country Blend Machine Cut veneer. Waterfall: Weathered Sandstone Boulders & Ledge

MACHINE CUT



Semco Outdoor, Selmon, MO - The building features Stoney River Tumbled Ashlar with Blue River Bed-face veneer, Blue River Jumpers and Blue River Sawm. Keystones and Headers with a Thermal finish. Pillars on the porch feature Blue River Country Blend Machine Cut veneer.



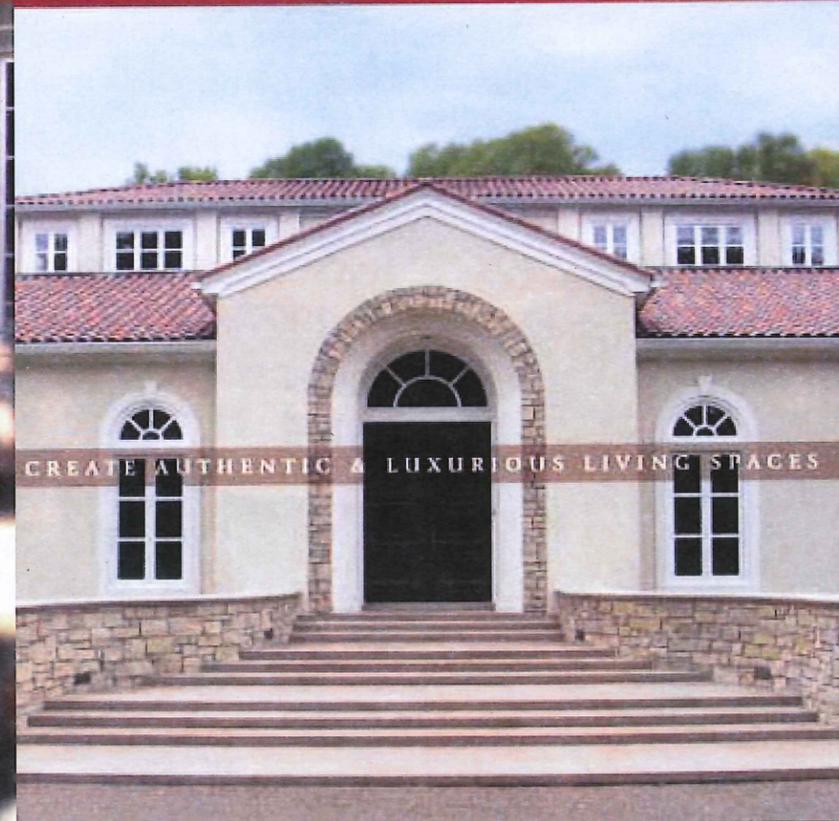
Semco

ARCHITECTURAL STONE

The splendors of natural stone are reflected in this commercial project featuring Blue River Mansion Blend. Ruthie D's is a restaurant offering simple elegance from its gorgeous patio to its interior dining area which includes a two story natural stone dual fireplace and interior natural stone walls.



MACHINE CUT



The gated entrance of this southwestern inspired home sets the stage for its distinctive private residence. A remodel of this home built in the 1970's utilizes Rustic Cedar Machine Cut waines coating along the bottom of the home. Trimstones to surround the arched entryway and serpentine free-standing walls to accentuate the grand entrance.

Private residence featuring Rustic Cedar Machine Cut. Distributed through: Advantage Stone & Landscapes, Masonry by: Midlands Stone Masons.



Bittersweet Place, The Village of Four Seasons, MO featuring Blue River Mansion Blend Machine Cut. Constructed by: SC Duncan Construction.

CREATE AUTHENTIC & LUXURIOUS LIVING SPACES

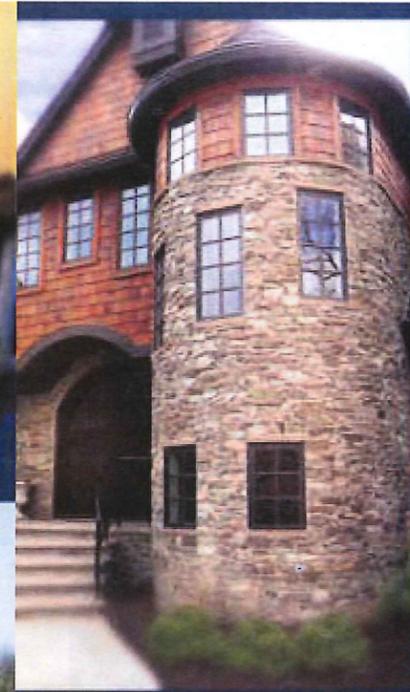
Semco

ARCHITECTURAL STONE

From coast to coast, the use of Weathered Fieldstone and Chopped Fieldstone has become a reflection of superior taste. Pictured below - In the southern tip of Florida, this unforgettable getaway home offers the opportunity to escape from a busy metropolitan lifestyle and retreat to a place of peace and tranquility. Pictured on page 17 - For this Midwest couple, their journey began by searching for an appealing and timeless stone to complement their house. They chose ThinCut® Chopped Fieldstone because it had the color palette to stand up to the intensity of the cedar shakes and they wanted to create vertical movement with the immense height of the home.



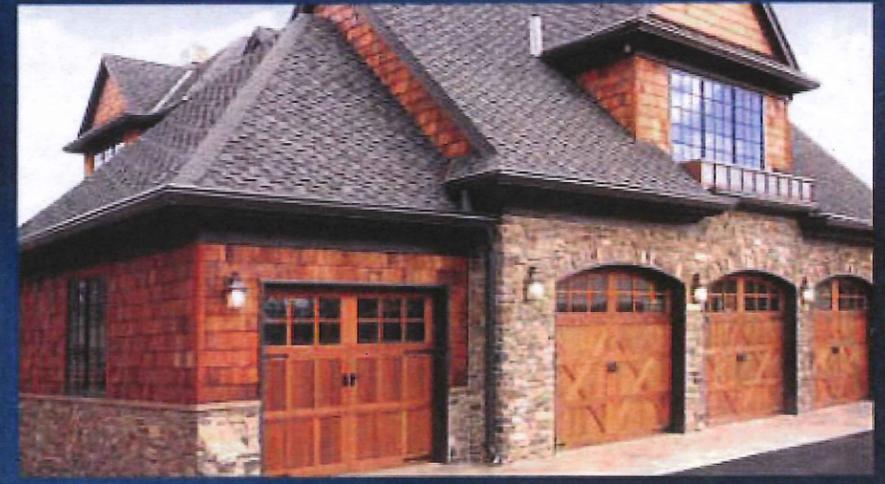
Dalhousie Golf Club Pro Shop, Cape Girardeau, MO featuring ThinCut® Weathered Fieldstone Machine Cut.



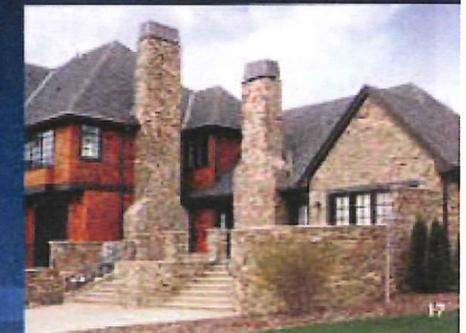
MACHINE CUT



Private residence featuring ThinCut® Weathered Fieldstone. Masonry by: LeBoutier Masonry.



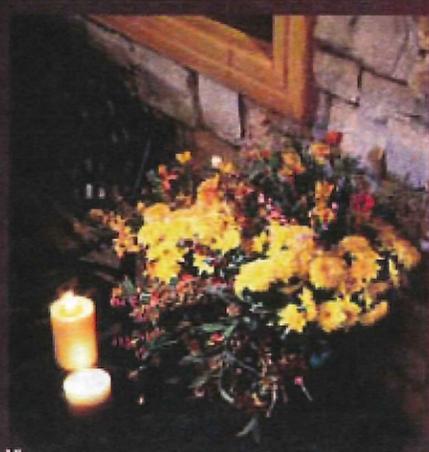
Exterior featuring ThinCut® Chopped Fieldstone Machine Cut. Interior featuring Chopped Fieldstone Machine Cut Full View. Distributed through: DeMotte Decorative Stone, Inc., Construction by: Hamstra Group, Inc.



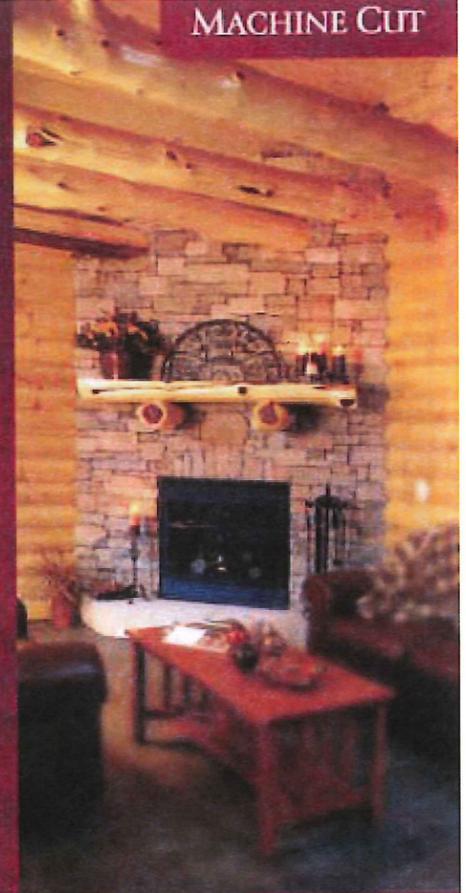
Semco

ARCHITECTURAL STONE

Since 1999, Richardet Floor Covering has specialized in custom flooring applications. Increased business necessitated an addition to their current facility. A portion of the addition was constructed as an area for employees and customers to relax and recharge. Cedar logs harvested from the family farm along with Semco's Split-face Fieldstone were combined to reflect the company's passion for creating custom spaces for their clients.



MACHINE CUT



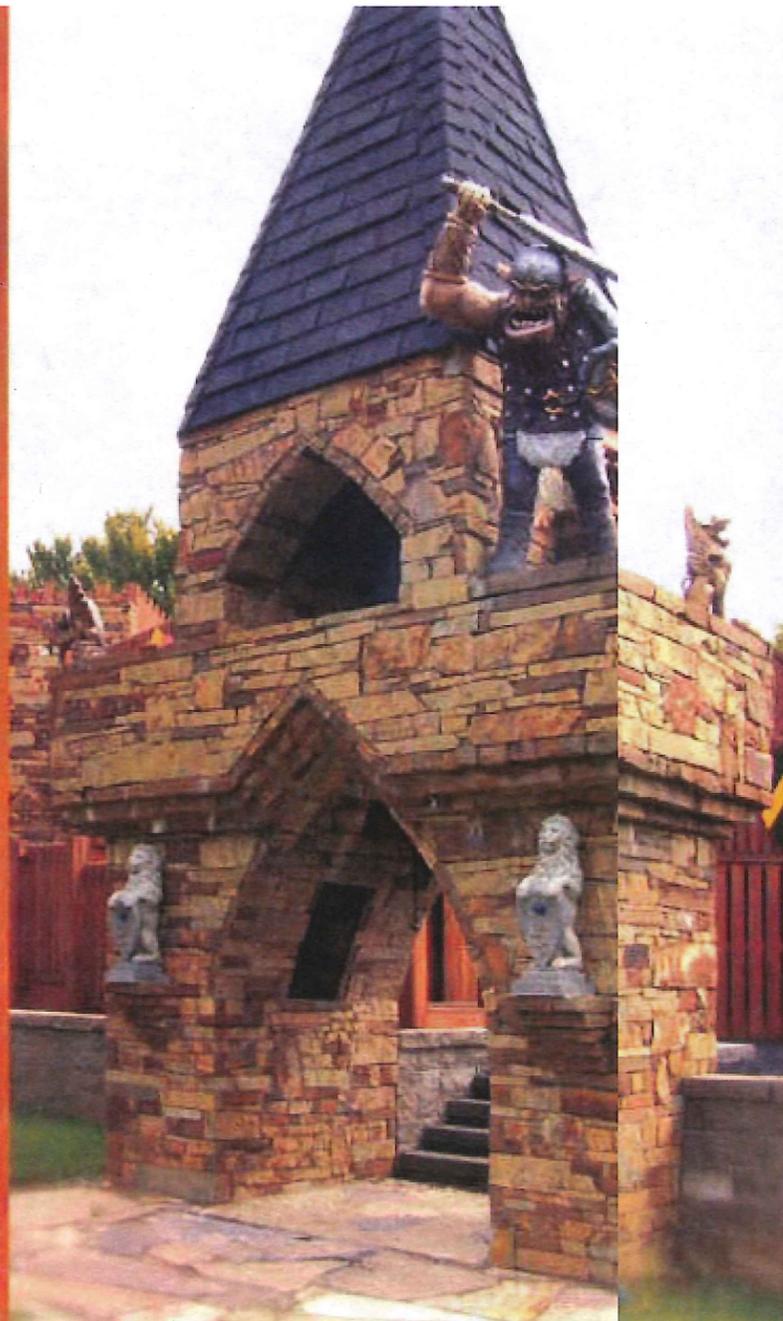
Richardet Floor Covering, Perryville, MO featuring Split-face Fieldstone Machine Cut.

Semco

ARCHITECTURAL STONE

Natural stone is rustic, elegant and even enchanting. With its towering fortress entrance, this playground is every child's dream come true. From the noble characters to the gargoyles and the timeless look of the Pine Ridge Machine Cut veneer, the designer has created an atmosphere which makes this castle perfect for an afternoon of make-believe.

Jenny "Boo" Bachmann Memorial Park, Carolonale, IL, featuring Pine Ridge Machine Cut. Masonry by: Little Gussy Construction.



MACHINE CUT

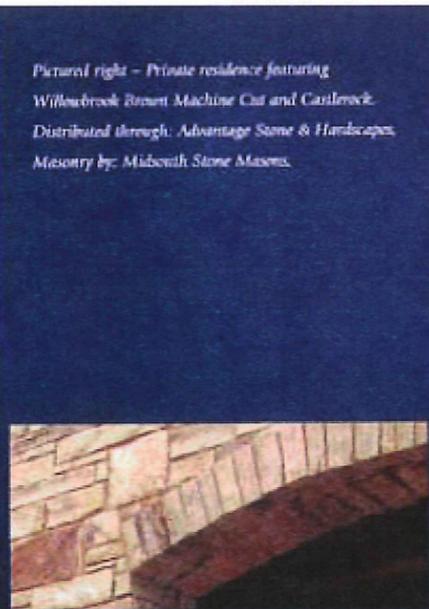
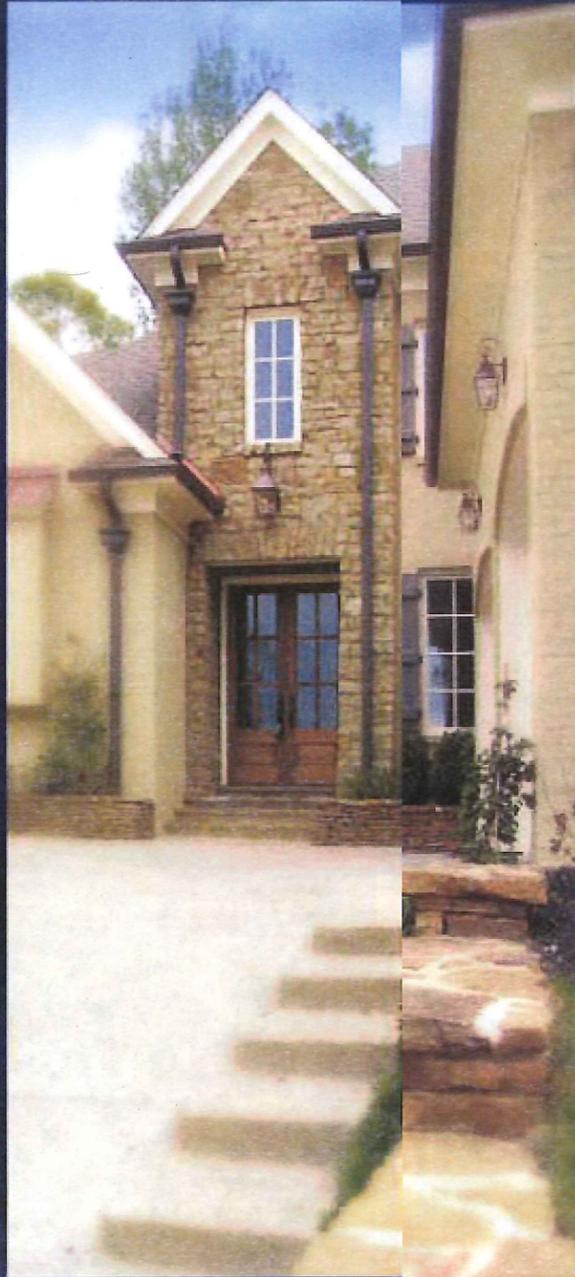


Private residence featuring Pine Ridge Machine Cut veneer, Apricot Yellow Euro Pavers and Black Hills Rustic Machine Cut natural stone Steps.

Semco ARCHITECTURAL STONE

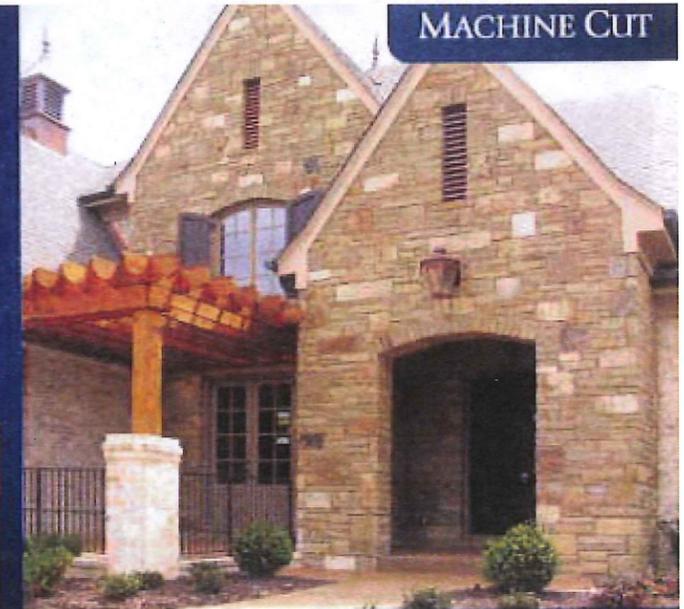
Accenting your entryway with natural stone sets the stage for a warm, welcoming atmosphere. Nature's earthy hues found in Willowbrook Brown Machine Cut and Castlerock veneer are the perfect palette for these inviting southern homes.

*Private residence featuring Willowbrook Brown Machine Cut and Castlerock.
Constructed by Price Hays Construction, LLC.*



Pictured right - Private residence featuring Willowbrook Brown Machine Cut and Castlerock. Distributed through Advantage Stone & Hardscapes. Masonry by: Midsouth Stone Masons.

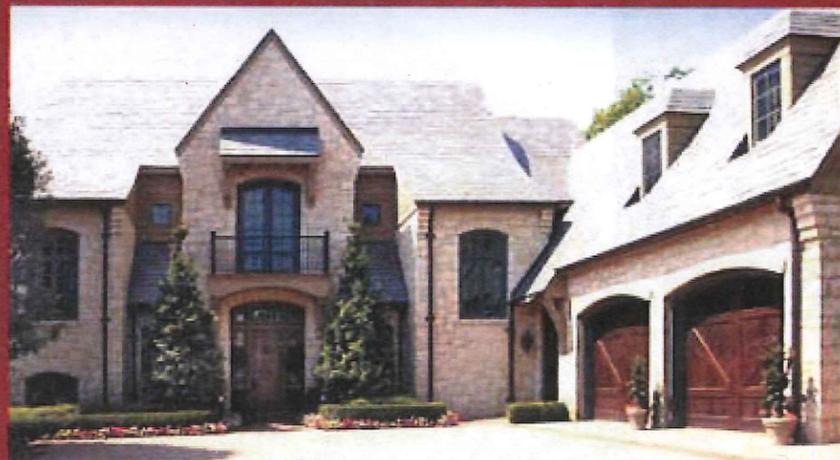
MACHINE CUT



Semco

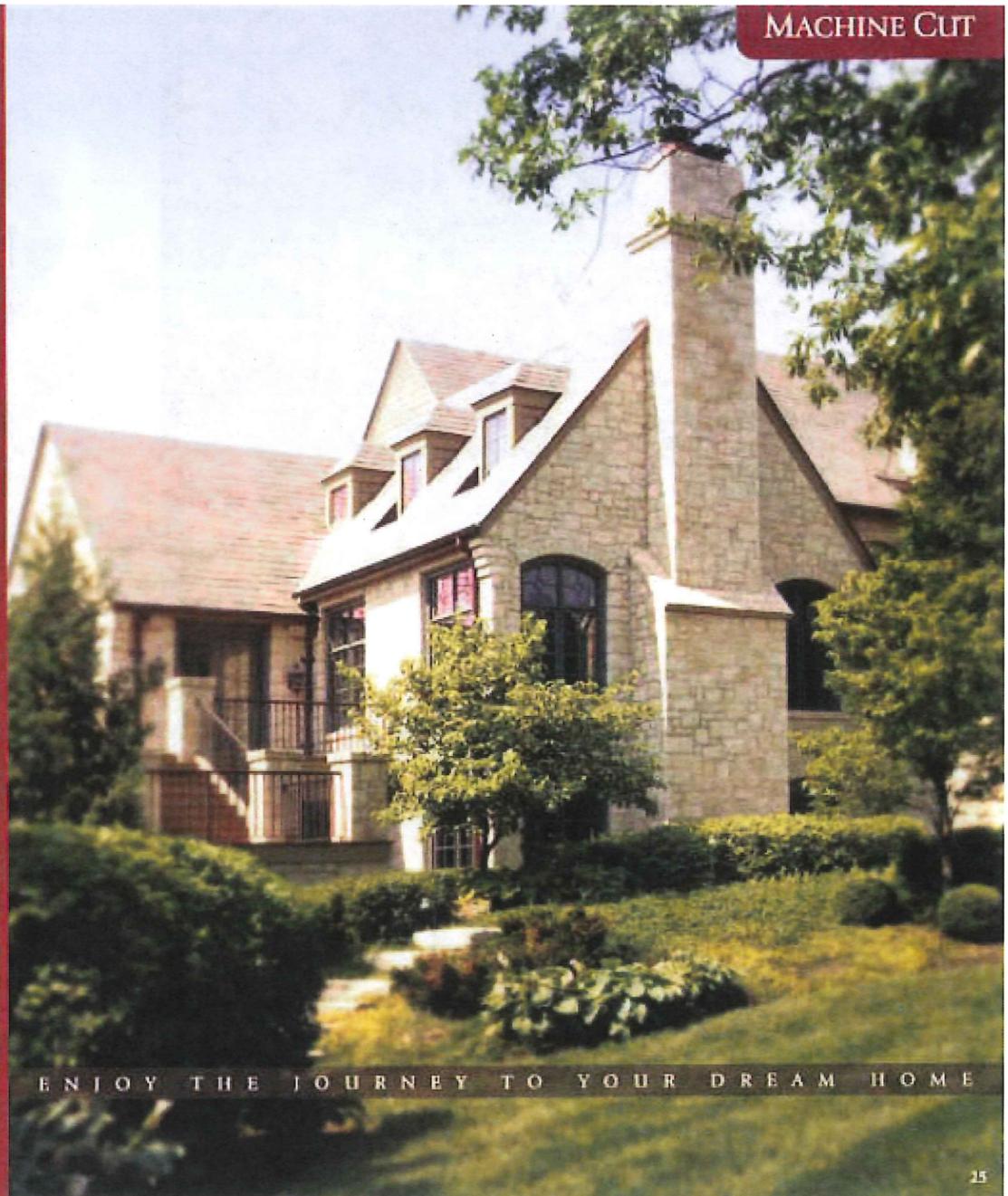
ARCHITECTURAL STONE

Let your imagination be your inspiration with Semco's Weston Stone Collection, the newest addition to our luxury line of Natural Building Stones. Weston Cream Machine Cut Natural Stone embellishes the architectural drama that distinguishes this truly extraordinary home.



*Private residence
featuring Weston
Cream Machine
Cut stone.*

MACHINE CUT



ENJOY THE JOURNEY TO YOUR DREAM HOME

MACHINE CUT

RECOMMENDED MACHINE CUT BLENDS



Blue River Select Gray
100% Blue River Select Gray



Blue River Country Blend
55% Blue River Select Gray
33% Blue River Variegated
12% Blue River Red-face



Blue River Variegated
100% Blue River Variegated



Blue River Mansion Blend
100% Blue River Gold
Gray and Buff Red-face



Stoney River
80% Blue River Select Gray
20% Stoneybrook Red-face



Cedar Ridge
100% Cedar Ridge



Cedar Ridge Country Blend
80% Cedar Ridge
20% Cedar Ridge
Red-face Jubbins



Cedarbrook
80% Cedar Ridge
20% Stoneybrook Red-face



Lake Cedar Blend
85% Cedar Ridge
15% Rustic Cedar



Chestnut Hill Castlerock
100% Chestnut Hill Red-face
TwoCut™ Only



Rustic Blue
100% Rustic Blue



Rustic Cedar
100% Rustic Cedar



Berkshire Blend
40% Rustic Cedar
40% Rustic Blue
20% Blue River Select Gray



Weston Cream
100% Weston Cream



Weston Shell
100% Weston Shell



French Country Blend
87% Cedar Ridge
13% Blue River Gold &
Buff Red-face



Willowbrook Brown
80% Willowbrook Split-face
20% Willowbrook Red-face



**Willowbrook Brown
Castlerock**
100% Willowbrook Brown



Willowbrook Blue
50% Willowbrook Split-face
50% Willowbrook Red-face



**Willowbrook Blue
Castlerock**
100% Willowbrook Blue



Black Hills Rustic Strips
50% Black Hills Split-face
50% Black Hills Red-face
TwoCut™ Only



Black Hills Rustic Castlerock
50% Black Hills Rustic Red-face
TwoCut™ Only



Pine Ridge
100% Pine Ridge



Weathered Fieldstone
100% Weathered Edge
TwoCut™ Only



Chopped Fieldstone
50% Split-face
50% Weathered Red-face



Split-face Fieldstone
100% Split-face
TwoCut™ Only

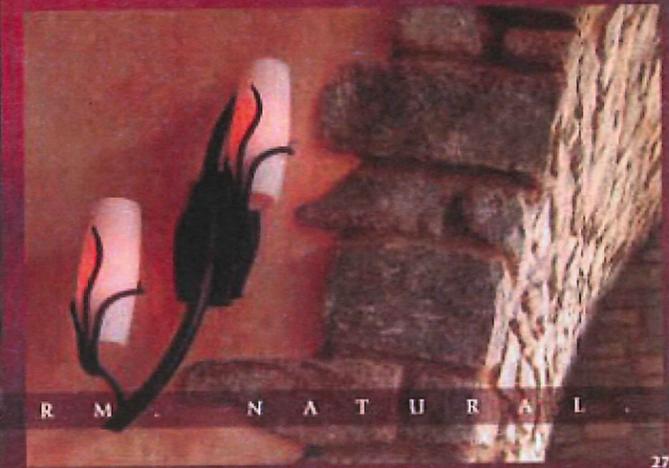
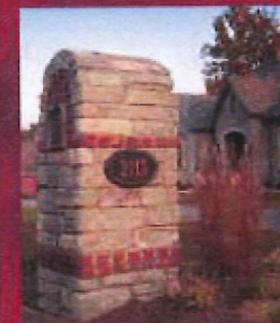
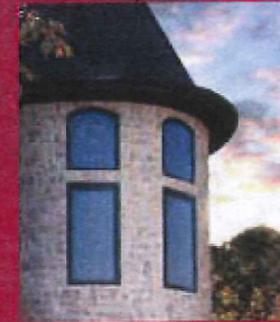


Breckwood
100% Breckwood

Semco ARCHITECTURAL STONE

Semco ARCHITECTURAL STONE

TUMBLED MACHINE CUT



The rounded edges and irregular shapes of Tumbled Machine Cut veneer give it extraordinary design flexibility. The shape of this cut comes from naturally formed horizontal layers of stone within our quarry that have been snapped in a variety of lengths and then tumbled to create a soft, old world, or aged appearance.

Pictured left - This formal fireplace featuring Blue River Tumbled Blend completes an intimate space perfect for reading by the fire or enjoying an afternoon tea.

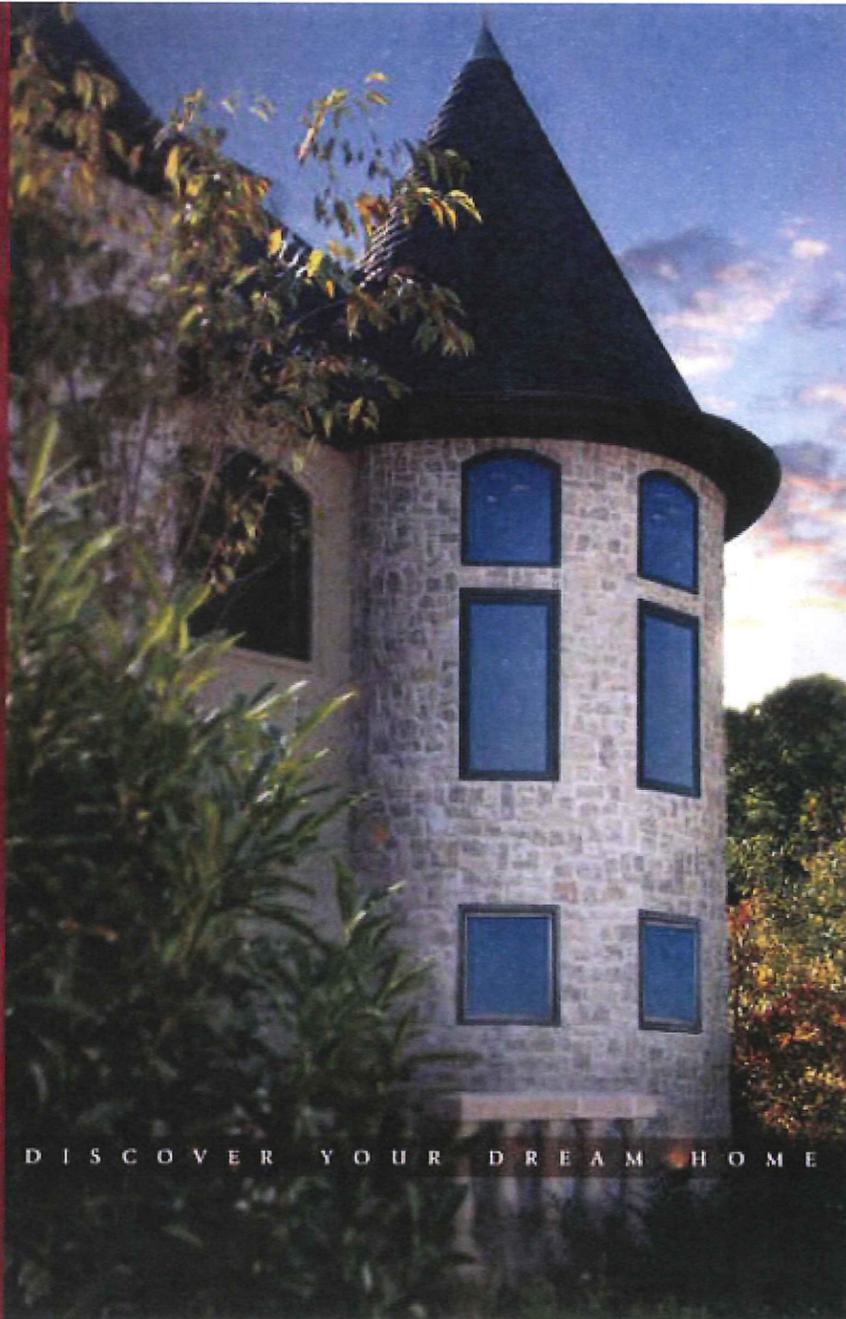
E L E G A N T . W A R M . N A T U R A L

* Semco Building Stone is a natural product, therefore color variations may occur. Selections should be made from actual samples whenever possible.

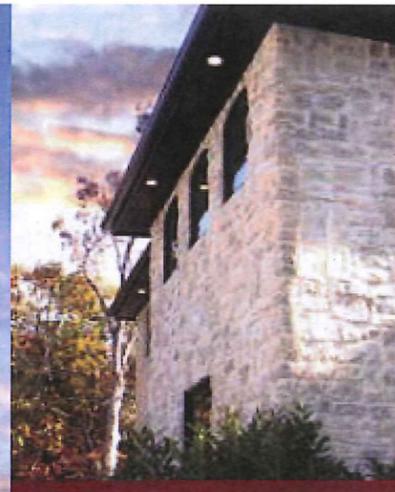
Semco

ARCHITECTURAL STONE

There's magic in designing a home to fulfill your dreams. At first sight, it is apparent that this glorious home is fit for a fairytale. This private residence in Arkansas features ThinCut™ Lake Cedar Fond du Lac Blend transformed through the unique application of white mortar.

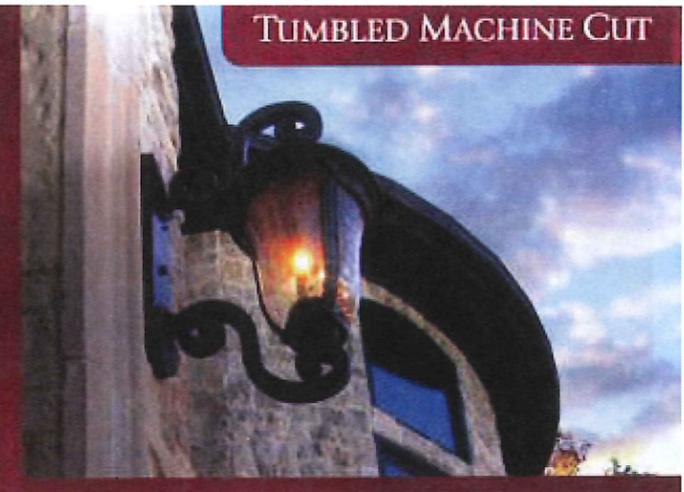


DISCOVER YOUR DREAM HOME



Private residence
featuring ThinCut™
Lake Cedar Fond du Lac
Blend Tumbled Machine
Cut. Constructed by:
Arkansas Dream Builders.

TUMBLED MACHINE CUT



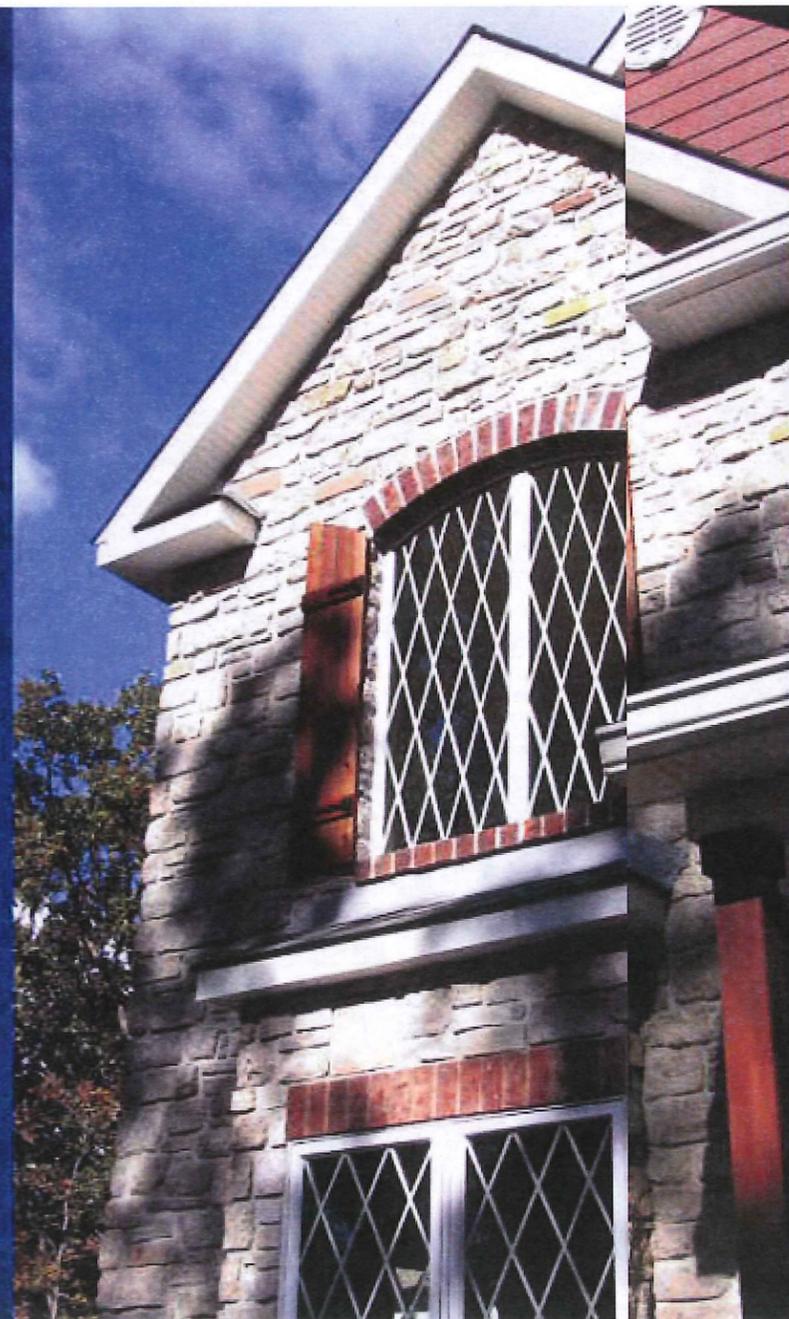
Semco

ARCHITECTURAL STONE

This charming home tucked away in the heart of the Midwest is a perfect example of the combined application of full and ThinCut™ veneer. Its elegant proportions complement the unique look and durability of Missouri Limestone.

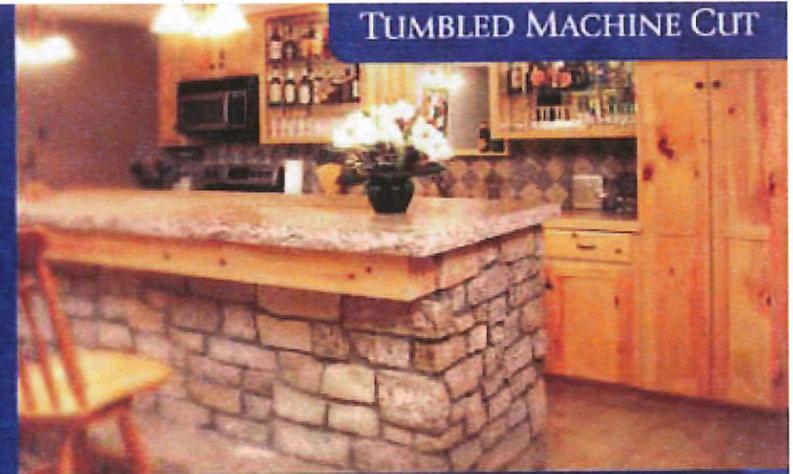


Private residence featuring Cedarbrook Tumbled Machine Cut. The front bay window features ThinCut™ Cedarbrook Tumbled Machine Cut. Masonry by: Herkamp Masonry.



From playing board games in front of a crackling fire to enjoying a few drinks at your own personal bar, many homes today are transforming unfinished spaces into a relaxing retreat for the entire family. Lake Cedar Tumbled Machine Cut veneer accented with a Cedar Ridge Polished Sawn Hearth enrich this family entertainment area.

TUMBLED MACHINE CUT



Private residence featuring Lake Cedar Tumbled Machine Cut veneer and Cedar Ridge Polished Sawn Hearth. Masonry by: J & B Masonry.

Semco

ARCHITECTURAL STONE

Welcome the warmth of natural stone into your home. This grand front entrance is captivating & friendly, a true reflection of what is in store for anyone entering your haven. A home is built in hopes that generations will gather there for years to come. Make it bold. Make it beautiful. Make it Stone.

Private residence featuring Stony River Tumbled Machine Cut.



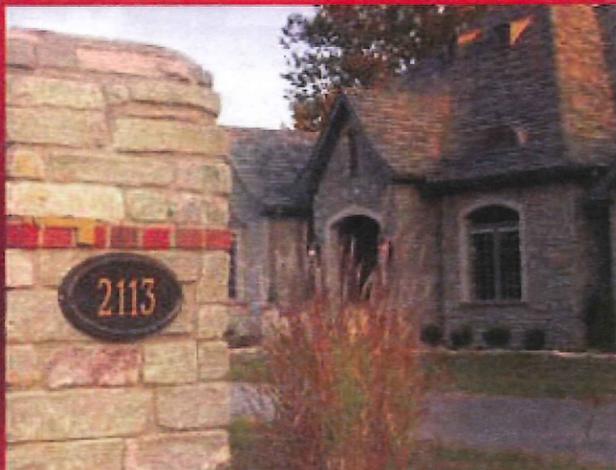
TUMBLED MACHINE CUT





Page 34 - Project continued from previous page - Private residence featuring Stoney River Tumbled Machine Cut.

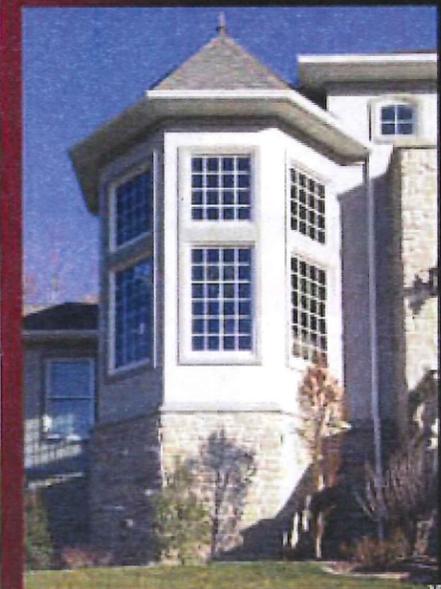
Page 35 - Private residence featuring Blue River Tumbled Machine Cut and Blue River Sawm Sills and Coping.

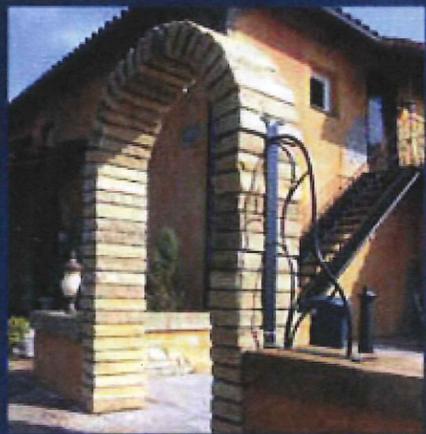


TUMBLLED MACHINE CUT

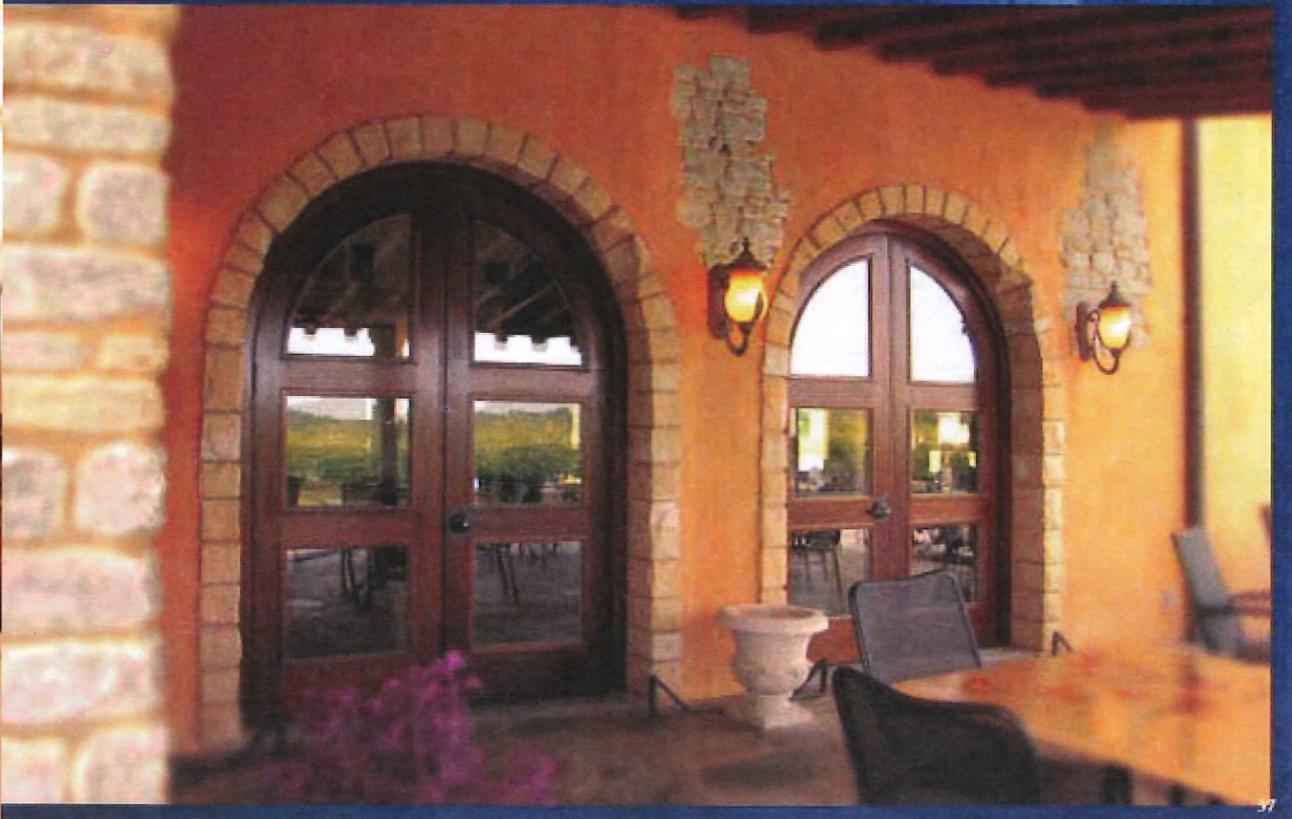
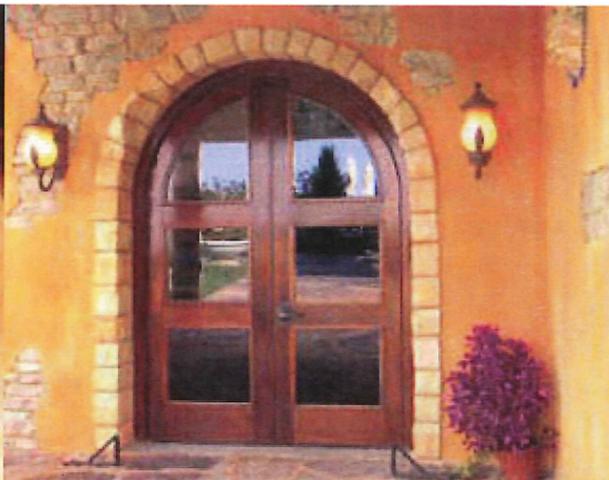
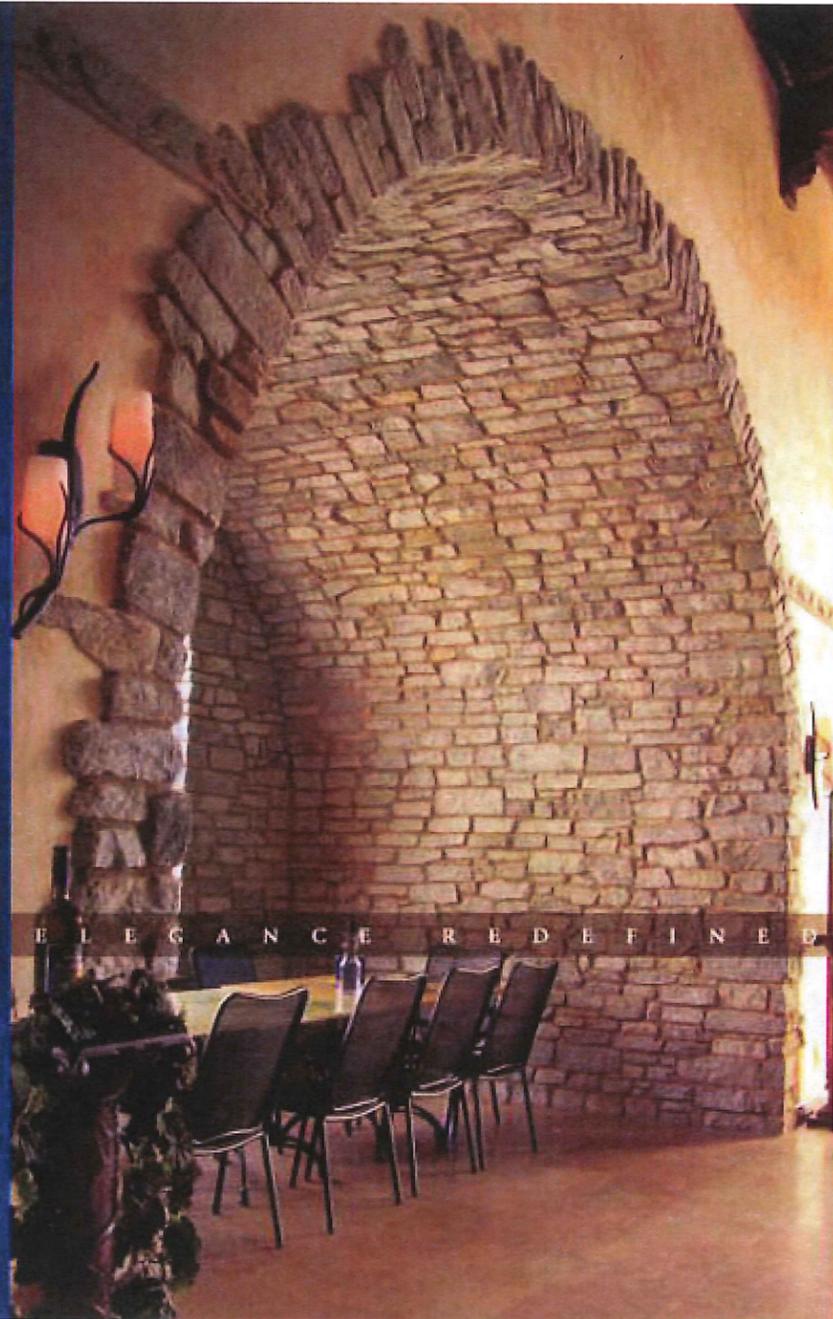
Semco
ARCHITECTURAL STONE

This private residence is an architectural gem located near the banks of the Mississippi River. It is as breathtaking as the view from the front terrace. The Blue River quarried stone and clean architectural design produced a classic example of superior style complemented with sheer elegance.





Blue Sky Vineyard, Makanda, IL, featuring ThinCut™ Blue River Tumbled Machine Cut. Masonry by Marshall Burns Masonry.



TUMBLED MACHINE CUT

Semco ARCHITECTURAL STONE

Blue Sky Vineyard located in Makanda, Illinois offers their guests an original and inspiring wine country experience. This fascinating structure is absolutely breathtaking. ThinCut™ Blue River Select Gray veneer enhances the incredible barrel vault which spans an impressive 20 feet.

TUMBLED MACHINE CUT

RECOMMENDED TUMBLED MACHINE CUT BLENDS



Blue River Select Gray
100% Blue River Select Gray



Blue River Tumbled Blend
50% Blue River Variegated
50% Blue River Select Gray



Blue River Variegated
100% Blue River Variegated



Stoney River
30% Blue River Select Gray
70% Stoneybrook Red-face



Cedar Ridge
100% Cedar Ridge



Cedar Ridge Country Blend
80% Cedar Ridge
20% Cedar Ridge
Red-face Junipers



Cedarbrook
80% Cedar Ridge
20% Stoneybrook Red-face



Lake Cedar Blend
55% Cedar Ridge
35% Rustic Cedar



Berkshire Blend
45% Rustic Cedar
45% Rustic Blue
10% Blue River Select Gray



Rustic Blue
100% Rustic Blue



Rustic Cedar
100% Rustic Cedar



French Country Blend
60% Cedar Ridge
30% Blue River Gold &
Buff Red-face



Weston Cream
100% Weston Cream



Weston Shell
100% Weston Shell



Chopped Fieldstone
50% Rustic Blue
50% Weathered Edge
Tan/Grey Only



Breckwood
100% Breckwood

Today, the fireplace has become a work of art that embellishes its surroundings. At the Laurel Park Medical Centre two towering fireplaces constructed of Blue River Tumbled Blend drystacked adorn the waiting areas, providing a serene, luxurious atmosphere for their patients.



Laurel Park Medical Centre, Laurel Park, NC featuring Blue River Machine Cut Tumbled Blend. Distributed through: B&L Distributing, Inc., Masonry by: Southern Stone, Inc., Constructed by: Beverly-Grant, Inc.

Semco
ARCHITECTURAL STONE

Semco
ARCHITECTURAL STONE



ASHLAR

Ashlar veneer is created by sawing the stone to specified heights, usually 2 1/4", 5", 7 3/4" and 10 1/2". The stone can be laid in a very precise pattern. As the mason works the stone, it fits together similar to a puzzle creating clean lines and a uniform appearance.

The rough texture of Cedar Ridge combined with the refined lines of the Ashlar cut veneer gives this private residence a nice balance of color and texture.

Private residence featuring Cedar Ridge Ashlar.

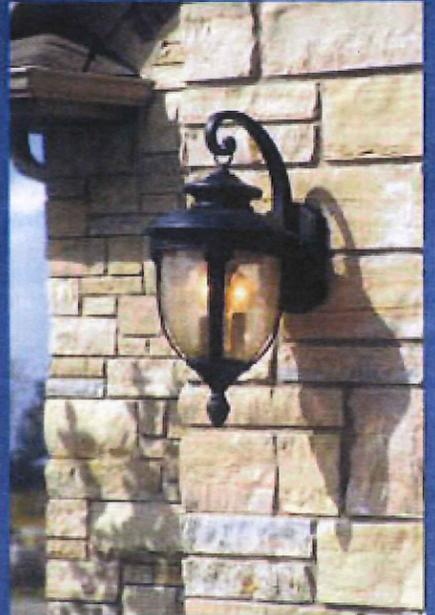


ASHLAR

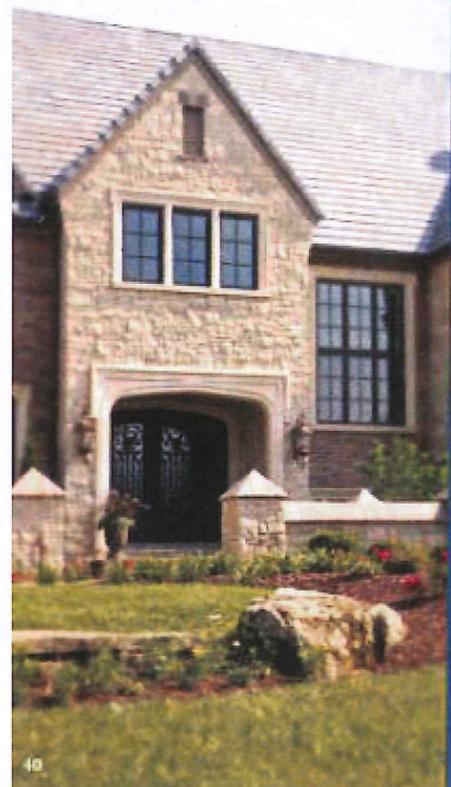
Semco ARCHITECTURAL STONE

The classic and timeless beauty of natural stone is represented in a formal application on these exquisite homes featuring beautiful Rustic Cedar stone accented with brick. Rustic Cedar Ashlar creates a formal look with its defined lines and neutral colors.

Innovative Homes at Magnolia, O'Fallon, MO featuring Rustic Cedar Ashlar and Rustic Cedar Stone Keystone. Constructed by John Thiel.



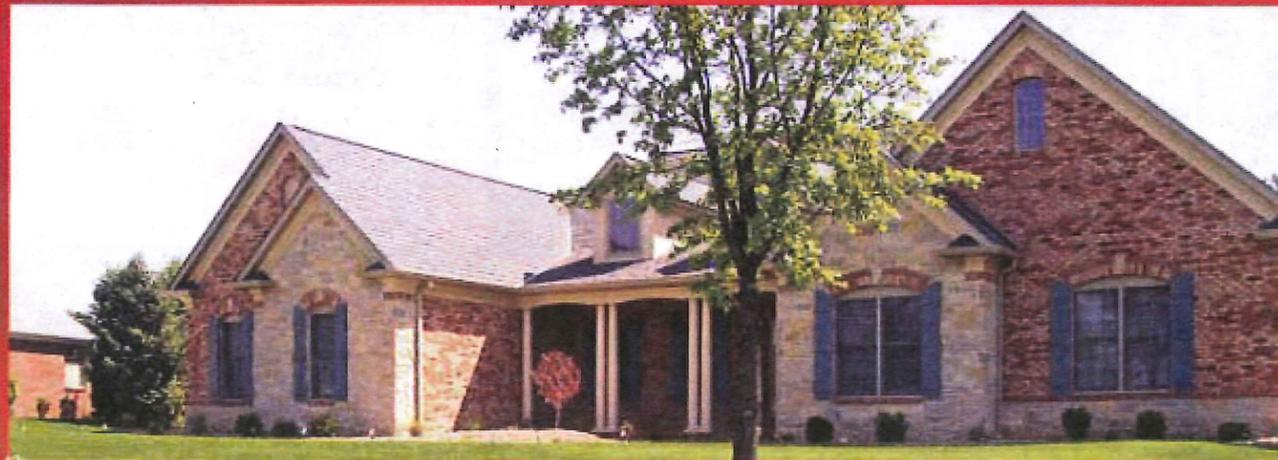
*Private residence featuring Rustic Cedar Ashlar.
Masonry by: Fuemling Masonry.*



Semco ARCHITECTURAL STONE

The combination of brick and stone on this classic home showcases Semco's French Country Ashlar veneer. To add color and coordinate with the home's exterior accents, the builder chose to add a small amount of Blue River Gray Bed-face in addition to the Blue River Buff and Gold Bed-face material traditionally seen with this blend.

Private residence featuring French Country Ashlar. Masonry by Harris Masonry.

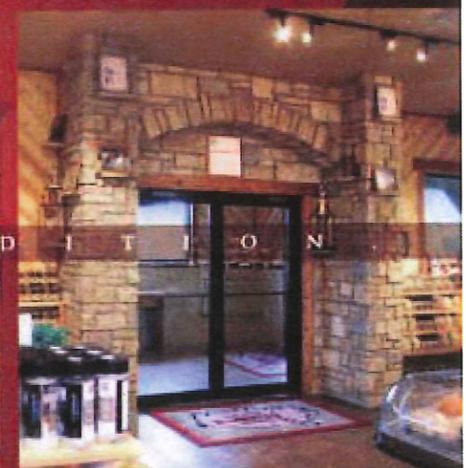


ASHLAR

For nearly five decades, Stonie's Sausage Shop has been producing its famous, award-winning smoked meats and sausages. Recognizing an opportunity for growth and development, the company decided to expand by building a new retail location. Choosing natural stone helped set them apart as an upscale, contemporary operation. Cedarbrook Ashlar was the perfect selection for their building. Within the new facility, this hometown classic provides a place to enjoy a delicious sandwich and the opportunity to take home any of their wonderful specialty meats and groceries.



Stonie's Sausage Shop, Perryville, MD featuring Cedarbrook Ashlar and Cedar Ridge Sawn Sills and Caps. Masonry by Eric Masonry.



ASHLAR

RECOMMENDED ASHLAR BLENDS



Blue River
100% Blue River



Blue River Country Blend
67% Blue River
33% Blue River Gold & Buff Red-face



Stony River
80% Blue River
20% Stonebrook Red-face



Cedar Ridge
100% Cedar Ridge



Cedarbrook
80% Cedar Ridge
20% Stonebrook Red-face



Lake Cedar Blend
80% Cedar Ridge
20% Rustic Cedar



French Country Blend
87% Cedar Ridge
13% Blue River Gold & Buff Red-face



Rustic Blue
100% Rustic Blue



Rustic Cedar
100% Rustic Cedar



Berkshire Blend
45% Rustic Cedar
45% Rustic Blue
10% Blue River



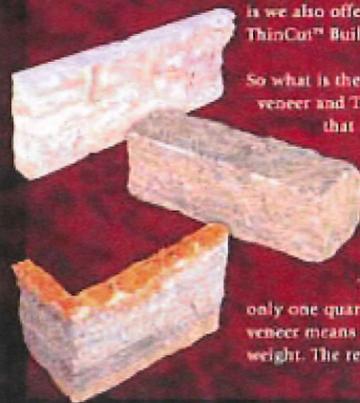
Weston Cream
100% Weston Cream



Brentwood
100% Brentwood

* Semco Building Stone is a natural product, therefore color variations may occur. Selections should be made from actual samples whenever possible.

SEMCO THIN CUT™ BUILDING STONE VENEER



Semco Distributing is a leader in producing building stone veneer. Our extensive collection of colors and styles lets you create exactly the look you want with durable, beautiful and affordable stone. The advantage to our product line is we also offer many of the stones in ThinCut™ Building Stone Veneer.

So what is the difference between full veneer and ThinCut™? Most obvious is that standard full veneer has a depth of approximately 4 inches. ThinCut™ is available in depths that average approximately 1 inch thick.

The fact that ThinCut™ is only one quarter the thickness of full veneer means that it is one quarter the weight. The reduced weight allows this

veneer to be installed where full thickness veneer would be difficult to install or could not be used, such as on dormers, gables, and existing interior and exterior structures.

ThinCut™ veneer can be applied to any structurally sound surface, including any masonry surface, concrete block, brick, cement, wallboard, plywood, paneling or metal buildings. It is virtually impossible to distinguish between full and ThinCut™ once it has been applied.

Semco's ThinCut™ Building Stone Veneer is available in corners, flats and a full line of accents. For more information about Semco's ThinCut™ veneer contact the sales representative in your area or log onto www.semcodist.com.



Semco ARCHITECTURAL STONE

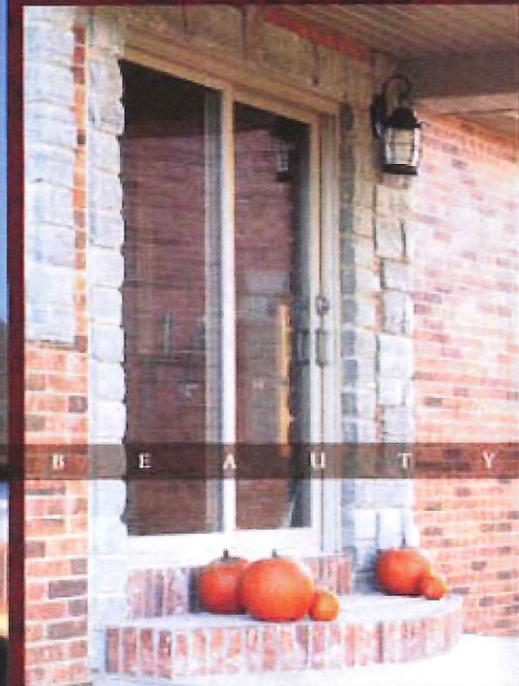
Semco ARCHITECTURAL STONE

TUMBLLED ASHLAR

Private residence featuring Blue River Tumbled Ashlar, Blue River Stone Kytometer and Blue River Stone Machine Split-face Sills. Masonry by: Dennis Watson Masonry. Construction by: Stan Seeborn Construction.



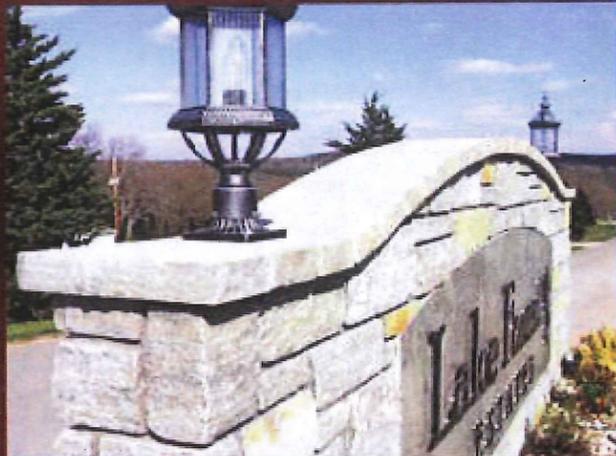
The old world appearance of Tumbled Ashlar veneer is created when quarried stone snapped at random lengths are then sawn to specified heights, usually 2 1/4", 5", 7 3/4" and 10 1/2". Snapped once more to the correct depth, the Ashlar stone is then tumbled, which smooths the sharp edges and gives the impression that the stone is aged.



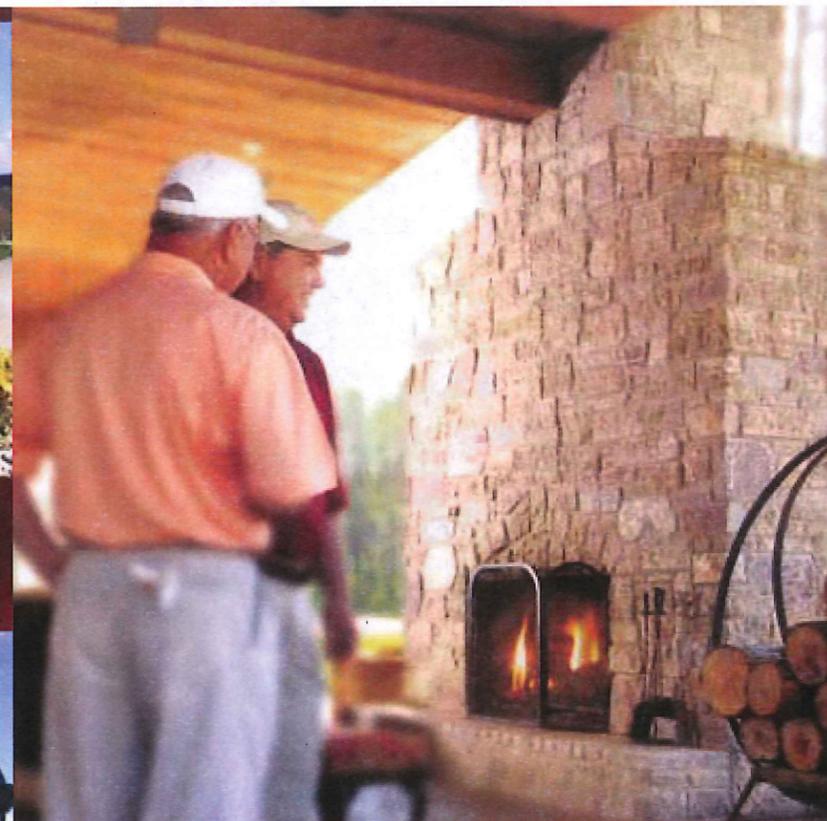
The Bank of Missouri Soccer Complex, Perryville, MO featuring Blue River Tumbled Ashlar and Blue River Caps and Coping.

Semco ARCHITECTURAL STONE

Tucked into the heart of Ste. Genevieve County, Lake Forest Estates is a hidden treasure. The warm golden tones of Blue River Bed face material balanced the deep blue-grays found throughout Blue River Country Blend Tumbled Ashlar. The stone on the entrance monument is perfect for representing a community intense in beauty, serenity and luxury.



Lake Forest Estates, Ste. Genevieve, MO featuring Blue River Country Blend Tumbled Ashlar. Masonry by Ste. Genevieve Building Stone Company.



TUMBLED ASHLAR

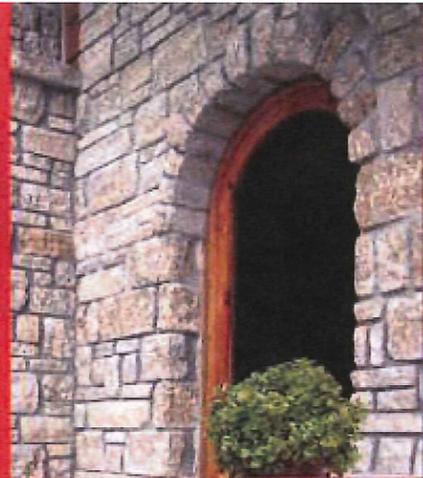
On this remarkably beautiful Nicklaus Designed course, this private golf haven caters to individuals who seek an environment rich in tradition and value. The Dalhousie Golf Club was designed to remind golfers of the rich heritage and history that formed the cultural foundation on which the game of golf was built. Cedarbrook Tumbled Ashlar natural stone was chosen for the club's Pro-Shop and Pavilion enhancing the natural beauty of this spectacular venue.

Dalhousie Golf Club, Cape Girardeau, MO featuring Cedarbrook Tumbled Ashlar.

Semco

ARCHITECTURAL STONE

Here we showcase a home using Lake Cedar Blend Tumbled Ashlar. For this remodeling project the couple wanted to create a look that would be a conversation piece, while enhancing the beauty and value of their 1970 ranch-style home. "The most critical part of the addition was making sure the stone complemented everything else. Our goal was to have an addition that did not look like an addition. The brick made our house appear dated, while adding stone gave it a classic and timeless look."



TUMBLED ASHLAR

Private residence featuring Lake Cedar Blend Tumbled Ashlar, Cedar Ridge Machine Cut Mantle and Coping. Masonry by: Eric Masonry, Construction by: Duane Ernst Construction.

"Now, our house is an expression of who we are and how we want to live."



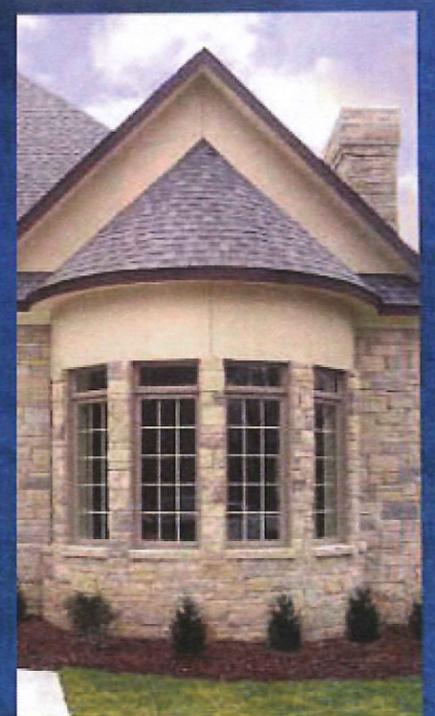


Private residence featuring Berkshire Blend Tumbled Ashlar.

Semco ARCHITECTURAL STONE

Pictured left and below – When this custom home builder decided to build his dream home, Berkshire Blend Tumbled Ashlar was the obvious choice. With its towering turrets overlooking a backyard oasis, the builder has created an awe-inspiring home that fits seamlessly with his family's lifestyle.

Page 51 - The Gascony community offers exquisite and luxurious home sites in a beautiful and tranquil setting. This elaborate luxury villa with an impressive stone exterior features the distinguished, subdued color palette of Berkshire Blend Tumbled Ashlar.



TUMBLED ASHLAR



Private residence featuring Berkshire Blend Tumbled Ashlar.



Gascony Luxury Villas, a Fischer & Frichtel Community, Chesterfield, MO featuring Berkshire Blend Tumbled Ashlar, Masonry by Spencer Brickwork.

TUMBLED ASHLAR

Semco
ARCHITECTURAL STONE

An entrance monument plays a vital role in promoting a distinctive identity and a positive image for what is past the entrance. Coyote Creek Estates in Cape Girardeau, Missouri recognized the importance of that role and wanted a prospective buyers' first impression to be one of class, while warm and welcoming at the same time.

Coyote Creek Estates, Cape Girardeau, MO featuring Berkshire Blend Tumbled Ashlar. Masonry by: Lord Brothers Masonry



RECOMMENDED TUMBLED ASHLAR BLENDS



Blue River
100% Blue River



Blue River Country Blend
87% Blue River
13% Blue River Gold & Buff Bed-face



Stony River
88% Blue River
12% Stonybrook Bed-face



Cedar Ridge
100% Cedar Ridge



Cedarbrook
80% Cedar Ridge
20% Stonybrook Bed-face



Lake Cedar Blend
60% Cedar Ridge
40% Rustic Cedar



French Country Blend
67% Cedar Ridge
33% Blue River Gold & Buff Bed-face



Rustic Blue
100% Rustic Blue



Rustic Cedar
100% Rustic Cedar



Berkshire Blend
45% Rustic Cedar
45% Rustic Blue
10% Blue River

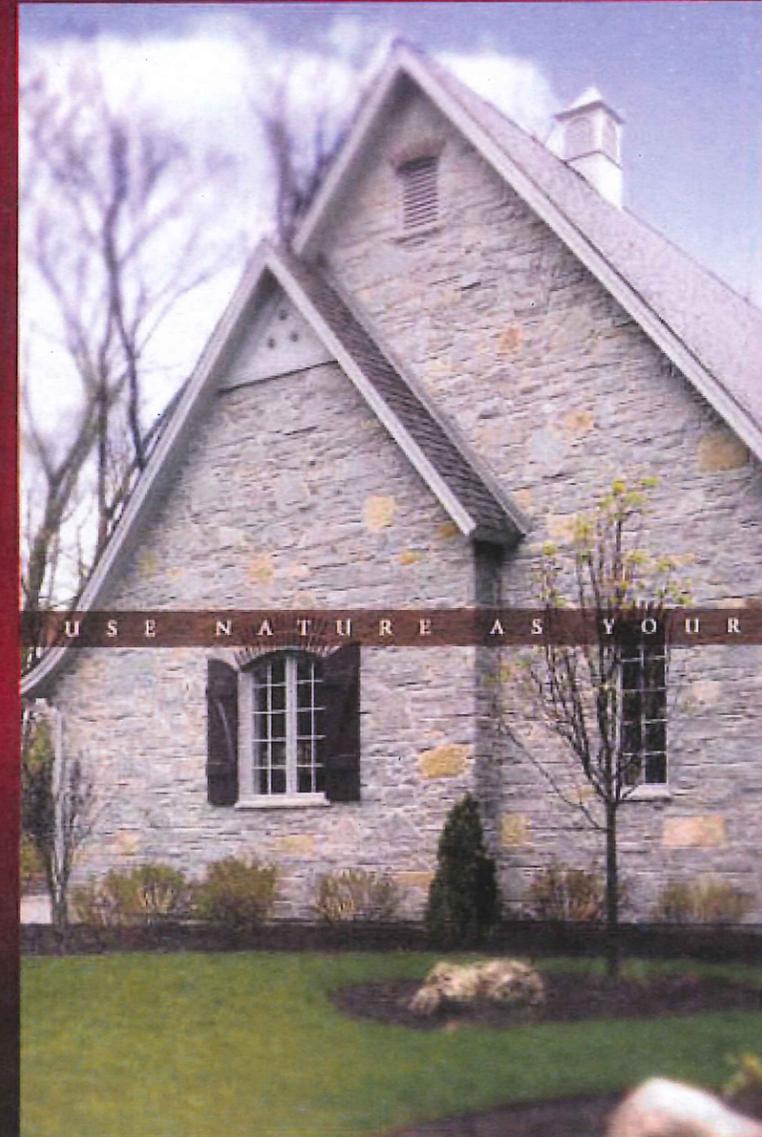


Western Cream
100% Western Cream

* Semco Building Stone is a natural product, therefore color variations may occur. Selections should be made from actual samples whenever possible.

Semco
ARCHITECTURAL STONE

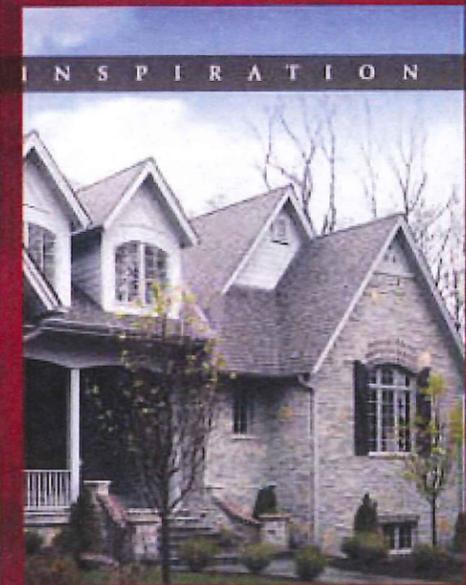
WEBWALL & RUBBLE



Like the mosaics of ancient Rome, Webwall and Rubble are patterns of different stones that fit together as orderly as the mason or home owner desires. This application is perfect for interior fireplaces or exterior applications and complementary to any rustic, classic or contemporary design.

Private residence featuring Blue River Webwall and Blue River Machine Cut veneer. Constructed by: Interlocking Pavers, Inc.

USE NATURE AS YOUR INSPIRATION



WEBWALL & RUBBLE



Private residence featuring Blue River Random Rubble.

Pictured above - Retaining Walls and Wing-walls constructed of Blue River Random Rubble grace an old fashioned covered bridge at this private residence.



Cedar Ridge
100% Cedar Ridge



Black Hills Rustic
100% Black Hills Rustic
TheCur™ Only



Weathered Fieldstone
100% Weathered Fieldstone



Tumbled Weathered
Fieldstone
100% Weathered Fieldstone
TheCur™ Only

RECOMMENDED WEBWALL & RUBBLE BLENDS



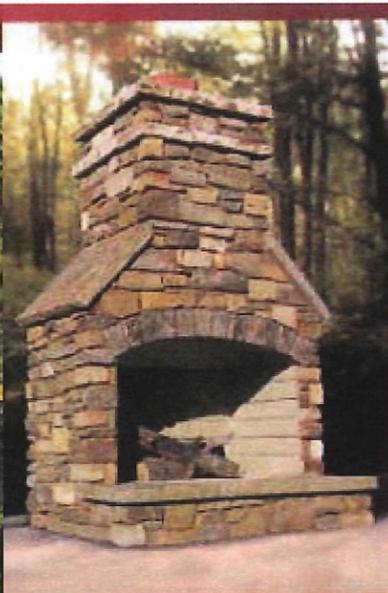
Blue River
100% Blue River



Blue River Random Rubble
100% Blue River Rubble



Rustic Cedar
100% Rustic Cedar



Semco Fireplace Kit featuring TheCur™ Chopped Fieldstone Matchline Cut veneer and Weathered Fieldstone Natural Top Hearth Kit.



OUTDOOR FIREPLACE KITS, HEARTHSTONES & MANTLES

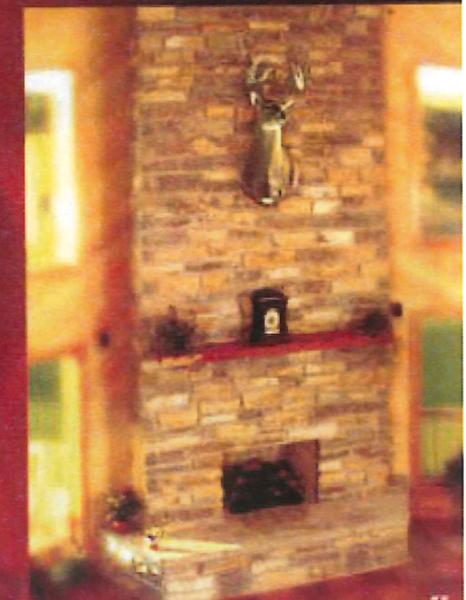


Hearthstones and Mantles are available in various finishes of Blue River, Cedar Ridge, Rustic Cedar, Rustic Blue, Black Hills Rustic, Brentwood, Weathered Fieldstone and Weston Cream. See page 62 and 63 for swatches.

Pictured left - Semco's Outdoor Fireplace Kit helps you extend the time you can use your patio, deck or backyard. They are beautiful, affordable and raise the value of your home by adding structural interest to your backyard or patio. So gather around the glow and stay cozy in the crispness of autumn or winter while enjoying the outdoors all year round.

Semco ARCHITECTURAL STONE

Semco's Hearthstones and Mantles are the final touch to your masterpiece. Available in precut standard sizes or custom cut to your specifications. Hearthstone kits are a 3-piece unit. Side pieces have two Split-face sides and two Sawn sides; the center piece has three Sawn sides and one Split-face. Individual extension pieces are also available with three sawn sides and one Split-face side. Size of each piece: 19\"/>



CAPS & COPING



Blue River Custom Coping with Bachhammer and double Bull-nose finish.

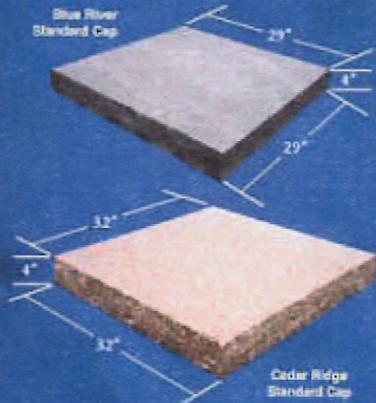
Semco
ARCHITECTURAL STONE

Semco's Caps and Coping are the perfect complement to our Natural Stone veneers. Available either Machine Cut or Sawn they give your project the finished detail for countless applications. The possibilities are endless from pool surrounds to the finishing touch on columns, piers, entrance monuments, staircases and more. Standard Caps are 29" x 29" x 4"H or 32" x 32" x 4"H. Caps and Coping can be custom cut and finished to your specifications, contact your sales representative for more information.

Caps and Coping are available in various finishes of Blue River, Cedar Ridge, Rustic Cedar, Rustic Blue, Black Hills Rustic, Brentwood, Weathered Fieldstone and Weston Cream. See page 62 and 63 for swatches.



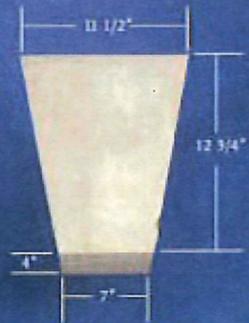
Blue River Standard Cap



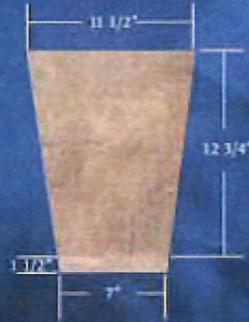
Cedar Ridge Standard Cap



Cedar Ridge Machine Cut Keystone



Rustic Cedar Sawn Standard Keystone



Rustic Blue Split-face ThinCut™ Standard Keystone

KEYSTONES & SILLS

Semco
ARCHITECTURAL STONE

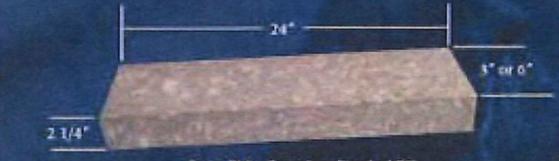
Keystones give the finishing touch to doors or other masonry openings to enrich the overall finish of your project. Standard Keystones are 12 3/4"H x 7"W (base) x 11 1/2"W (top). They are available in 4" or 1 1/2" depths. The sides can be Sawn or Machine-Split for a formal, rustic, contemporary or classic appearance. Keystones can be custom cut and finished to your specifications, contact your sales representative for more information.

Natural stone Sills can be used under windows and at the top of a stone wains coat. Standard Sills are 2 1/4"H x 24"W and are available in depths of 3", 6" or 1 1/2". They are sawn on the top, bottom, ends and back with your choice of Machine-Split or Sawn face. Sills can be custom cut and finished to your specifications, contact your sales representative for more information.

ThinCut
NATURAL STONE PRODUCTS

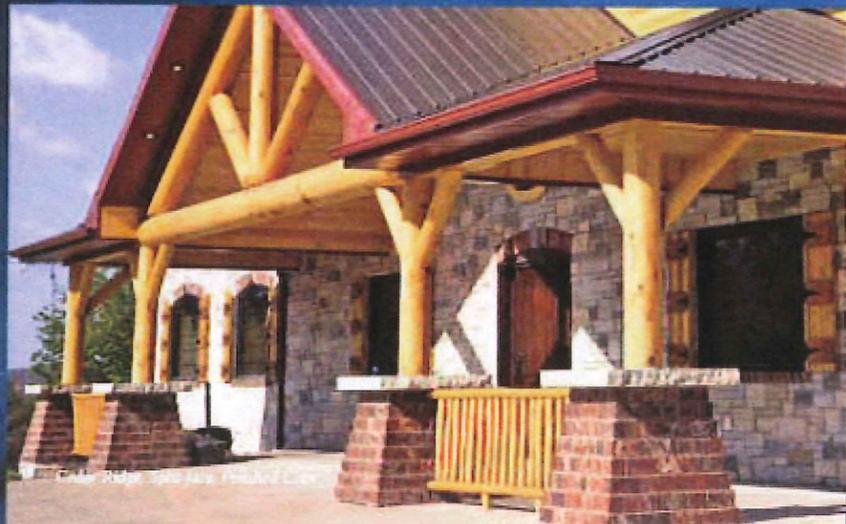


Rustic Blue Split-face ThinCut™ Standard Sill

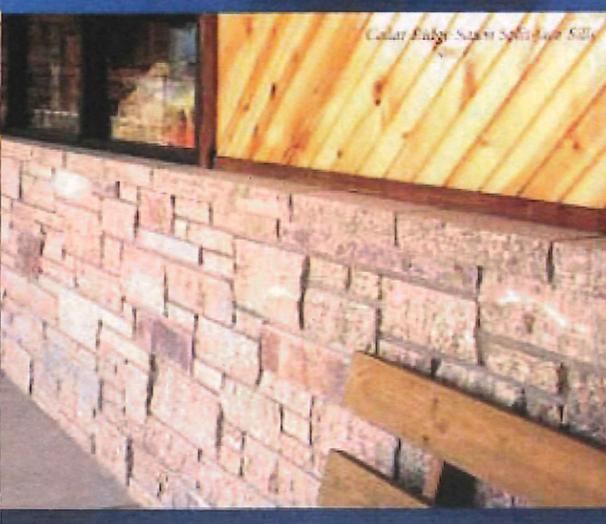


Cedar Ridge Sawn-face Standard Sill

Sills and Keystones are available in various finishes of Blue River, Cedar Ridge, Rustic Cedar, Rustic Blue, Black Hills Rustic (ThinCut™ Natural Top only), Brentwood, Weathered Fieldstone and Weston Cream (available in Sills only). See page 62 and 63 for swatches.



Cedar Ridge Sawn-face Standard Sill



Cedar Ridge Sawn Split-face Sill

STEPS, TREADS & FLOORING

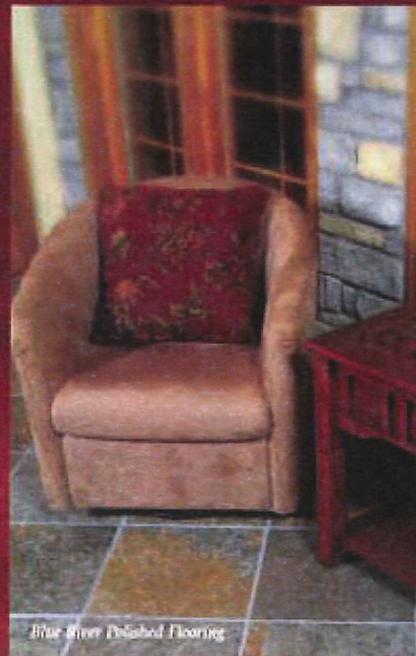
Semco ARCHITECTURAL STONE

The elegance and beauty of Blue River Sawn flooring is unparalleled. Flooring can be used for interior and exterior applications such as patios, walkways, and even pool surrounds. Flooring is sawn on all sides available in 12" x 12", 12" x 18", 18" x 18" and 18" x 24" sizes and is 1" thick. Flooring can be custom cut to your specifications contact your sales representative for more information.

Like a masterpiece in your home the Blue River Polished Flooring pictured below becomes a work of art that will be treasured for years to come.



Blue River
Polished Flooring



Blue River Polished Flooring



Cedar Ridge Sawn Treads

Whether used for an indoor staircase, or exterior entrance, Semco Steps and Treads complete your natural stone project. Steps and Treads are available in Sawn heights. Standard Steps are 16"D x 6"H x 36"W or 16"D x 6"H x 48"W. Steps and Treads can be custom cut and finished to your specifications, contact your sales representative for more information.

Treads are available in various finishes of Blue River, Cedar Ridge, Rustic Cedar, Rustic Blue, Black Hills Rustic, Brentwood, and Weston Cream. Steps are available in finishes of Blue River, Cedar Ridge, Brentwood and Weston Cream. See page 62 and 63 for swatches.



Cedar Ridge Quoins

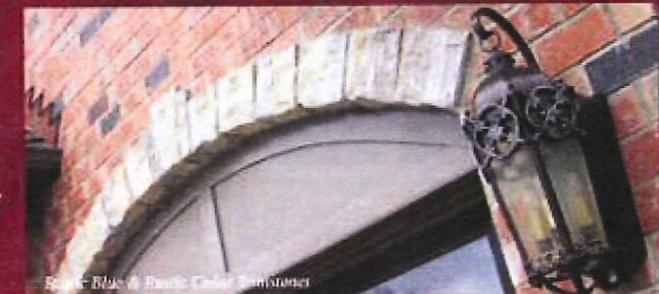
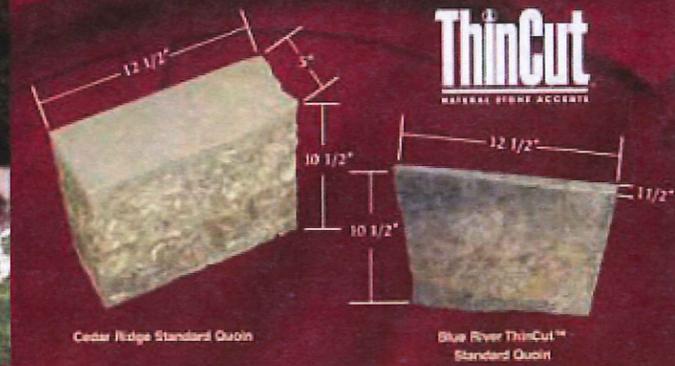


Quoins and Trimstones are available in Blue River, Cedar Ridge, Rustic Cedar, Rustic Blue, Black Hills Rustic (ThinCut® only), Brentwood, Weathered Fieldstone and Weston Cream (available in Trimstone 5" heights only). See page 26 for color reference.

QUOINS & TRIMSTONES

Semco ARCHITECTURAL STONE

Quoins give the finishing touch to corners or entryways and complement any of our veneer blends. Standard Quoins are 10 1/2"H x 12 1/2"W and are available in 5" or 1 1/2" depths. Each piece has a Machine Split-face and end. Top and bottom are available as Sawn or Machine Split. Quoins can be custom cut and finished to your specifications, contact your sales representative for more information.



Blue River Rustic Cedar Trimstones

Trimstones are pre-cut stones used to stack around windows and door frames. They can also be installed beside keystones above windows and doors. Trimstones are versatile and can be utilized as either a horizontal or vertical piece. Each piece has a Machine Split-face and end with three sawn sides. Available in 5"H x 8"W and 7 3/4"H x 8"W with depths of 4" or 1 1/2". Trimstones can be custom cut and finished to your specifications, contact your sales representative for more information.

CUSTOM CUT

CREATE THE LOOK YOU WANT
WITH THE PERSONALIZED
STYLE YOU DESIRE.

Semco
CUSTOM CUT NATURAL STONE



*"When you extend your living space
outside, suddenly you have so much
more space for living in general."*
- Michelle Kodis, author of "Ultimate Backyard."



OUTDOOR KITCHENS



FOR THE WAY IT'S MADE.™

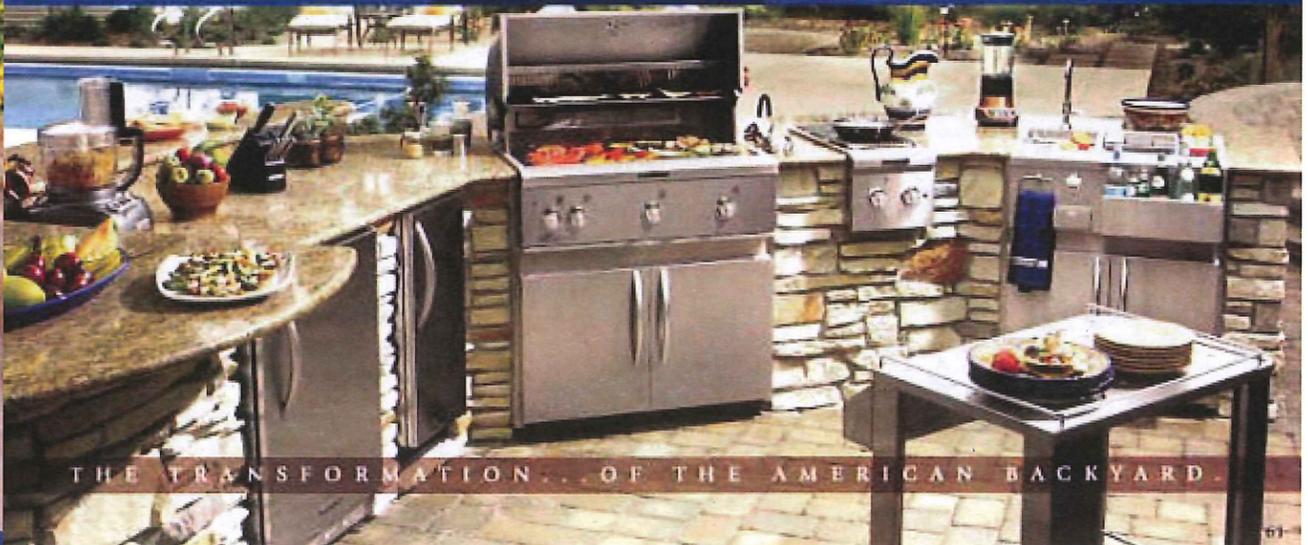


Semco
ARCHITECTURAL STONE

Instead of traditional large backyards, people are creating dramatic outdoor living spaces on their decks or patios with fireplaces and kitchens that go way beyond yesterday's crusty old grills and uncomfortable patio furniture.

Semco is proud to introduce our new line of Outdoor Entertainment Islands. These high quality pre-built islands save you time and labor from conception to completion. Designing a custom island for your customers does not have to be difficult for you. Just sketch out a rough drawing, tell us what KitchenAid appliances and accessories to plan for and what finishes you desire. We take care of including the required venting, support and construction details to ensure a superior product for your customers' enjoyment.

Once the design is approved, we fabricate the island using strong steel framework. The island and appliances are shipped directly to the job site ready for the quick and easy installation.



THE TRANSFORMATION... OF THE AMERICAN BACKYARD.

NATURAL STONE FINISHES

BLUE RIVER

CEDAR RIDGE

RUSTIC CEDAR

RUSTIC BLUE

NATURAL



Gray Gold

HC GK BL T

SAWS



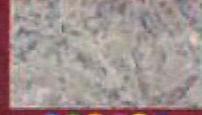
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HONED



HC GK BL T

POLISHED



HC GK BL T

ANTIQUE BRUSH



HC GK BL T

BEHINDMASK



HC GK BL T

THERMAL



HC GK BL T



K



HC GK BL T



HC GK BL T



HC GK BL T



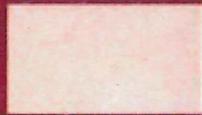
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HC GK BL T

LEGEND
NATURAL STONE FINISHES

- HC = HEARTHSTONE K = KEYSTONES S = STEPS
- GK = CURS & CORNICE BL = SILL T = TALLS

NATURAL STONE FINISHES

BLACK HILLS RUSTIC

WEATHERED FIELDSTONE

BRENTWOOD

WESTON CREAM

NATURAL



HC GK BL T

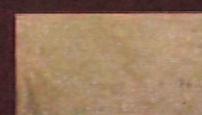
Most Black Hills Rustic Accents are available in ThinCut® only. Please reference Accent section for details.



HC GK BL



HC GK BL



HC GK BL



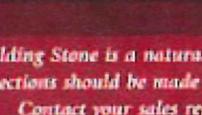
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HC GK BL T



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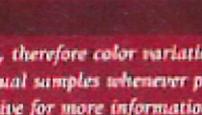
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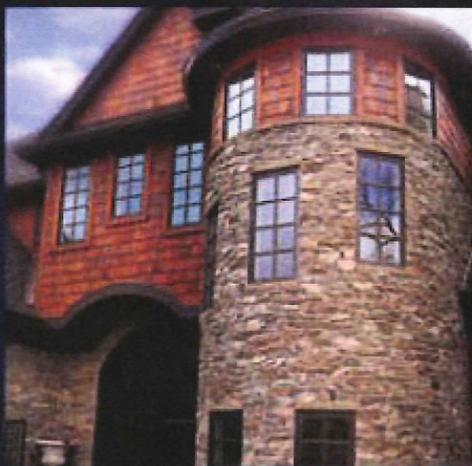
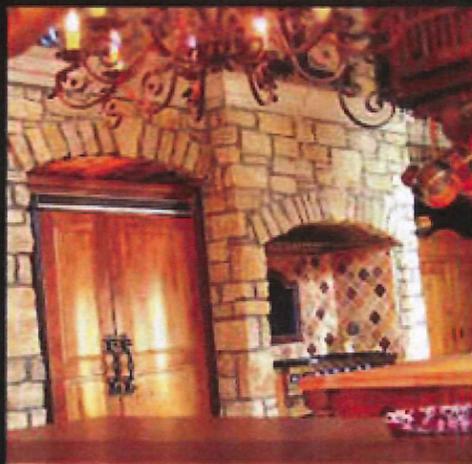
HC GK BL T



HC GK BL T

Senco Building Stone is a natural product, therefore color variations may occur. Selections should be made from actual samples whenever possible. Contact your sales representative for more information.

AN INSPIRATIONAL GUIDE TO BUILDING STONE



DISTRIBUTED BY:

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2515 SEMCO DRIVE
BELTON, MO 64012
816.318.1203

Cultured Stone



Cultured Stone®

WELCOME TO THE NEW STONE AGE



INTRODUCING THE NEW STONE AGE

Stone has been the building block of the family home since civilisation began, from its humble beginnings in prehistoric dwellings to its use as a modern day architectural feature material.

There is no question that stone is loved for its strength, durability and authenticity. It is recognised as a material that adds beauty and character to any space. But despite this, stone can be heavy, difficult to install, expensive and limited in terms of choice.

Boral recognised the opportunity to overcome these issues and has introduced Cultured Stone to Australia. Around for almost 50 years in the US market, Cultured Stone is a manufactured stone cladding product that has all the qualities of traditional stone but with significant added benefits.

Offering a wide variety of colours, shapes and textures, each unit of Cultured Stone is cast in natural stone moulds and meticulously hand coloured to achieve the look and feel of stone. Cultured Stone is lighter in weight and affordable, making it a more accessible material for many.

CONTENTS

THE CULTURED STONE® COLLECTION



LEDGE STYLE

Both rugged and precise, rectangular stone veneers are small in scale and low-relief.

- Country Ledge Stone 15
- Pro-Fit™ Alpine Ledge Stone 17
- Pro-Fit™ Ledge Stone 17



FIELD STYLE

Organic in shape and colour, this style creates a rugged, natural look.

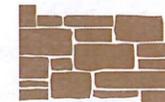
- Dressed Fieldstone 19



RUBBLE STYLE

This craggy, informal style is purposely irregular and works well indoors and out.

- Southern Ledge Stone 21



RANDOM ASHLAR STYLE

This style is versatile enough to look old fashioned or modern, depending on how it's applied.

- Cobblefield™ 24
- Coral Stone 24
- European Castle Stone 25

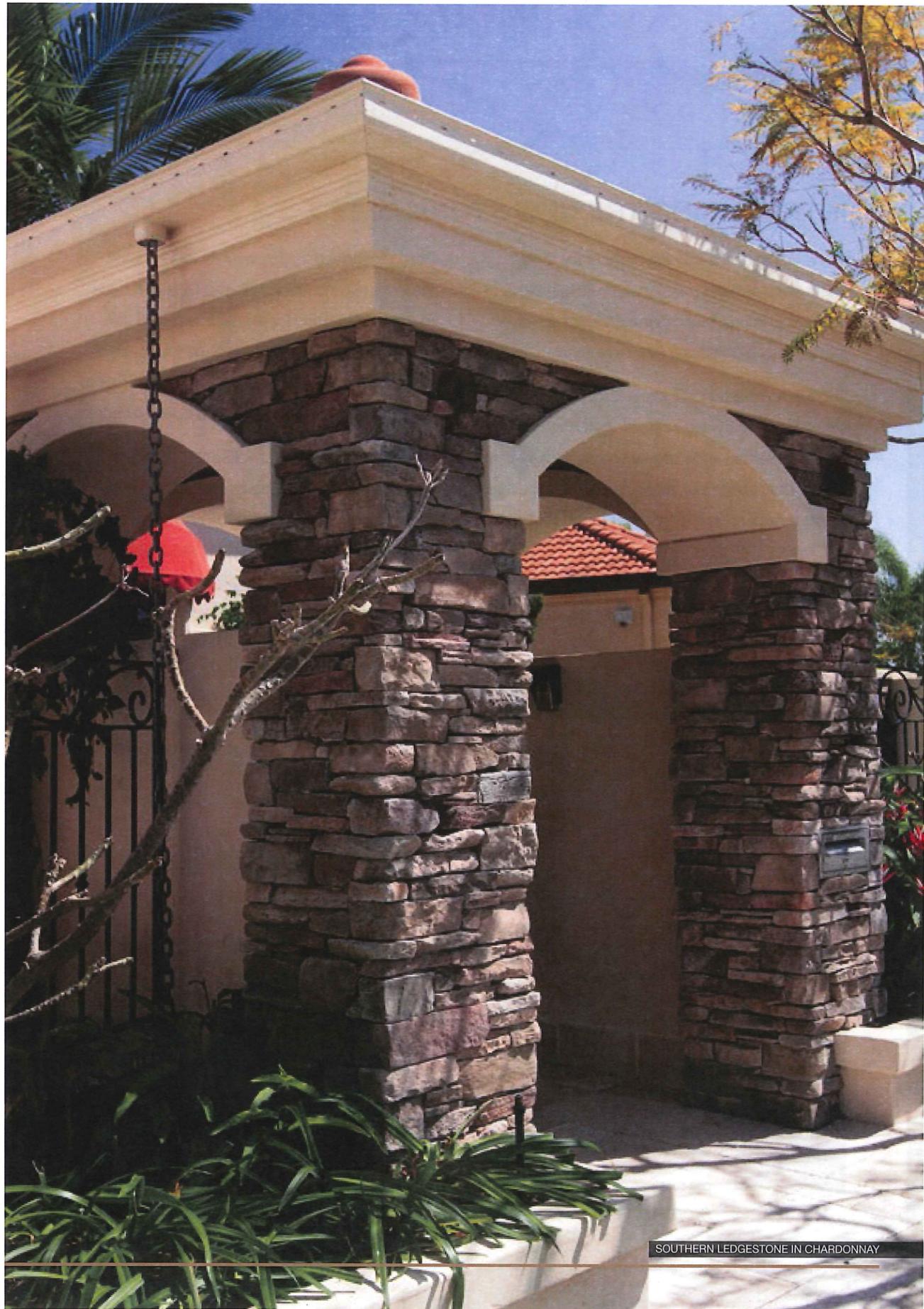


ASHLAR STYLE

Smooth-faced, rectangular blocks are hewn to a consistent size and installed in an organised pattern.

- Cast-Fit™ 26

- ACCESSORIES 28



SOUTHERN LEDGESTONE IN CHARDONNAY

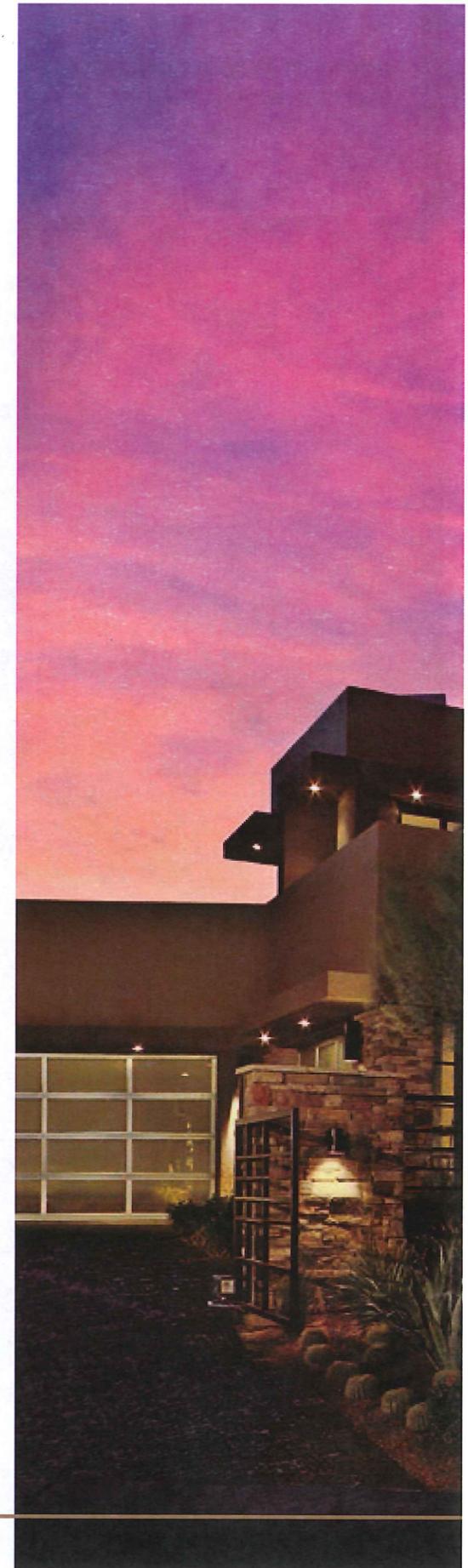
03 AESTHETIC APPEAL

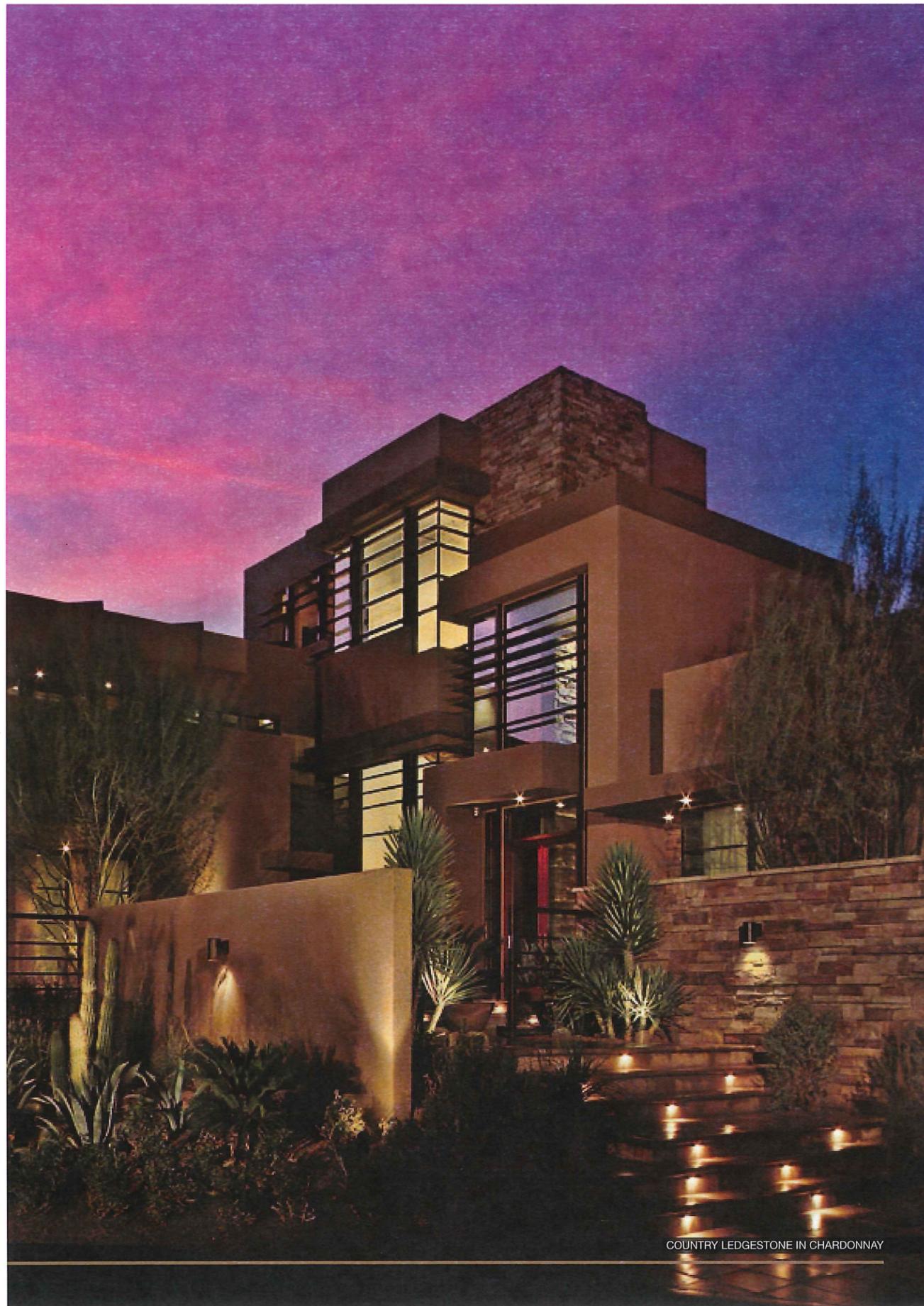
THE BEAUTY OF STONE IS NOW WITHIN YOUR REACH

Modelled from natural stone and created with painstaking care and artistry, Cultured Stone achieves the depth, complexity of colour, pattern and unique texture of stone.

With nine distinct ranges and a diverse palette of colours, there are numerous options for size, shape, colour and texture, providing the artistic freedom to create a truly personal look.

Cultured Stone cladding does more than just add beauty to a home.





COUNTRY LEDGESTONE IN CHARDONNAY



COUNTRY LEDGESTONE IN CHARDONNAY

BEAUTY THAT ENHANCES ANY SPACE

Cultured Stone lets you spend more time creating the look you want, not searching for it. Whether you prefer rugged or refined, subtle or striking, Cultured Stone cladding is an affordable way to create a look that complements any style.

The natural beauty of Cultured Stone works in harmony with other building materials such as brick, timber and glass, to create design features with dramatic visual appeal. With a versatility that extends from feature walls to fireplaces, water features to wine cellars, the beauty of Cultured Stone, both indoors and out, is inspiring.

NOW IT IS EASIER TO STAND OUT FROM THE CROWD

Make an impact on your business by adding definition and differentiation with a Cultured Stone feature. Create a style that adds weight, drama and originality. From retail storefronts, to restaurants or hotel lobbies, classic or modern, evoke the time and place you desire with Cultured Stone.



PRO-FIT™ LEDGESTONE IN SOUTHWEST BLEND

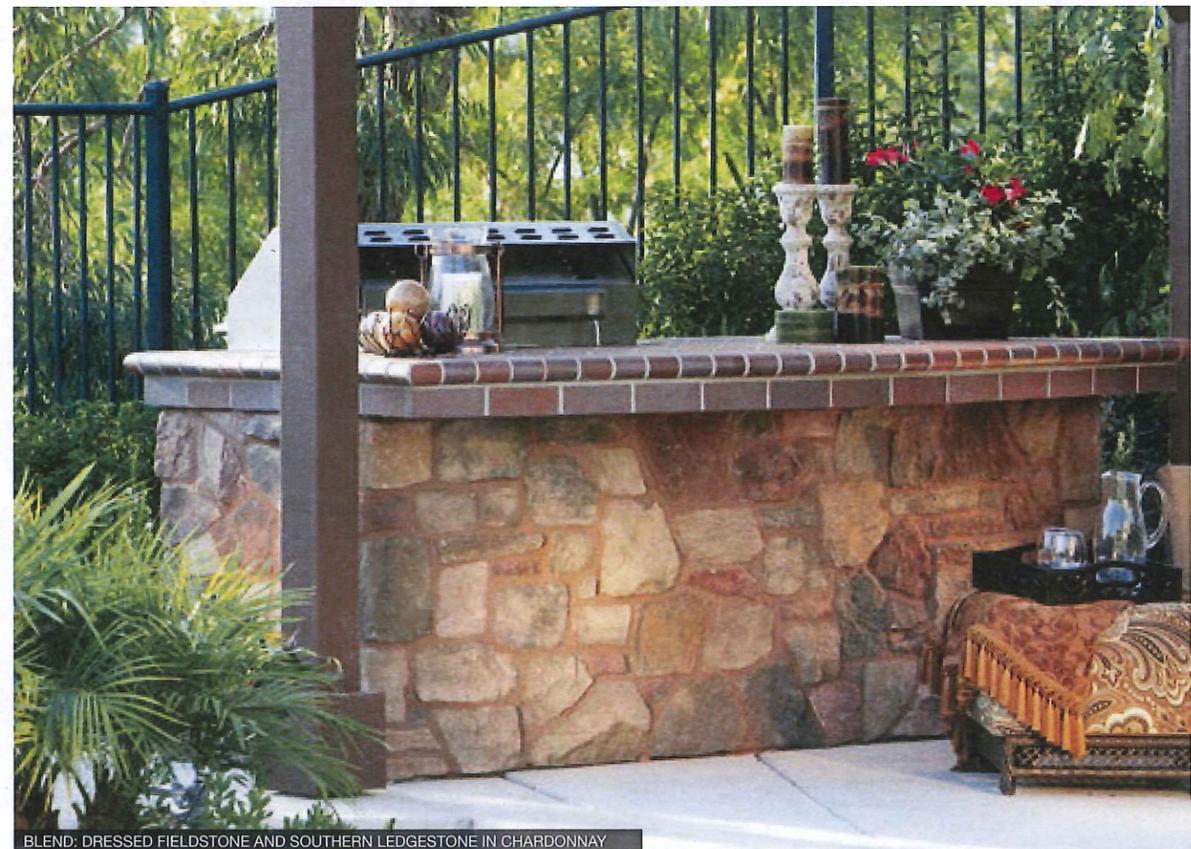


PRO-FIT™ LEDGESTONE IN SOUTHWEST BLEND

THE NATURAL LOOK OF BEAUTY THAT DOESN'T COST THE EARTH

At Boral we are committed to developing and improving products that work for tomorrow, not just today. In all Cultured Stone products, there is a minimum of 54 per cent recycled content.

Cultured Stone is engineered to last, maintaining its beauty and strength for at least 50 years*. Furthermore, Cultured Stone cladding does not require painting, coating or sealing after installation**.

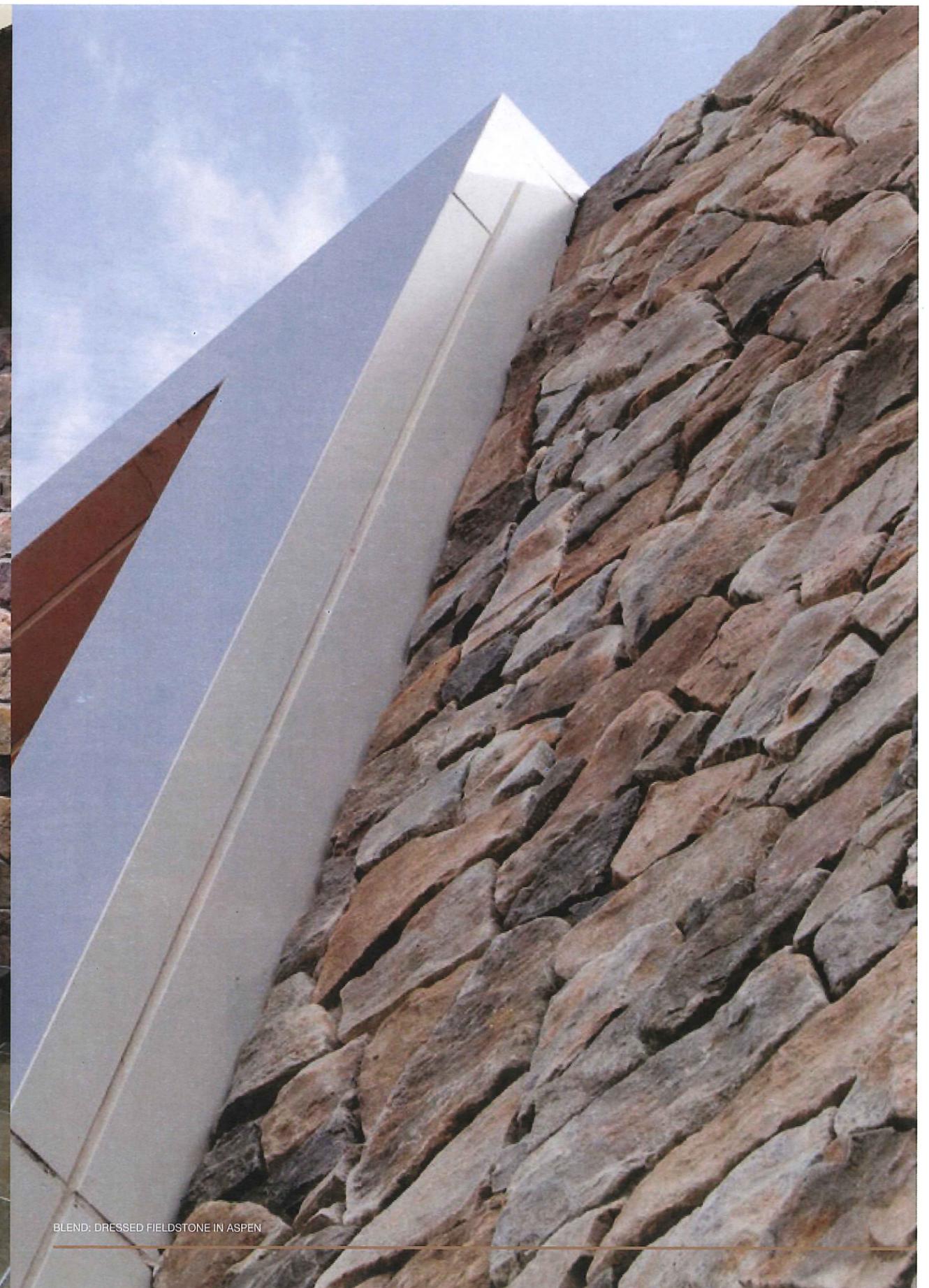


BLEND: DRESSED FIELDSTONE AND SOUTHERN LEDGESTONE IN CHARDONNAY

* 50 year (limited) warranty. Please refer to the full warranty available at the time of supply. ** See Technical Information Guide for applications prone to smoke, soot, dirt or water splashing.



BLEND: DRESSED FIELDSTONE IN ASPEN AND CHARDONNAY



BLEND: DRESSED FIELDSTONE IN ASPEN



12 EASE OF USE

A STONE THAT WORKS FOR YOU

Through clever engineering, Cultured Stone weighs much less than natural stone so it is easier to lift and install on a wider range of surfaces. Cultured Stone is a great way to highlight design details regardless of the architectural styles you are working with.

Boral can recommend a list of preferred installers who can provide expert advice and a competitive quote. For more information call 1300 134 002.

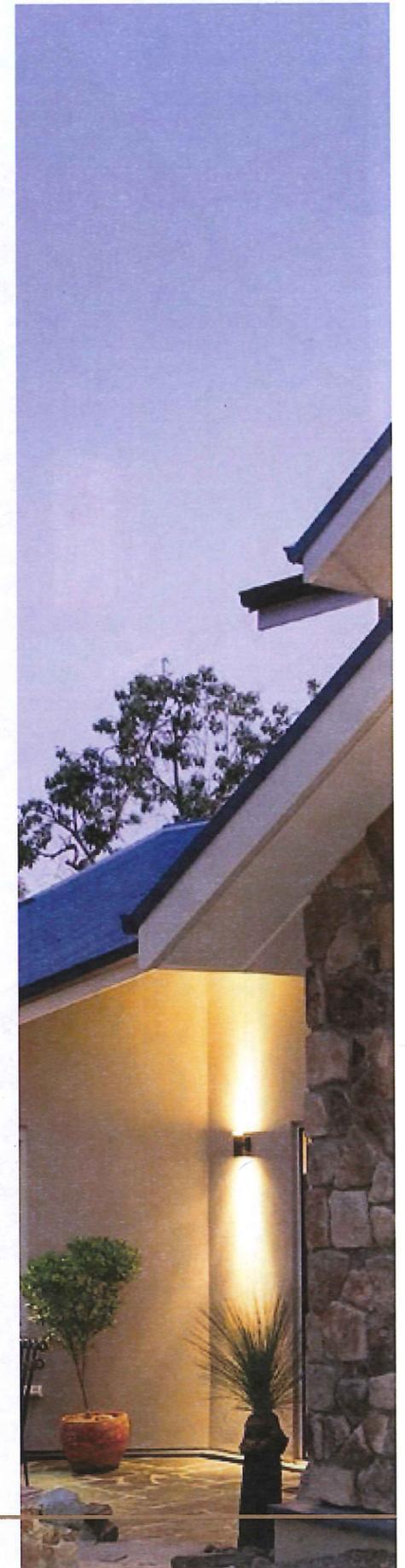


13 CARE AND MAINTENANCE

CHANGE THE WAY YOU WORK WITH STONE

Once installed, Cultured Stone cladding is virtually maintenance free. There is no painting, coating and sealing required after installation**.

Boral's quality control measures, choice of raw materials, ensure that professionally installed Cultured Stone will stand up to Australia's tough climate. For added peace of mind, Boral Cultured Stone is supplied with a 50 year (limited) warranty.*



* Please refer to the full warranty available at the time of supply. ** See Technical Information Guide for applications prone to smoke, soot, dirt or water splashing.



BLEND: DRESSED FIELDSTONE IN ASPEN AND CHARDONNAY

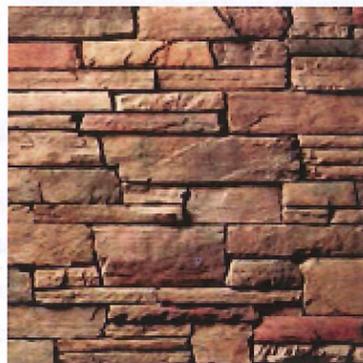
Photographer: Matthew Mallatt

15 SWATCH GALLERY

COUNTRY LEDGESTONE



ASPEN



CHARDONNAY



BLACK RUNDLE



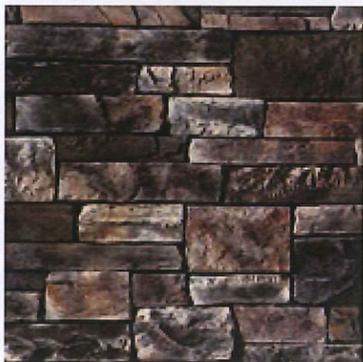
BUCKS COUNTY



ECHO RIDGE

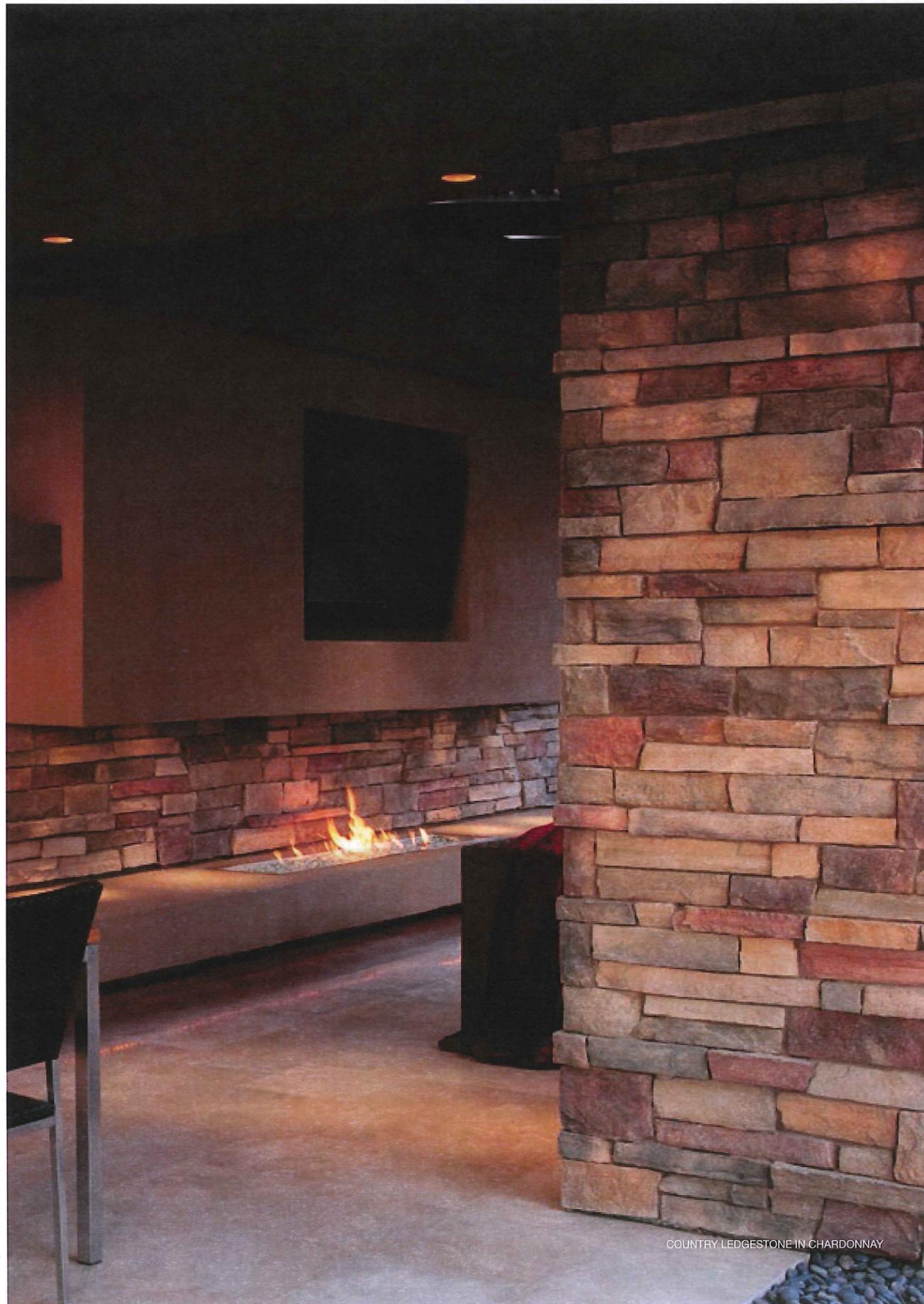


WHITE OAK



WOLF CREEK

THE EXTENSIVE PALETTE OF INSTALLER-FRIENDLY COUNTRY LEDGESTONE STONE VENEER DIFFERENTIATES ONE LEDGESTONE FROM ANOTHER. IT ALSO PROVIDES A MORE SUBTLE BLEND OF COLOUR, FOR A BOLDER, MORE RANDOM LOOK.



COUNTRY LEDGESTONE IN CHARDONNAY

17 SWATCH GALLERY



PRO-FIT™ STONE IN CHARDONNAY

PRO-FIT™ ALPINE LEDGESTONE



BLACK MOUNTAIN



CHARDONNAY

PRO-FIT™ ALPINE LEDGESTONE STONE CLADDING PROVIDES A RUSTIC OUTDOOR LOOK THAT'S EASY TO INSTALL. THIS PRECISE, RUGGED LEDGESTONE TEXTURE PROVIDES COLOUR AND SHADOW CREATION FOR A VARIETY OF DESIGN OPPORTUNITIES.



PRO-FIT™ LEDGESTONE



MOJAVE



PLATINUM



SHALE



SOUTH-WEST BLEND



19 SWATCH GALLERY

BLEND: DRESSED FIELDSTONE IN ASPEN AND CHARDONNAY
SOUTHERN LEDGESTONE IN ASPEN

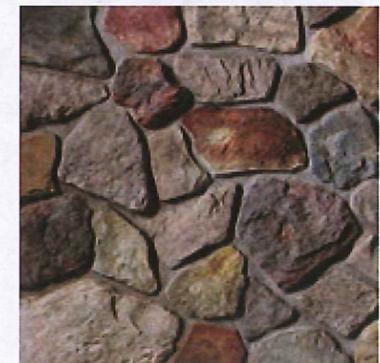
DRESSED FIELDSTONE



ASPEN



BUCKS COUNTY



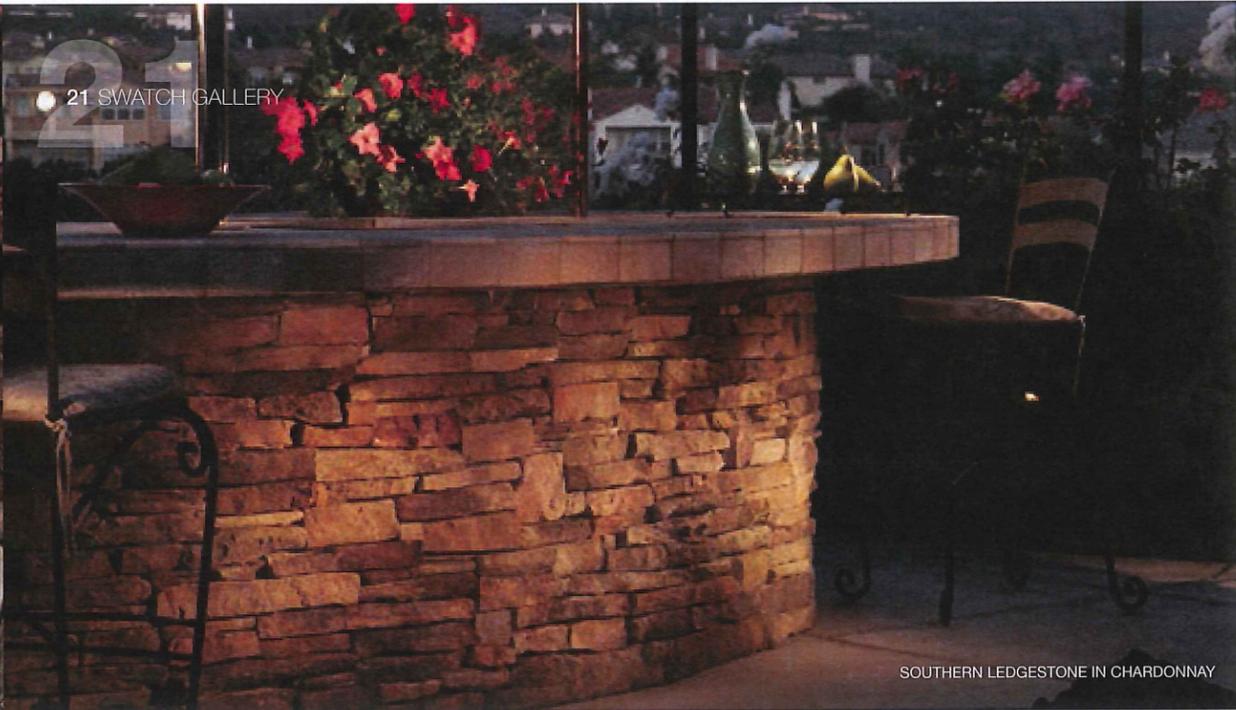
CHARDONNAY

PRO-FIT™ LEDGESTONE STONE CLADDING IS A PRACTICAL WAY TO ACHIEVE A CUSTOM LOOK. SMALL-SCALE, LOW-RELIEF STONE CLADDINGS ARE METICULOUSLY BUNDLED TOGETHER TO FORM MODULAR COMPONENTS OF EQUAL HEIGHTS. THE COMPONENT PIECES FEATURE A PATENTED INTERLOCKING MORTAR GROOVE FOR A SECURE ADHESION WITHOUT GROUTED JOINTS.

THE RUGGED LOOK OF DRESSED FIELDSTONE STONE CLADDING COMPLEMENTS ANY NATURAL ENVIRONMENT. ITS RICH TEXTURE AND RANGE OF COLOUR ENHANCE A MULTITUDE OF ARCHITECTURAL DESIGNS.



BLEND: DRESSED FIELDSTONE IN ASPEN AND CHARDONNAY
SOUTHERN LEDGESTONE IN ASPEN



SOUTHERN LEDGESTONE IN CHARDONNAY

SOUTHERN LEDGESTONE



ASPEN



BUCKS COUNTY

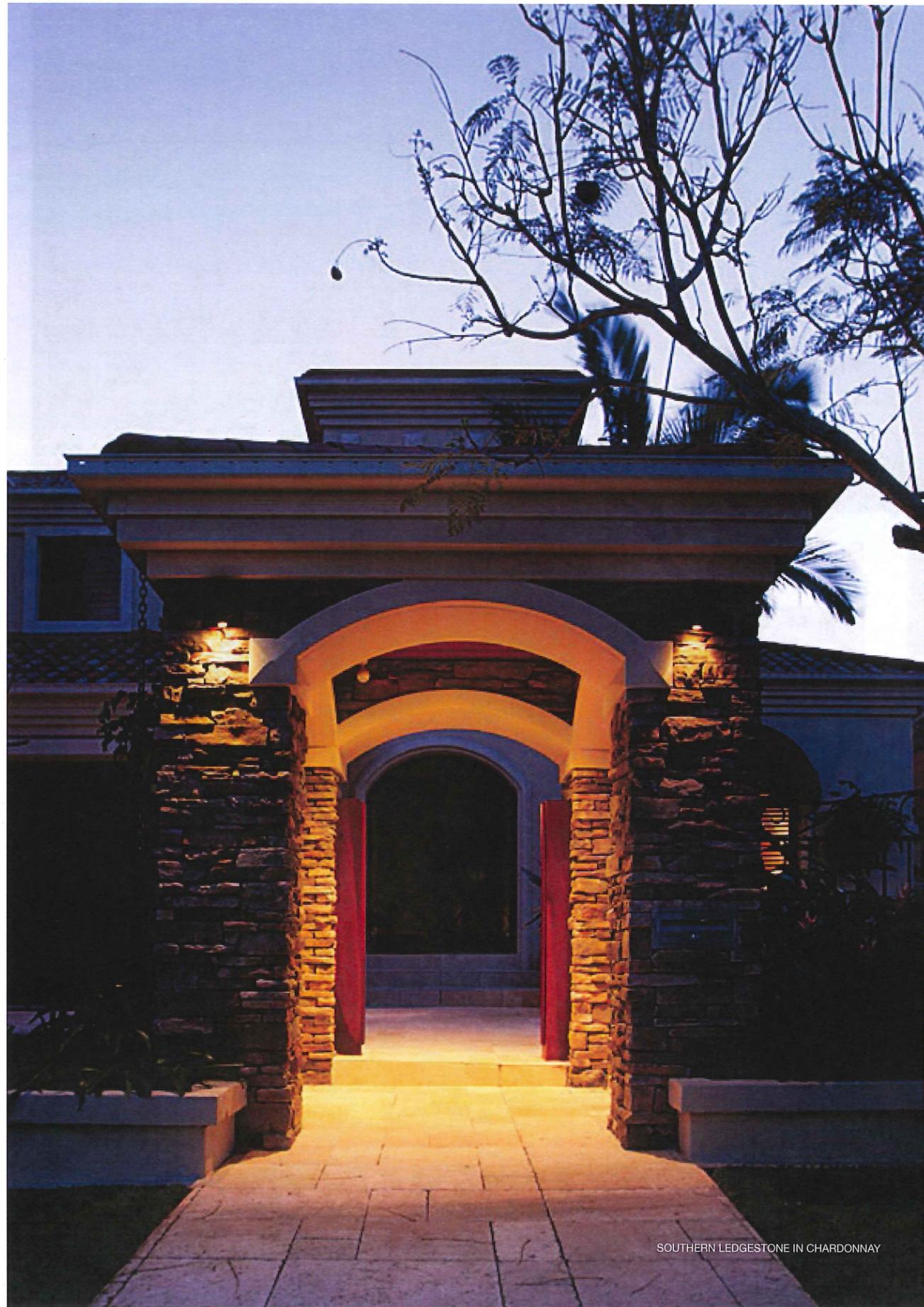


CHARDONNAY



ECHO RIDGE

SOUTHERN LEDGESTONE STONE CLADDING OFFERS A RUGGED AND INFORMAL APPEAL WITH ITS ROUGH TEXTURE AND DELIBERATE IRREGULARITY. TIGHT-FITTED OR MORTARED, SOUTHERN LEDGESTONE CAN BE USED TO ACHIEVE A NUMBER OF UNIQUE LOOKS.



SOUTHERN LEDGESTONE IN CHARDONNAY



CORAL STONE IN FOSSIL REEF

COBBLEFIELD™



TEXAS CREAM

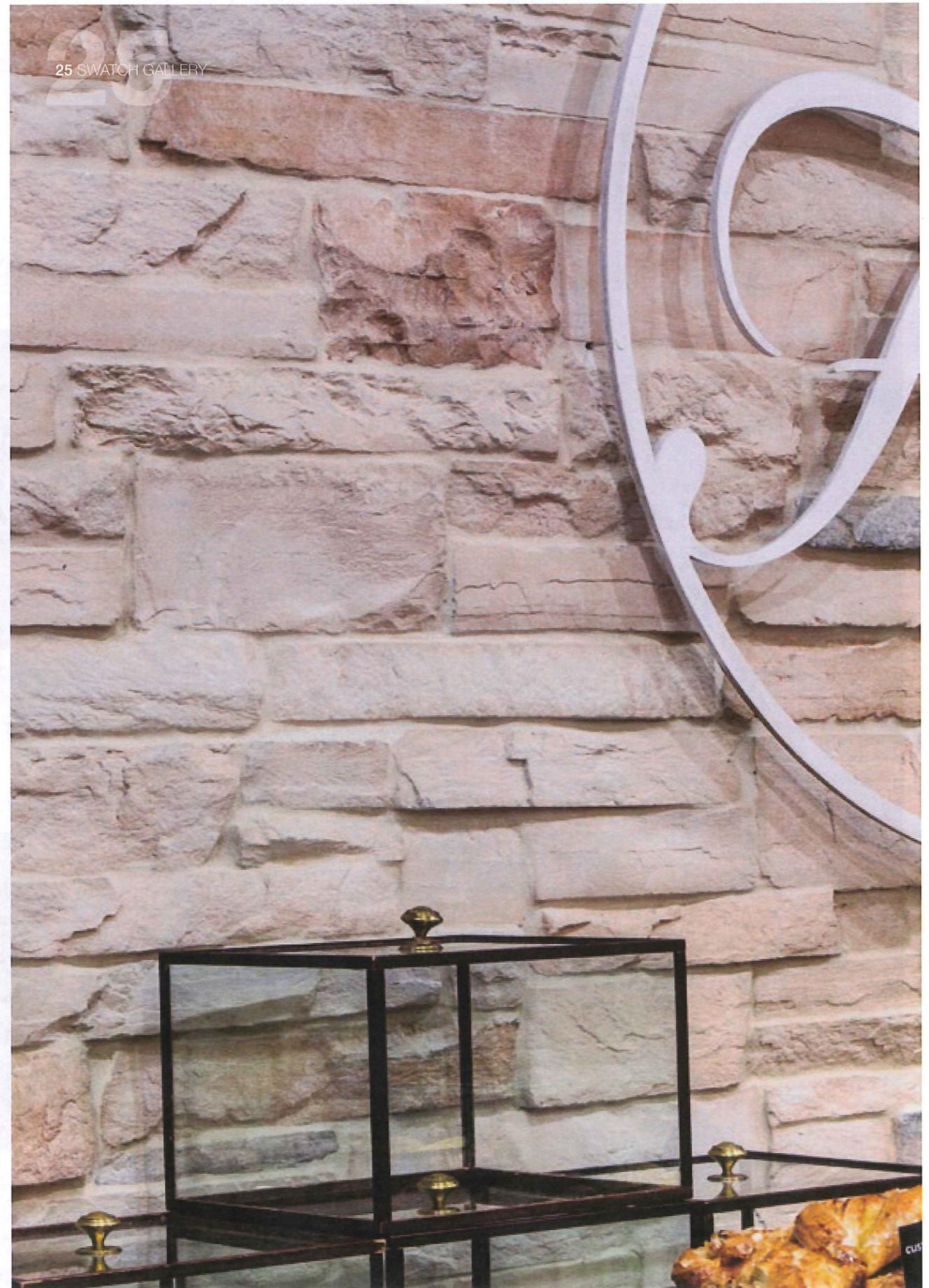
THE DISTINCTIVE LOOK OF COBBLEFIELD™ STONE CLADDING IS AT HOME IN RESIDENTIAL OR COMMERCIAL SETTINGS.

CORAL STONE



FOSSIL REEF

THE DELICATE FOSSIL PATTERNS AND UNIQUE SURFACE CHARACTERISTICS OF CORAL STONE CLADDING COMPLEMENT CONTEMPORARY ARCHITECTURE AND DESIGN. IT CAN BE INSTALLED AS A RANDOM ASHLAR OR IN A REPEATING PATTERN.





27

THE CULTURED STONE COLLECTION

THE COLLECTION

Cultured Stone claddings come in a wide variety of shapes, colours, sizes and textures to satisfy the most exacting tastes. Each texture is cast in the mold of a natural stone and meticulously hand-coloured to give it a visual authenticity that can't be matched. Whether a project is interior or exterior, commercial or residential, there's a Cultured Stone cladding solution that's just right.



COUNTRY LEDGESTONE

The extensive palette of installer-friendly Country Ledgestone stone cladding differentiates one ledgestone from another. It also provides a more subtle blend of colour. For a bolder, more random look, pair with Dressed Fieldstone stone cladding in matching or complementary colours.
Shown: Wolf Creek Country Ledgestone



DRESSED FIELDSTONE

The rugged look of Dressed Fieldstone stone cladding complements any natural environment. Its rich texture and range of colour enhance a multitude of architectural designs.
Shown: Aspen Dressed Fieldstone



PRO-FIT™ ALPINE LEDGESTONE

Pro-Fit™ Alpine Ledgestone stone cladding provides a rustic outdoor look that's easy to install. This precise, rugged ledgestone texture provides colour and shadow creation for a variety of design opportunities.
Shown: Black Mountain Pro-Fit™ Alpine Ledgestone



SOUTHERN LEDGESTONE

Southern Ledgestone stone cladding offers a rugged and informal appeal with its rough texture and deliberate irregularity. Tight-fitted or mortared, Southern Ledgestone can be used to achieve a number of unique looks.
Shown: Aspen Southern Ledgestone



PRO-FIT™ LEDGESTONE

Pro-Fit™ Ledgestone stone cladding is a practical way to achieve a custom look. Small-scale, low-relief stone claddings are meticulously bundled together to form modular components of equal heights. The component pieces feature a patented interlocking mortar groove for a secure adhesion without grouted joints.
Shown: Shale Pro-Fit™ Ledgestone



COBBLEFIELD™

The distinctive look of Cobblefield™ stone cladding is at home in residential or commercial settings.
Shown: Texas Cream Cobblefield™

COUNTRY LEDGESTONE IN WHITE OAK



BLEND: DRESSED FIELDSTONE IN ASPEN AND CHARDONNAY
SOUTHERN LEDGESTONE IN ASPEN

PLANNING YOUR PROJECT

Realising your vision for your home might be easier than you think. Whether you're working with an architect or a designer, hiring an installer, or planning to do it yourself, Cultured Stone manufactured stone cladding is a great way to bring your dreams to life.

HERE ARE SOME OF THE THINGS YOU'LL WANT TO CONSIDER AS YOU'RE PLANNING YOUR PROJECT:



CORAL STONE

The delicate fossil patterns and unique surface characteristics of Coral Stone cladding complement contemporary architecture and design beautifully. It can be installed as a random ashlar or in a repeating pattern.
Shown: Fossil Reef Coral Stone

ACCESSORIES



Water table/Sill
shown in Taupe
Nominal size 63.5mm x 457.2mm



Gray Taupe



254mm x 508mm Flat Textured
Capstones shown in Taupe.



Gray Taupe

STYLE

Consider the style, size and surroundings of your home. With so many options, there's sure to be a Cultured Stone cladding stone texture and colour that's the perfect complement.

TEXTURE

Utilising different textures can create a dramatic effect indoors or out. That's why there are so many Cultured Stone cladding stone options to choose from, including:

- Ledge
- Rubble
- Random Ashlar
- Field
- Ashlar

COLOUR

Are you looking for neutral or warm? Vibrant or muted? What about a diverse palette? Cultured Stone cladding stone is available in a stunning variety of colours. You can even blend two or more textures or colourways to create a distinctive result.

TRIM

A selection of Cultured Stone cladding accessory products are available to put the finishing touch on your project.

GROUT

The colour of the mortar you use can have a big impact on the overall look of the project. It can blend with the stone cladding or complement the colourway and make it stand out.

While some Cultured Stone cladding stone textures are designed to be installed only with or without the standard 12mm mortar joint, others may be installed using a variety of techniques for greater design flexibility. Among the most popular installation techniques are dry stacked, tight-fitted stone without a mortar joint; standard 12mm mortar joint finished in a variety of ways (e.g., raked, full to face, overgrouted, or various forms of weeping joints); and wide joint, usually full to face or overgrouted.

INSTALLATION

A list of preferred installers in your area is available call 1300 134 002.

To review installation instructions and the installation video on our website: www.boral.com.au/stone



contact us

To locate your nearest **Boral** stockist, to receive brochures or to learn more about our products, call **1300 134 002** or visit our website at **www.boral.com.au/stone**

ACCESSORY COLOUR MATCHING GUIDE

LEDGE	COLOURS	ACCESSORIES
COUNTRY LEDGESTONE	ASPEN BLACK RUNDLE BUCKS COUNTY CHARDONNAY ECHO RIDGE WHITE OAK WOLF CREEK	TAUPE GRAY & TAUPE
PRO-FIT ALPINE	BLACK MOUNTAIN CHARDONNAY	GRAY TAUPE
PRO-FIT™	MOJAVE PLATINUM SHALE SOUTHWEST BLEND	GRAY & TAUPE TAUPE
FIELD	COLOURS	ACCESSORIES
DRESSED FIELDSTONE	ASPEN BUCKS COUNTY CHARDONNAY	TAUPE
RUBBLE	COLOURS	ACCESSORIES
SOUTHERN LEDGESTONE	ASPEN BUCKS COUNTY CHARDONNAY ECHO RIDGE	TAUPE GRAY
RANDOM ASHLAR	COLOURS	ACCESSORIES
COBBLEFIELD™	TEXAS CREAM	TAUPE
CORAL STONE	FOSSIL REEF	TAUPE

Shade variations can occur from batch to batch. Colours shown are indicative only and should not be used for final selection. Not all colours are available in every region for each product. See your retailer for colours available in your region. Products ordered should be chosen from actual samples current at the time of order and are subject to availability. Photographs in this brochure are only representative of Boral products and the appearance and effect that may be achieved by their use. Samples brochure and displays should be viewed as a guide only. Customers should ensure all delivered products are acceptable, and any concerns about products are made prior to laying. © Copyright Boral Masonry Limited – all rights reserved 2011. Boral, the Boral logo, boral.com.au are trademarks or registered trademarks of Boral Limited or Boral Masonry Limited in Australia, other countries or both. Cultured Stone® is a trademark or registered trade mark of Boral Stone Products LLC. If these and other Boral trade marked terms are marked on their first occurrence in this information with a trade mark symbol (® or ™), these symbols indicate Australian registered or common law trade marks owned by Boral at the time this information was published. Such trade marks may also be registered or common law trade marks in other countries. Other product, company or service names may be trade marks or service marks of others. Boral Masonry Limited ABN 13 000 223 718. Correct as at June 30th 2014.

Siding & Exterior Trim

MIDWEST
Product Catalog

COLOR

PRODUCTS

ABOUT JAMES HARDIE

JamesHardie
Siding | Trim

Achieve authentic character and
UNCOMPROMISING PERFORMANCE.

Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
--------------------	----------------------	--------------------------------	-----------------------------	----------	--------------



Installed on over 5.5 million homes from coast to coast, James Hardie® fiber cement siding products are designed to resist the most extreme conditions while romancing the senses. Enjoy the warm, natural character of wood with unprecedented peace of mind. It's easy to see what makes James Hardie the market leader.

UNIQUE FORMULATION

We use the highest quality raw materials and proprietary additives for enhanced strength and moisture protection.

FINISHING TECHNOLOGY

Baked-on color delivers a beautiful finish that resists fading and makes a lasting impression.

COMPLETE EXTERIOR™

Offers homeowners an unrivaled collection of design options with exceptional warranties through a single, trusted manufacturer.

It's time to
BUILD SOMETHING TIMELESS.

		ABOUT JAMES HARDIE	PRODUCTS	COLOR	
Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
● HardieZone® System		HZ5® Substrate			

HardieZone® System

Only James Hardie fiber cement products are Engineered for Climate®. In the northern U.S. and Canada, HZ5® products resist shrinking, swelling and cracking even after years of wet or freezing conditions. HZ10® products help protect homes from hot, humid conditions, blistering sun and more.

With James Hardie siding and trim, homeowners have an exterior that's tougher than the elements and easy on the eyes.

NO MATTER WHAT NATURE BRINGS



		ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
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● HardieZone® System	HZ5® Substrate		
<p>Resist the elements WITH IRRESISTIBLE CHARM.</p>			

JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
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HardieZone® System	● HZ5® Substrate
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Unique Formulation HZ5® Substrate

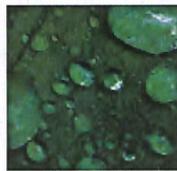
Not all fiber cement is the same. The James Hardie HZ5 product formulation contains the highest quality raw materials. Proprietary additives, combined with an innovative manufacturing process and product design, create a substrate specifically engineered to reduce water absorption and resist damage from wet or freezing conditions.

PROPRIETARY ENHANCEMENTS CREATE THE MOST DURABLE JAMES HARDIE® SIDING EVER MADE



Perfect balance of strength and workability

Our balance of high-quality Portland cement, sand and cellulose fiber delivers the best combination of strength and workability.



Enhanced moisture resistance for unmatched durability

Patented and proprietary additives are chemically bonded within the HZ5 substrate matrix to provide durable moisture resistance.



Increased dimensional stability

Our siding is engineered at the microscopic level to create a fiber cement composite with superior dimensional stability that helps protect against shrinking and splitting.

JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
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HardieZone® System

● HZ5® Substrate



The advanced design of HZ5 lap siding improves drainage from top to bottom. In addition to our product formulation's enhanced moisture resistance, HardiePlank® HZ5 lap siding features a modified profile with a sloped top and bullnose drip edge for improved drainage over the entire outer face of the board.



Sloped Top

Positive slope at top drains moisture to outer face of lap



Profiled Drip Edge

Bottom bullnose drip edge allows moisture to drain away from lap

Integrity is ingrained
IN EVERYTHING WE DO.



ABOUT JAMES HARDIE

PRODUCTS

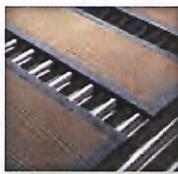
COLOR

Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
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Finishing Technology ColorPlus® Technology

Our advanced ColorPlus® Technology finishes deliver the ultimate in aesthetics and performance to your job site. Our products aren't simply painted at the factory. Multiple coats of color are baked onto the board, creating a vibrant, consistent finish for years of lasting character, adhesion and fade resistance.

GIVES HOMES A **BEAUTIFUL, CONSISTENT COATING** THAT PERFORMS BETTER, LASTS LONGER AND LOOKS BRIGHTER



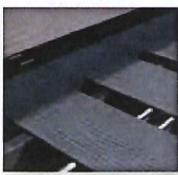
Superior finish adhesion

Our proprietary coating is engineered for superior adhesion to our substrate and applied to all surfaces, edges and features for durable performance.



Superior color retention

Finish is cured onto boards after each coating step for a stronger bond, which allows for exceptional resistance to cracking, peeling and chipping.



Superior UV resistance

Multi-coat, baked-on finish retains its vibrancy longer when compared to vinyl siding and paint on other siding products in all UV conditions.



ABOUT JAMES HARDIE

PRODUCTS

COLOR

Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
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ColorPlus® Technology

Our finishes help eliminate stress and reduce costly weather delays when it's too cold or damp to paint for extended periods. And there's no reason to question whether or not sub-optimal painting conditions will negatively affect your paint job. In fact, there's no longer any need to paint on-site during installation.

ColorPlus Technology finishes are fully cured in a controlled environment and arrive on your job site ready for year-round installation.



For timeless beauty
BEGIN WITH THE FINISH.



ABOUT JAMES HARDIE

PRODUCTS

COLOR

Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
--------------------	----------------------	--------------------------------	-----------------------------	----------	--------------

100% HARDIE Complete Exterior™

Top to bottom, our exterior product line is defined by excellent performance, aesthetics and design options.

Provide protection from the elements, showcase a homeowner's individual style and install peace of mind with exceptional warranties through a single, trusted manufacturer.



Your homes mean everything
BUILD 100% HARDIE™



ABOUT JAMES HARDIE

PRODUCTS

COLOR

Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
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See the James Hardie Difference



James Hardie invented fiber cement. Over 5.5 million installations later, we continue to set the standard in premium, high-performance exterior cladding. Our products deliver uncompromising durability and finish quality for a beautiful, lower maintenance exterior.

Our unrivaled investment in R&D and constant innovations in product design, manufacturing and distribution allow us to remain steps ahead of the competition. With the support of our people, partners and exceptional warranties, we're committed to protecting your customers' homes while helping your business grow.

As unforgettable
AS IT IS UNCOMPROMISING.

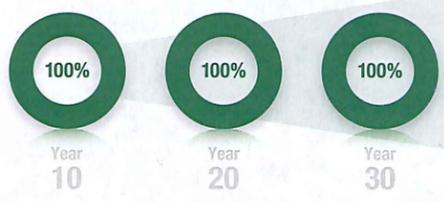
JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
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Warranty

James Hardie Non-Prorated Siding Warranty Coverage



Protect your home with North America's #1 brand of siding backed by exceptional warranties. Unlike other brands, James Hardie doesn't prorate our siding warranty coverage. We stand behind our siding 100% for 30 years.

ColorPlus Technology finishes and HardieTrim boards come with 15-year limited warranties.

Make every home
AN EXPRESSION OF YOUR CHARACTER.

JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Unique Formulation	Finishing Technology	100% HARDIE Complete Exterior™	The James Hardie Difference	Warranty	Endorsements
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Endorsements – a reputation built on trust

For decades, our fiber cement products have been used to create better places to live. Each new home stands as a testament to our uncompromising quality. That proven track record has earned the loyalty of millions of homeowners and the endorsements of trusted authorities across the building industry.*



Chosen by builders as a **Brand Leader** in **Builder Magazine** since 2009



Featured on the **DIY Network's Blog Cabin** since 2012



#1 Return on Investment every year since 2005 in **Remodeling Magazine****



HardiePlank lap siding is backed by the **Good Housekeeping Seal**

*Endorsements are accurate as of 2015.

**Remodeling magazine's 'Cost vs. Value Report' states that re-siding a home with fiber cement siding provides the #1 return on investment for projects in the upscale category.

JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Siding	Trim	Soffit	HardieWrap®	Finishing Touches
--------	------	--------	-------------	-------------------

● HardiePlank® Lap Siding

HardiePanel® Vertical Siding

HardieShingle® Siding

HardiePlank®

Sleek and strong, HardiePlank® lap siding is not just our best-selling product – it's the most popular brand of siding in America.

With a full spectrum of colors and textures, homeowners can enjoy protection from the elements and the versatility to make their dream home a reality. From Victorians to Colonials, HardiePlank lap siding sets the standard in exterior cladding.

A classic look for
THE HOME OF THEIR DREAMS.

JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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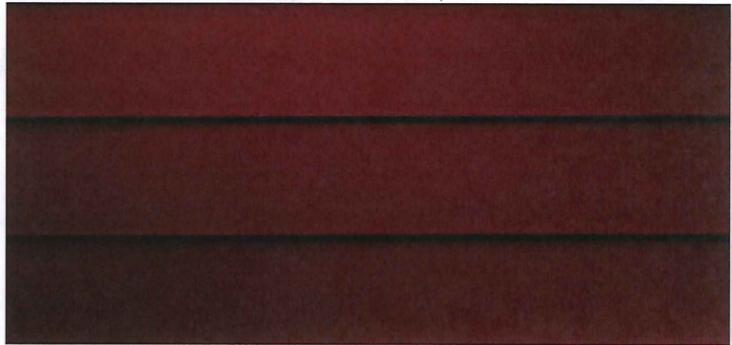
Siding	Trim	Soffit	HardieWrap®	Finishing Touches
--------	------	--------	-------------	-------------------

● HardiePlank® Lap Siding	HardiePanel® Vertical Siding	HardieShingle® Siding
---------------------------	------------------------------	-----------------------

SELECT CEDARMILL®
Khaki Brown



SMOOTH
Countrylane Red



BEADED CEDARMILL®*
Light Mist



BEADED SMOOTH*
Heathered Moss



Products are available primed or with ColorPlus Technology finishes. For more details, visit jameshardie.com

	ABOUT JAMES HARDIE	PRODUCTS	COLOR
--	--------------------	----------	-------

Siding	Trim	Soffit	HardieWrap®	Finishing Touches
--------	------	--------	-------------	-------------------

● HardiePlank® Lap Siding	HardiePanel® Vertical Siding	HardieShingle® Siding
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SELECT CEDARMILL®
Khaki Brown

Thickness	5/16 in.					
Length	12 ft. planks					
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.	9.25 in.*	12 in.**
Exposure	4 in.	5 in.	6 in.	7 in.	8 in.	10.75 in.
ColorPlus Pcs./Pallet	324	280	252	210		
Prime Pcs./Pallet	360	308	252	230	190	152
Pcs./Sq.	25.0	20.0	16.7	14.3	12.5	9.3

Available Colors

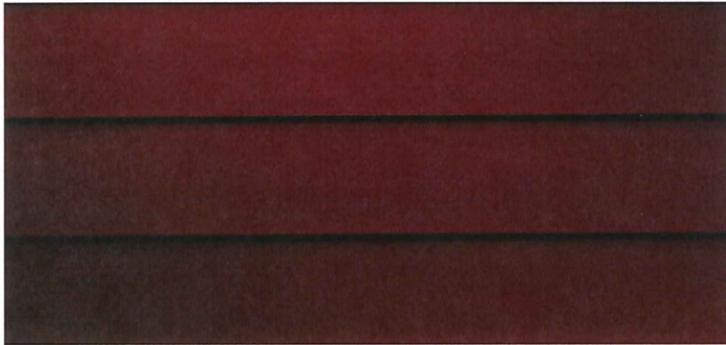


[View all HardiePlank Lap Siding Products](#)

*9.25 in. only available primed.
**12 in. only available primed and in select areas.

	ABOUT JAMES HARDIE	PRODUCTS	COLOR
--	--------------------	----------	-------

Siding	Trim	Soffit	HardieWrap®	Finishing Touches
● HardiePlank® Lap Siding		HardiePanel® Vertical Siding		HardieShingle® Siding



SMOOTH

Countrylane Red

Thickness	5/16 in.					
Length	12 ft. planks					
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.	9.25 in.*	12 in.**
Exposure	4 in.	5 in.	6 in.	7 in.	8 in.	10.75 in.
ColorPlus Pcs./Pallet	324	280	252	210		
Prime Pcs./Pallet	360	308	252	230	190	152
Pcs./Sq.	25.0	20.0	16.7	14.3	12.5	9.3

Available Colors



[View all HardiePlank Lap Siding Products](#)

*9.25 in. only available primed.
 **12 in. only available primed and in select areas.

	ABOUT JAMES HARDIE	PRODUCTS	COLOR
--	--------------------	----------	-------

Siding	Trim	Soffit	HardieWrap®	Finishing Touches
HardiePlank® Lap Siding	● HardiePanel® Vertical Siding	HardieShingle® Siding		

HardiePanel®

HardiePanel® vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.

True to the tradition of
PERFORMANCE AND BEAUTY.

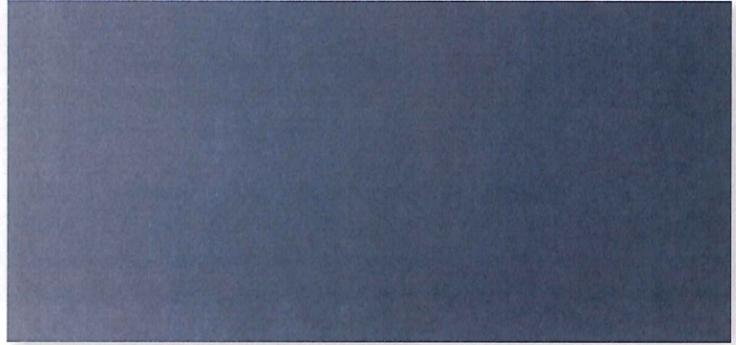
	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Siding	Trim	Soffit	HardieWrap®	Finishing Touches
HardiePlank® Lap Siding		● HardiePanel® Vertical Siding	HardieShingle® Siding	

SELECT CEDARMILL®
Navajo Beige



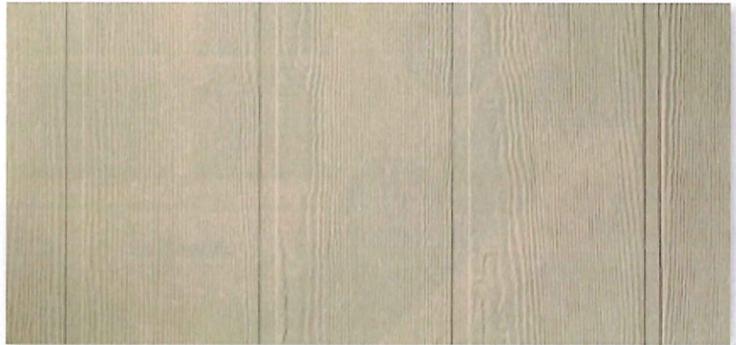
SMOOTH
Evening Blue



STUCCO
Navajo Beige

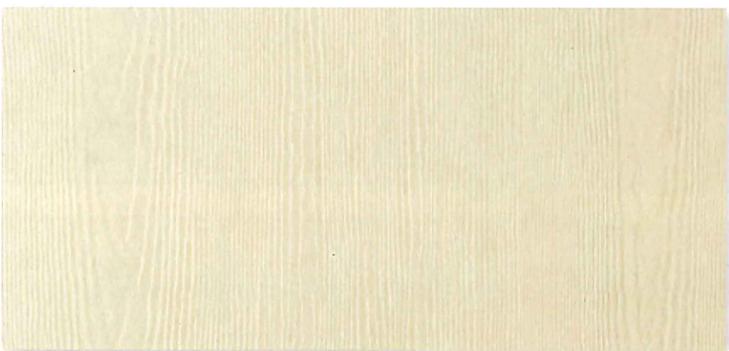


SIERRA 8
Not available with ColorPlus Technology



Products are available primed or with ColorPlus Technology finishes. For more details, visit jameshardie.com

	ABOUT JAMES HARDIE	PRODUCTS	COLOR	
Siding	Trim	Soffit	HardieWrap®	Finishing Touches
HardiePlank® Lap Siding		● HardiePanel® Vertical Siding	HardieShingle® Siding	



SELECT CEDARMILL®
Navajo Beige

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5

Available Colors

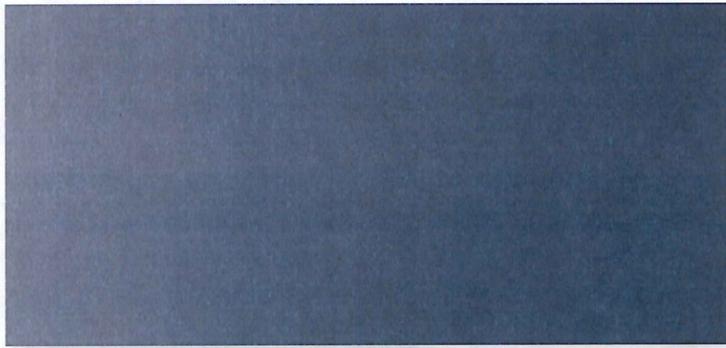


[View all HardiePanel Vertical Siding Products](#)

*4 ft. x 9 ft. HardiePanel vertical siding only available primed.

	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Siding	Trim	Soffit	HardieWrap®	Finishing Touches
HardiePlank® Lap Siding		● HardiePanel® Vertical Siding	HardieShingle® Siding	



SMOOTH

Evening Blue

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5

Available Colors



[View all HardiePanel Vertical Siding Products](#)

*4 ft. x 9 ft. HardiePanel vertical siding only available primed.

 JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR	
Siding	Trim	Soffit	HardieWrap®	Finishing Touches
HardiePlank® Lap Siding		● HardiePanel® Vertical Siding	HardieShingle® Siding	



STUCCO

Navajo Beige

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5

Available Colors

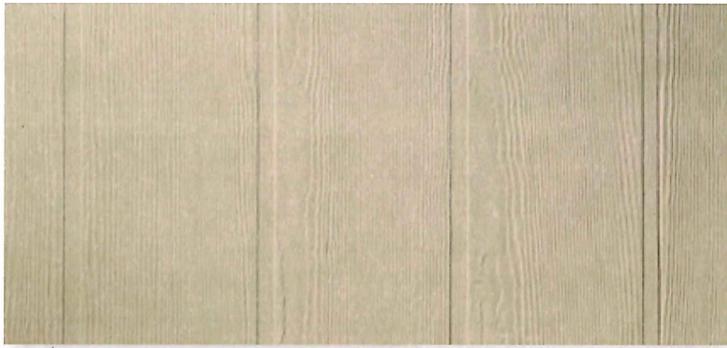


[View all HardiePanel Vertical Siding Products](#)

*4 ft. x 9 ft. HardiePanel vertical siding only available primed.

 JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR
---	--------------------	----------	-------

Siding	Trim	Soffit	HardieWrap®	Finishing Touches
HardiePlank® Lap Siding		● HardiePanel® Vertical Siding		HardieShingle® Siding



SIERRA 8

Not available with ColorPlus Technology

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5

[View all HardiePanel Vertical Siding Products](#)

*4 ft. x 9 ft. HardiePanel vertical siding only available primed.

	ABOUT JAMES HARDIE	PRODUCTS	COLOR
--	--------------------	----------	-------

Siding	Trim	Soffit	HardieWrap®	Finishing Touches
HardiePlank® Lap Siding		HardiePanel® Vertical Siding		● HardieShingle® Siding

HardieShingle®

Restore the look of a grand Cape Cod or add distinction to a handsome bungalow. HardieShingle® siding embodies the enchanting look of cedar shingles with lower maintenance.

Better than the real thing, HardieShingle siding resists rotting, curling, warping and splitting.

Achieve the handcrafted
LOOK OF CEDAR.

	ABOUT JAMES HARDIE	PRODUCTS	COLOR
--	--------------------	----------	-------

Siding	Trim	Soffit	HardieWrap®	Finishing Touches
HardiePlank® Lap Siding		HardiePanel® Vertical Siding		● HardieShingle® Siding

STAGGERED EDGE PANEL

Chestnut Brown



STRAIGHT EDGE PANEL

Iron Gray



HALF ROUNDS*

Not available with ColorPlus Technology



*Half rounds are only available in Minneapolis, Detroit, Kentucky, and St. Louis districts. Products are available primed or with ColorPlus Technology finishes. For more details, visit jameshardie.com

 JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR	
Siding	Trim	Soffit	HardieWrap®	Finishing Touches
HardiePlank® Lap Siding		HardiePanel® Vertical Siding		● HardieShingle® Siding



STAGGERED EDGE PANEL

Chestnut Brown

Thickness	1/4 in.
Length	48 in.
Height	15.25 in.
Exposure	6 in.
Pcs./Pallet	100
Sq./Pallet	2
Pcs./Sq.	50.0

Available Colors



[View all HardieShingle Siding Products](#)

 JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Siding	Trim	Soffit	HardieWrap®	Finishing Touches
HardiePlank® Lap Siding		HardiePanel® Vertical Siding		● HardieShingle® Siding



STRAIGHT EDGE PANEL

Iron Gray

- Thickness 1/4 in.
- Length 48 in.
- Height 15.25 in.
- Exposure 7 in.
- Pcs./Pallet 86
- Sq./Pallet 2
- Pcs./Sq. 43.0

Available Colors



[View all HardieShingle Siding Products](#)

	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Siding	Trim	Soffit	HardieWrap®	Finishing Touches
--------	------	--------	-------------	-------------------

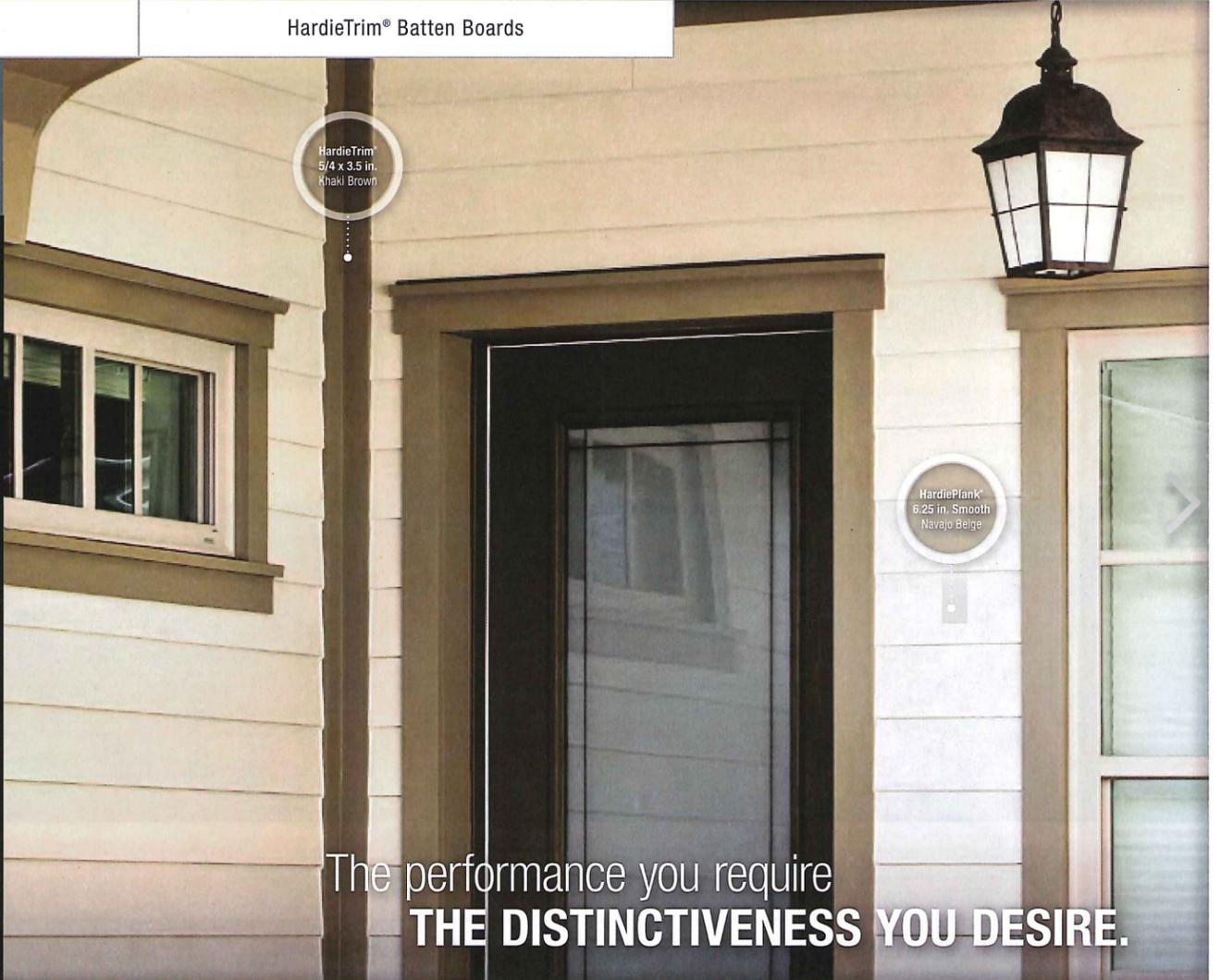
● HardieTrim® Boards

HardieTrim® Batten Boards

HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

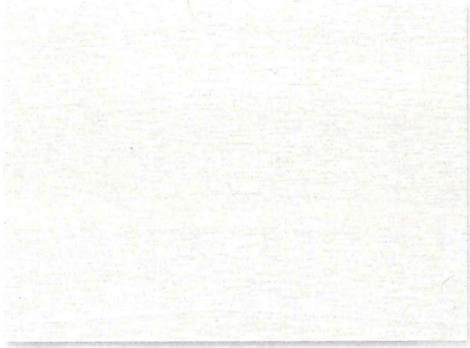
Better than wood, it will complement your long-lasting, lower maintenance James Hardie siding – adding punctuation to your design statement.



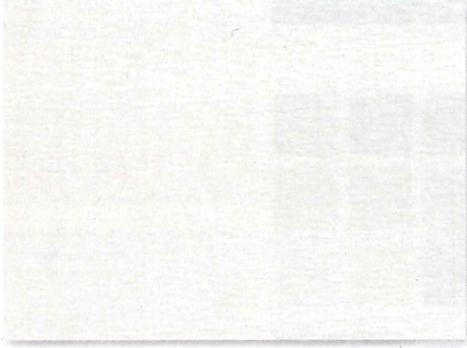
The performance you require
THE DISTINCTIVENESS YOU DESIRE.

	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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4/4 NT3® SMOOTH
Arctic White



5/4 NT3® SMOOTH
Arctic White



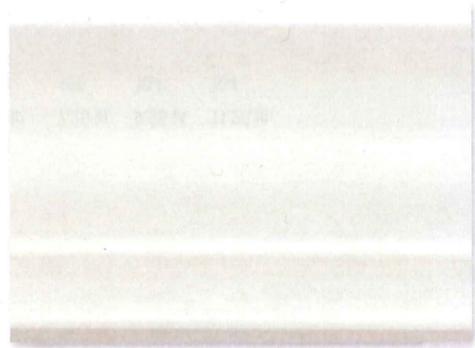
4/4 NT3® ROUGHSAWN
Arctic White



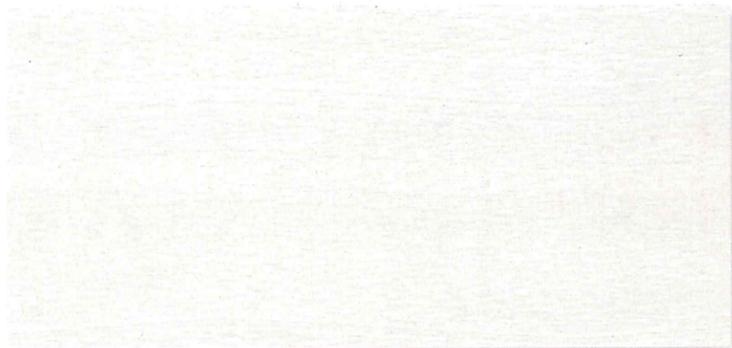
5/4 NT3® ROUGHSAWN
Arctic White



CROWN MOULDING
Arctic White



Products are available primed or with ColorPlus Technology. For more details, visit jameshardie.com



4/4 NT3® SMOOTH
Arctic White

Thickness	.75 in.				
Length	12 ft. boards				
Width	3.5 in.	5.5 in.	7.25 in.	9.25 in.	11.25 in.
Pcs./Pallet	312	208	156	104	104

Available Colors



View all HardieTrim Boards



5/4 NT3® SMOOTH

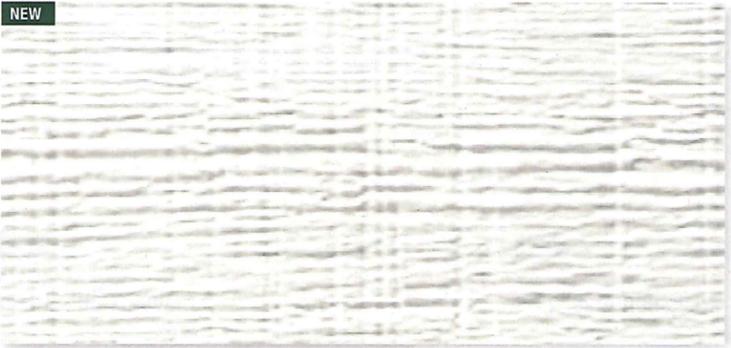
Arctic White

Thickness	1 in.					
Length	12 ft. boards					
Width	3.5 in.	4.5 in.	5.5 in.	7.25 in.	9.25 in.	11.25 in.
Pcs./Pallet	240	200	160	120	80	80

Available Colors



[View all HardieTrim Boards](#)



4/4 NT3® ROUGHSAWN

Arctic White

Thickness	.75 in.				
Length	12 ft. boards				
Width	3.5 in.	5.5 in.	7.25 in.	9.25 in.	11.25 in.
Pcs./Pallet	312	208	156	104	104

Available Colors



[View all HardieTrim Boards](#)



5/4 NT3® ROUGHSAWN
Arctic White

Thickness	1 in.				
Length	12 ft. boards				
Width	3.5 in.	5.5 in.	7.25 in.	9.25 in.	11.25 in.
Pcs./Pallet	240	160	120	80	80

Available Colors



[View all HardieTrim Boards](#)



CROWN MOULDING
Arctic White

Thickness	.75 in.	
Length	12 ft. boards	
Width	3.25 in.	5.25 in.
Pcs./Pallet	50	48

Available Colors



[View all HardieTrim Boards](#)

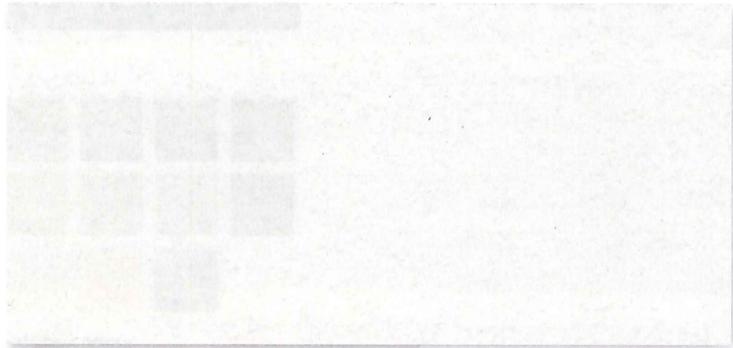
Siding	Trim	Soffit	HardieWrap®	Finishing Touches
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HardieTrim® Boards	● HardieTrim® Batten Boards
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RUSTIC GRAIN®
Arctic White



SMOOTH
Arctic White



Products are available primed or with ColorPlus Technology. For more details, visit jameshardie.com

JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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Siding	Trim	Soffit	HardieWrap®	Finishing Touches
--------	------	--------	-------------	-------------------

HardieTrim® Boards	● HardieTrim® Batten Boards
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RUSTIC GRAIN®
Arctic White

Thickness .75 in.
Length 12 ft. boards
Width 2.5 in.
Pcs./Pallet 437

Available Colors



[View all HardieTrim Batten Boards](#)

JamesHardie Siding Trim	ABOUT JAMES HARDIE	PRODUCTS	COLOR
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SMOOTH

Arctic White

Thickness .75 in.
 Length 12 ft. boards
 Width 2.5 in.
 Pcs./Pallet 437

Available Colors



[View all HardieTrim Batten Boards](#)

Finishing Touches

ColorPlus Technology Accessories

TOUCH-UP KITS

Specially formulated to match ColorPlus Technology finishes, our Touch-up Kits offer resistance to aging, color change and chalking. Included in the kits, Touch-up Pens conceal nailheads and very small nicks and scratches.



COLOR MATCHED CAULK

OSI® QUAD® MAX sealant offers a durable, lower maintenance sealant solution to color match James Hardie ColorPlus products.



Trim Accessories

FLAT TABS

Reduce nail holes and improve the aesthetic of trim applications around windows, doors and band boards.



CORNER TABS

Use corner tabs to reduce the appearance of nail holes that would detract from the finished look of corner trim installations.

[NEXT SECTION](#)



Find useful job-site tips in our industry-leading Best Practices Guide. For the latest installation instructions, visit hardieinstallation.com

Color Inspiration

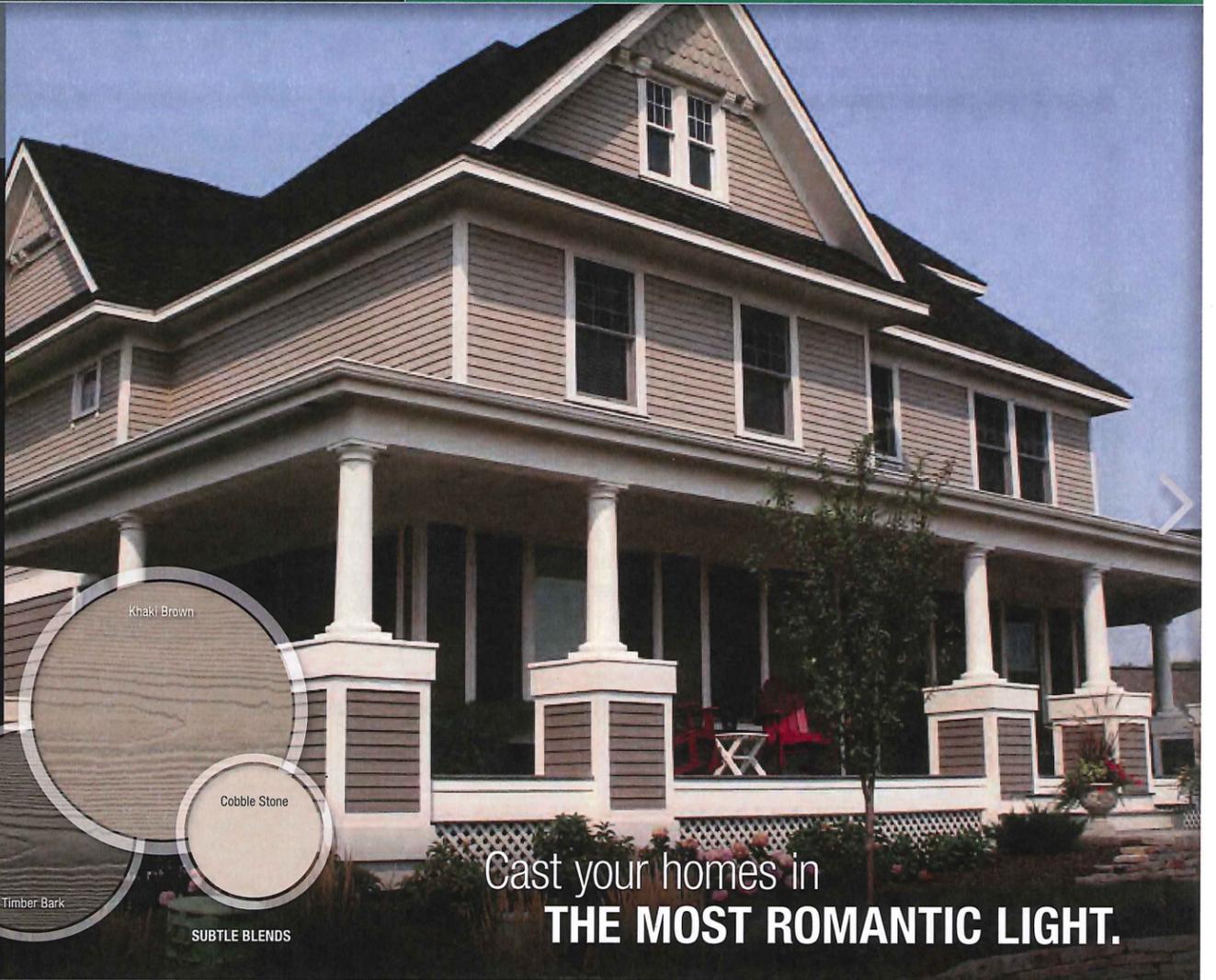
Color Selection

Color Inspiration

Use deeper body colors for a warm, welcoming feeling. Make homes appear larger with soft contrasts between siding and trim. The right color combinations leave lasting impressions. Our color specialists designed the rich ColorPlus finish collection to help you express what's special about every home you build.



PREV SECTION



Cast your homes in
THE MOST ROMANTIC LIGHT.

SUBTLE BLENDS



ABOUT JAMES HARDIE

PRODUCTS

COLOR

Color Inspiration

Color Selection



WARM TONES



ABOUT JAMES HARDIE

PRODUCTS

COLOR

Color Inspiration

Color Selection



COOL TONES



ABOUT JAMES HARDIE

PRODUCTS

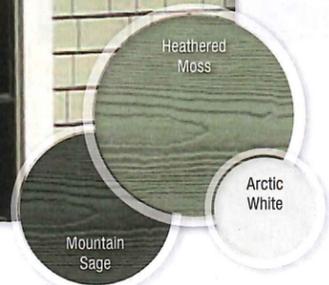
COLOR

Color Inspiration

Color Selection



COMPLEMENTARY



ABOUT JAMES HARDIE

PRODUCTS

COLOR

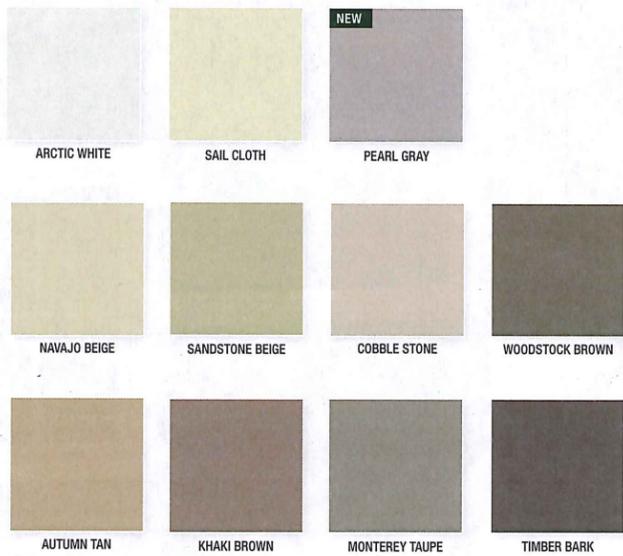
Color Selection



Colors may vary due to different monitor settings. Please see actual product sample for true color.

Express the true nature of a home's character with ColorPlus® Technology

Explore our color palettes and differentiate your homes with stunning curb appeal. These distinctive tones are drawn from natural environments, complementing your design with the look of America's idyllic neighborhoods.



Colors may vary due to different monitor settings. Please see actual product sample for true color.



Selecting a color? Request a product sample at jameshardie.com/samples



1.888.542.7343 | jameshardie.com

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ABOUT JAMES HARDIE

PRODUCTS

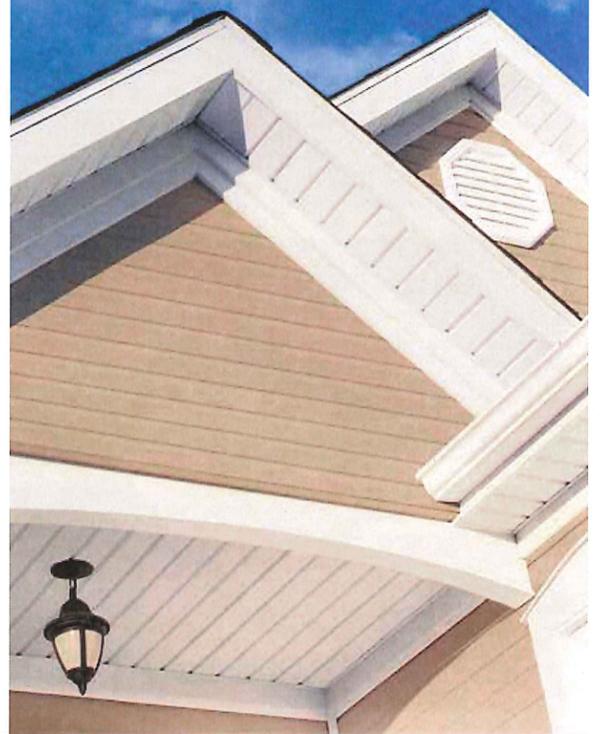
COLOR

Soffits

The features that make Royal® Soffit so awesome—conveniently located below.

- A range of popular styles that can hang with any Royal siding
- Looks vary from traditional but never boring to borderline glamorous
- Industry-leading non-prorated Double Lifetime Warranty includes color and hail protection
- Available in UV-resistant standard colors and deep, rich Colorscapes® shades
- Matte finish Triple 3 1/3 Soffit .044" gauge available in solid and hidden vent
- Matte finish Beaded Panel .042" gauge available in solid and vented
- Matte finish Triple 4 Soffit .042" and .038" gauges available in solid, fully vented and center vented
- Brush finish Double 5 Soffit .042" and .038" gauges available in solid and fully vented

Our crowning touch takes a bow.



ROYAL® Building Products

Build bold.™

1.855.ROYAL85 royalbuildingproducts.com © 2016 Royal Building Products

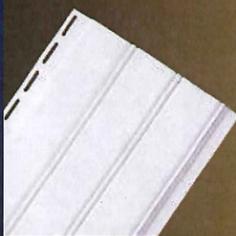
The best soffits when all is said and finished.

Our soffits may look like they're hanging around just taking it easy, but they're always working their fascias off. They protect the hard-to-paint areas of roof rafters by showing mold and mildew the door. They increase ventilation and keep insects out of attics. Plus they never need painting, are virtually maintenance free and their low-gloss wood grain, brush and matte finishes complement any architectural style.

Designer Soffit



TRIPLE 3 1/3
.044"
Matte Finish
Solid and Hidden Vent



BEADED
.042"
Matte Finish
Solid and Vented

Traditional Soffit



TRIPLE 4
.042"
Matte Finish
Solid, Fully Vented,
Center Vented



DOUBLE 5
.042"
Brush Finish
Solid and Fully Vented

Builder Soffit



TRIPLE 4
.038"
Matte Finish
Solid, Fully Vented,
Center Vented



DOUBLE 5
.038"
Brush Finish
Solid and Fully Vented

You'll spend more time selecting a color than you will maintaining it.

COLORSCAPES® DARK COLORS



Charcoal Gray⁴ Bark⁴ Redwood⁴ Natural Cedar⁴ Heritage Blue⁴



Shamrock⁴ Ironstone⁴ Midnight Surf⁴ Cocoa⁴ Wedgewood⁴



Granite⁴ Musket Brown^{1,2,4,6}

COLORSCAPES® PREMIUM COLORS

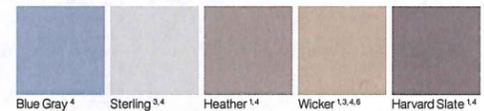


Cypress^{1,4} Pebble Clay^{1,3,4,6} Victorian Gray⁴ Walnut⁴ Sable⁴

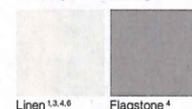
STANDARD COLORS



Vintage Cream^{1,4} Sand^{1,3,4,6} Soft Maple⁴ Brownstone^{1,4} White^{1,2,3,4,5,6}



Blue Gray⁴ Sterling^{3,4} Heather^{1,4} Wicker^{1,3,4,6} Harvard Slate^{1,4}



Linen^{1,3,4,6} Flagstone⁴

¹ Available in Designer Triple 3 1/3" Soffit hidden vent

² Available in Designer Triple 3 1/3" Soffit solid vent

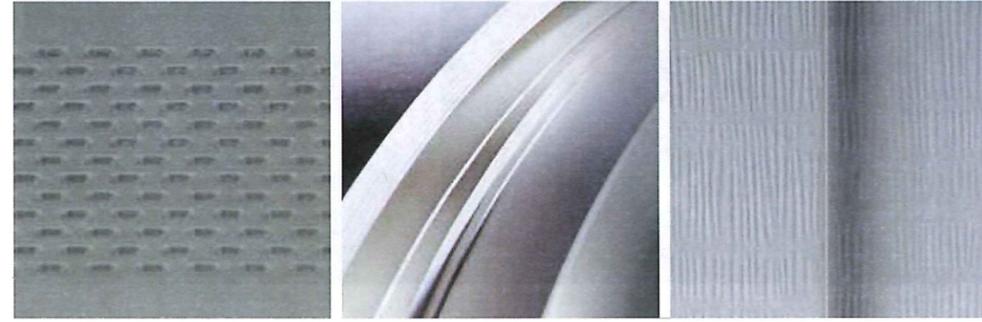
³ Available in Beaded Soffit, solid and vented

⁴ Available in Traditional Triple 4" and Double 5" Soffit, solid and fully vented

⁵ Available in Traditional Triple 4" Soffit and Builder Triple 4" Soffit, center vented

⁶ Available in Builder Triple 4" and Double 5" Soffit, solid and fully vented

Fascia & Gutters



MASTIC HOME EXTERIORS PERFORMANCE METALS®

SIDING • SOFFIT • FASCIA • TRIM SHEET
TRIM COIL • GUTTER • DOWNSPOUTS AND ACCESSORIES

MASTIC
HOME EXTERIORS
by PLYGEM



AN INDUSTRY LEADER IN QUALITY AND PERFORMANCE.

Thanks to more than 30 years of extensive testing — and our proprietary AlumaLure® 2000 finish — our Performance Metals® remain the premier metal product in the industry. Yesterday, today and tomorrow — Performance Metals boast the same superior quality, features, benefits and performance you've come to expect from Mastic Home Exteriors aluminum products.



QUALITY PERFORMANCE

ALUMALURE® 2000 is an exceptional two-coat finish that holds its color and resists corrosion. It outperforms the competition in the harshest weather conditions.



LIFETIME WARRANTY

The peace of mind of one comprehensive warranty that covers material and labor with a 100% coverage schedule for the lifetime of the original owner



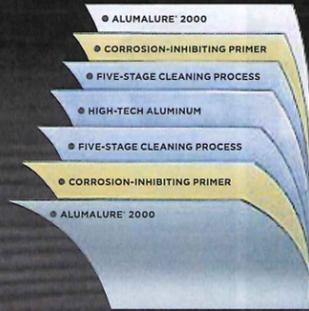
LOW MAINTENANCE

Won't chip, flake or blister, crack or split when bent and shaped. It cuts clean without burrs and applies flatter with no buckles, ripples, waves or "oil-canning".



COLOR COORDINATION

50+ Standard Colors. Match or coordinate with all Mastic products and most major cladding brands. Inorganic pigments mean colors stay true and last longer.



Test our metal. We do. Rigorously. Relentlessly.



WEATHERING Color retention (resistance to fading) is tested by subjecting Mastic products to real-time weather conditions and accelerated UV testing. This ensures that Mastic products will hold up in the most extreme environmental conditions.



RIGIDITY Panels are designed and engineered to be more rigid so the siding remains straight on the wall.



COLOR READ TEST Using a spherical spectrophotometer, a 10,000 watt xenon flash tube bounces light off a siding panel. This information is then analyzed to determine if the color falls within accepted ranges for color consistency and match.



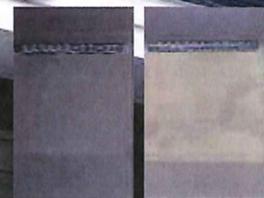
VERTICAL HEIGHT IMPACT TEST Measures the product's durability and ability to resist impact forces — the result of proper thickness, formulation and impact modifiers.



GLOSS TEST A digital readout microgloss meter is used to scan siding to determine if its gloss falls within a target range. Gloss is important to the aesthetic appeal of the siding.



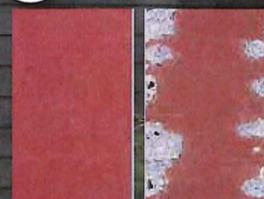
SUN EXPOSURE TEST



ALUMALURE® 2000 Competitor's Polyester



ACCELERATED CORROSION TEST



ALUMALURE® 2000 Single-coat polyester over metal from a scrap-based mini-mill

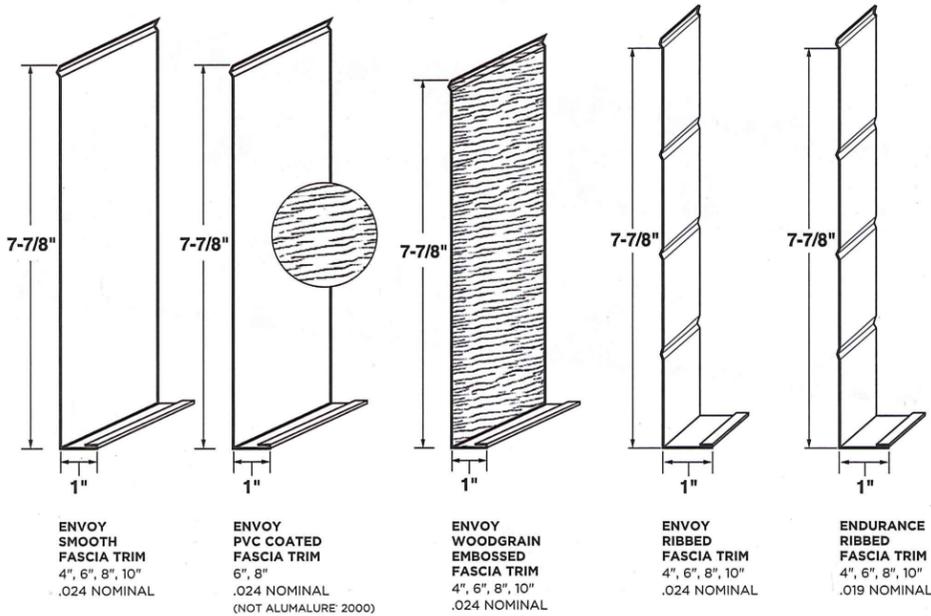
Envoy Double 4" in Custom Color

MASTIC HOME EXTERIORS

PERFORMANCE METALS[®]

ENVOY[®] + ENDURANCE[®] FASCIA

ENVOY FASCIA • SMOOTH • WOODGRAIN • RIBBED • PVC COATED ENDURANCE FASCIA • RIBBED



ENVOY SMOOTH FASCIA TRIM
4", 6", 8", 10"
.024 NOMINAL

ENVOY PVC COATED FASCIA TRIM
6", 8"
.024 NOMINAL
(NOT ALUMALURE 2000)

ENVOY WOODGRAIN EMBOSSED FASCIA TRIM
4", 6", 8", 10"
.024 NOMINAL

ENVOY RIBBED FASCIA TRIM
4", 6", 8", 10"
.024 NOMINAL

ENDURANCE RIBBED FASCIA TRIM
4", 6", 8", 10"
.019 NOMINAL



AVAILABLE IN 29 COLORS
See Product Spec Guide for complete details.



ALUMALURE[®] 2000
This revolutionary finish holds its color and resists the toughest corrosive elements — even UV radiation and polluted air. Applied in a two-coat process, Alumlure[®] 2000 is a combination of corrosion-inhibiting primer and an ultra-tough, low-mar topcoat.



STRIATED PVC FINISH
This richly textured finish mimics the look of freshly painted wood. Thicker and more durable than most PVC finishes, it is composed of surface-conditioned high-quality aluminum covered by an all-weather super-flexible primer topped by a thick film of textured PVC topcoat. This premium construction provides exceptional scratch-resistance, durability, and long-term performance.



V.I.P. LIMITED LIFETIME WARRANTY
Premium guarantee of lasting quality and peace of mind — backed by Mastic, a trusted industry leader for 50+ years (see warranty for complete details).

MASTIC HOME EXTERIORS

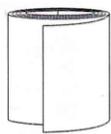
PERFORMANCE METALS[®]

TRIM SHEET

ULTRA TS[®] • ALUMALURE[®] 2000 TS24 • SMOOTH • ALUMALURE[®] 2000 TS24T • STRIATED • PVC COATED

NOMINAL
.024
THICKNESS

ULTRA TS[®] TRIM SHEET



ALUMALURE[®] 2000 SMOOTH FINISH
24" TRIM SHEET



PVC COATED STRIATED FINISH
24" TRIM SHEET



BENDS EASILY — WITHOUT RISK OF CRACKING

PREMIUM LOW-MAR TOPCOAT RESISTS CRACKING, CHALKING AND FADING

LONG RUNS OF MATERIAL — WITH NO RIPPLES, WAVES OR "OIL-CANNING"

NOMINAL
.019
THICKNESS

TRIM SHEET



PVC COATED STRIATED FINISH
24" TRIM SHEET



PVC COATED TEXTURE FINISH
24" TRIM SHEET



ALUMALURE[®] 2000 SMOOTH FINISH
24" TRIM SHEET



ALUMALURE[®] 2000 SMOOTH FINISH
24" TRIM SHEET
150" LONG



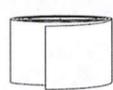
ALUMALURE[®] 2000 SMOOTH FINISH
20" TRIM SHEET



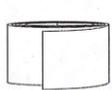
ALUMALURE[®] 2000 SMOOTH FINISH
18" TRIM SHEET



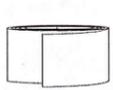
ALUMALURE[®] 2000 SMOOTH FINISH
16" TRIM SHEET



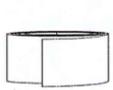
ALUMALURE[®] 2000 SMOOTH FINISH
14" TRIM SHEET



ALUMALURE[®] 2000 SMOOTH FINISH
12" TRIM SHEET



ALUMALURE[®] 2000 SMOOTH FINISH
10" TRIM SHEET



ALUMALURE[®] 2000 SMOOTH FINISH
8" TRIM SHEET

CORROSION-INHIBITING PRIMER — COMBINED WITH LOW-MAR TOPCOAT
Stands up to extreme weather — resists fading, chalking, corrosion and UV damage.

SUPERIOR ELONGATION AND YIELD STRENGTH
Easily shaped and formed on the job site.

THE HIGHEST-QUALITY ALUMINUM TRIM SHEET AVAILABLE FOR RESIDENTIAL CONSTRUCTION

PERFORMANCE METALS ALUMINUM TRIM SHEET
Faster, easier cutting = faster, easier installation.



OFFERED IN AN EXTENSIVE ARRAY OF COLORS, THIS SUPER-PREMIUM TRIM SHEET DELIVERS OUTSTANDING JOB-SITE PERFORMANCE — AND SMOOTH, BUCKLE-FREE APPLICATION

- 50+ Standard colors
- Coordinating colors available for popular windows and competitor siding



ALUMALURE[®] 2000
This revolutionary finish holds its color and resists the toughest corrosive elements — even UV radiation and polluted air. Applied in a two-coat process, Alumlure[®] 2000 is a combination of corrosion-inhibiting primer and an ultra-tough, low-mar topcoat.

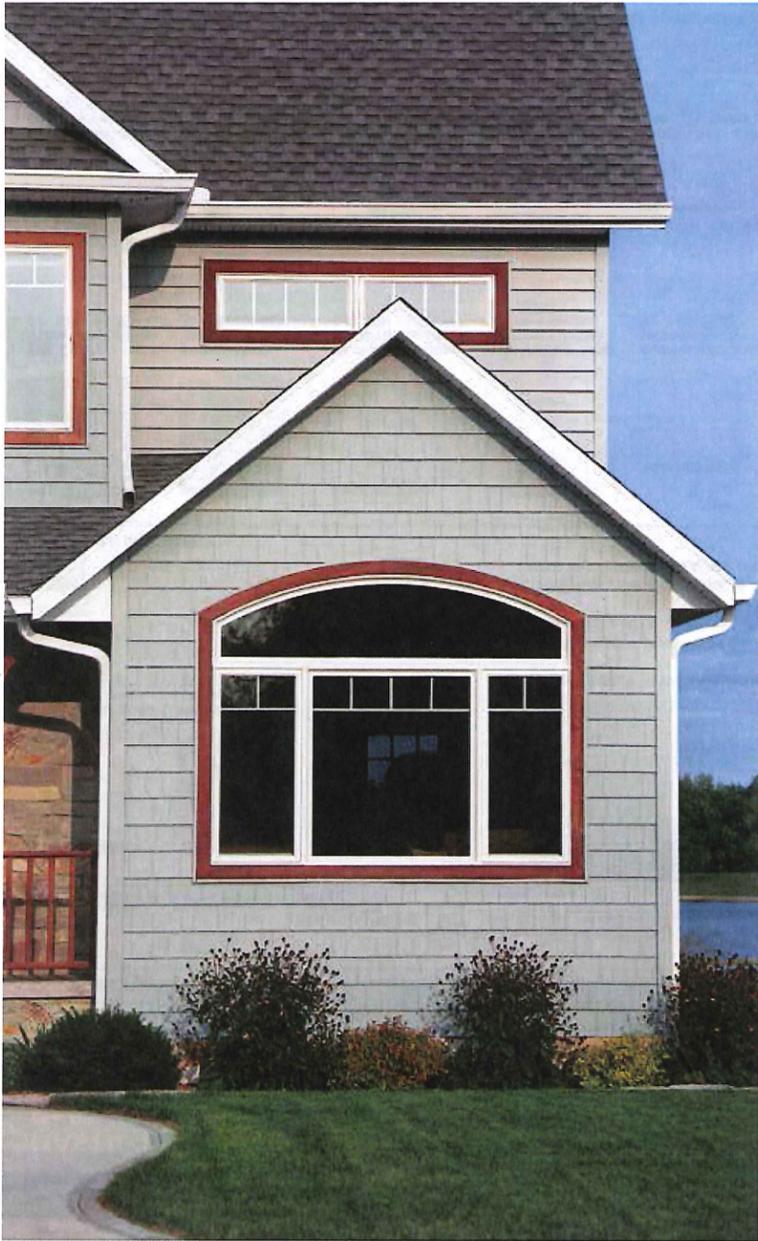


STRIATED PVC FINISH
This richly textured finish mimics the look of freshly painted wood. Thicker and more durable than most PVC finishes, it is composed of surface-conditioned high-quality aluminum covered by an all-weather super-flexible primer topped by a thick film of textured PVC topcoat. This premium construction provides exceptional scratch-resistance, durability, and long-term performance.



V.I.P. LIMITED LIFETIME WARRANTY
Premium guarantee of lasting quality and peace of mind — backed by Mastic, a trusted industry leader for 50+ years (see warranty for complete details).

Also available in a variety of colors to match competitors' vinyl siding. See Product Spec Guide for details.



MASTIC HOME EXTERIORS PERFORMANCE METALS® TRIM COIL

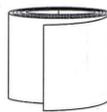
STANDARD • S24 • S24T ECONOMY • EC24 • EC24T

NOMINAL
019
THICKNESS

STANDARD TRIM COIL



S24
ALMALURE® 2000
SMOOTH FINISH
24" TRIM COIL



S14
ALMALURE® 2000
SMOOTH FINISH
14" TRIM COIL



S24T
PVC COATED
STRIATED FINISH
24" TRIM COIL



S24LM
LOW-MAR POLYMER
TEXTURE FINISH
24" TRIM COIL

Also available in a variety of colors to match competitors' vinyl siding.

NOMINAL
018
THICKNESS

ECONOMY TRIM COIL



EC24
POLYMER COATED
SMOOTH FINISH
24" TRIM COIL



EC24T
PVC COATED
STRIATED FINISH
24" TRIM COIL



AVAILABLE IN 47 COLORS

See Product Spec Guide for complete details.



ALMALURE® 2000 (STANDARD TRIM COIL)

This revolutionary finish holds its color and resists the toughest corrosive elements — even UV radiation and polluted air. Applied in a two-coat process, Almalure® 2000 is a combination of corrosion-inhibiting primer and an ultra-tough, low-mar topcoat.



STRIATED PVC FINISH

This richly textured finish mimics the look of freshly painted wood. Thicker and more durable than most PVC finishes, it is composed of surface-conditioned high-quality aluminum covered by an all-weather super-flexible primer topped by a thick film of textured PVC topcoat. This premium construction provides exceptional scratch-resistance, durability, and long-term performance.

MASTIC HOME EXTERIORS PERFORMANCE METALS® SECTIONAL 6" GUTTER

STRONGEST SYSTEM AVAILABLE FOR RESIDENTIAL CONSTRUCTION

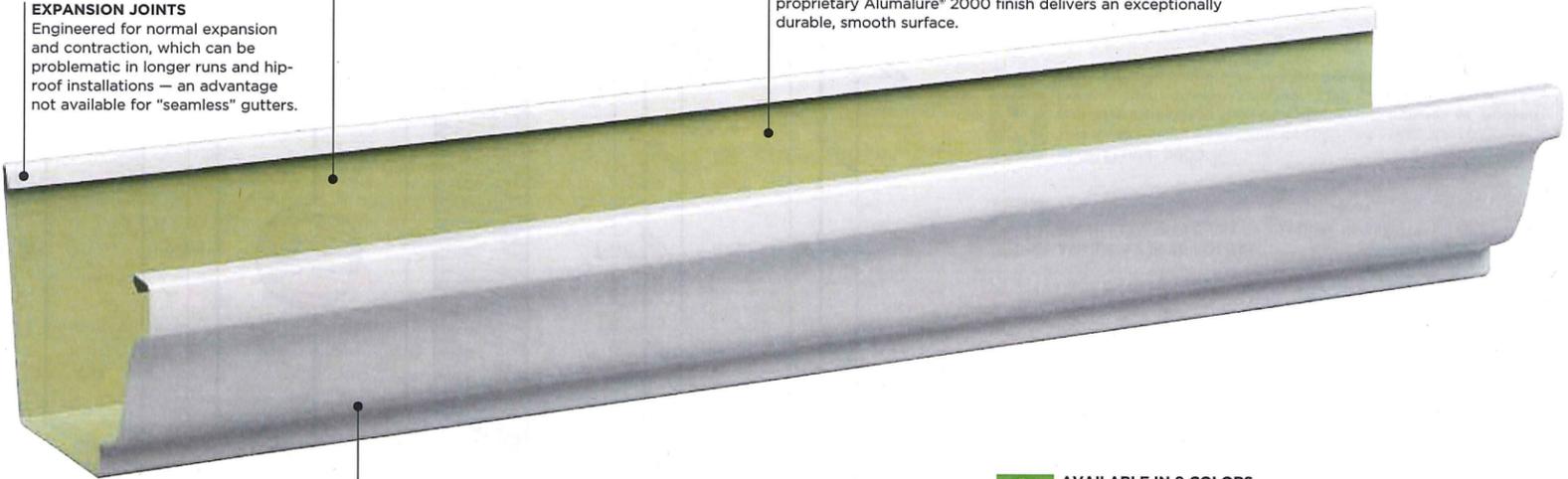
Protects homes by supporting up to 50 pounds per lineal foot to handle more heavy rain, snow and other extreme weather than any other gutter.

EXPANSION JOINTS

Engineered for normal expansion and contraction, which can be problematic in longer runs and hip-roof installations — an advantage not available for "seamless" gutters.

PERFORMANCE METALS: THE HIGHEST-QUALITY ALUMINUM — MEETS OR EXCEEDS Q801 STANDARDS

Exclusive to Mastic Home Exterior's, our high-tech aluminum alloy is stronger and more rigid than the competition's best metal — plus, a double-coating of our proprietary Almalure® 2000 finish delivers an exceptionally durable, smooth surface.



ENVOY
SECTIONAL 6"
OG GUTTER
21' — OG21A6
37' — OG37A6



HANGERS ENGINEERED TO SUPPORT MORE WEIGHT THAN ORDINARY SPIKES

Keeps the gutter system firmly in position so water won't leak into the home, providing optimum performance over time.

FREE-FLOATING HANGERS

Uniquely designed to allow gutters to slide as they expand and contract, eliminating stress on nails.



AVAILABLE IN 9 COLORS

See Product Spec Guide for complete details.



ALMALURE® 2000

This revolutionary finish holds its color and resists the toughest corrosive elements — even UV radiation and polluted air. Applied in a two-coat process, Almalure® 2000 is a combination of corrosion-inhibiting primer and an ultra-tough, low-mar topcoat.



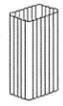
V.I.P. LIMITED LIFETIME WARRANTY

Premium guarantee of lasting quality and peace of mind — backed by Mastic, a trusted industry leader for 50+ years (see warranty for complete details).

MASTIC HOME EXTERIORS

PERFORMANCE METALS®

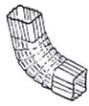
GUTTER DOWNSPOUTS + ACCESSORIES FOR ENVOY® SECTIONAL 6" GUTTER



3" X 4" RECTANGULAR CORRUGATED DOWNSPOUT
RT34



3" X 4" STYLE "A" RECTANGULAR ELBOW
RTA74



3" X 4" STYLE "B" RECTANGULAR ELBOW
RTB74



6" INSIDE MITER
ISM6



6" OUTSIDE MITER
OSM6



6" INSIDE BAY MITER
ISBAY6
COLOR: PAINTABLE WHITE



6" OUTSIDE BAY MITER
OSBAY6
COLOR: PAINTABLE WHITE



6" END CAPS
OG1565



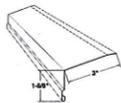
DOWNSPOUT CLIP
(FOR 3" X 4" DOWNSPOUT)
RTA3



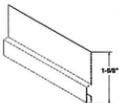
COMBINATION HANGER
OG1061
COLOR: MILL



STRAP HANGER
OG1161
COLOR: MILL



ROOF APRON, RECTANGULAR
RT312



FASCIA APRON, RECTANGULAR
RT412



NEOPRENE EXPANSION JOINT
OG256
COLOR: MILL



3" X 4" RECTANGULAR EAVE TUBE
RT24F
COLOR: MILL



DOWNSPOUT ANCHOR CLIP WITH SCREW
RT235
COLOR: MILL



1/8" BLIND POP RIVETS
GR1W
COLOR: WHITE



1/8" BLIND POP RIVETS
GR1



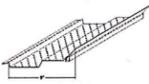
BAR HANGER
OG12R61
COLOR: MILL



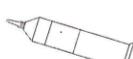
ROOF HANGER
OG1361
COLOR: MILL



6" LEAF RELIEF® GUTTER PROTECTION SYSTEM (RETRO-FIT)
TP6300
COLOR: NONE
FOR USE OVER OG1061, OG12R61, ZIP HANGERS



6" LEAF RELIEF® GUTTER PROTECTION SYSTEM (RETRO-FIT)
TP63ZIP
COLOR: NONE
FOR USE OVER OG1061, OG12R61, ZIP HANGERS



GUTTERSEAL
GS50Z
COLOR: MILL
GSW50Z
COLOR: WHITE

MASTIC HOME EXTERIORS

PERFORMANCE METALS®

SECTIONAL 5" GUTTER

EXPANSION JOINTS

Engineered for normal expansion and contraction, which can be problematic in longer runs and hip-roof installations — an advantage not available for "seamless" gutters.

PERFORMANCE METALS: THE HIGHEST-QUALITY ALUMINUM — MEETS OR EXCEEDS Q801 STANDARDS

Exclusive to Mastic Home Exterior, our high-tech aluminum alloy is stronger and more rigid than the competition's best metal — plus, a double-coating of our proprietary AlumaLure® 2000 finish delivers an exceptionally durable, smooth surface.

ENVOY SECTIONAL 5" OG GUTTER
16' — OG16A
21' — OG21A
26' — OG26
33' — OG33A
37' — OG37A



HANGERS ENGINEERED TO SUPPORT MORE WEIGHT THAN ORDINARY SPIKES

Keeps the gutter system firmly in position so water won't leak into the home, providing optimum performance over time.

FREE-FLOATING HANGERS

Uniquely designed to allow gutters to slide as they expand and contract, eliminating stress on nails.



AVAILABLE IN 9 COLORS

See Product Spec Guide for complete details.



ALUMALURE® 2000

This revolutionary finish holds its color and resists the toughest corrosive elements — even UV radiation and polluted air. Applied in a two-coat process, AlumaLure® 2000 is a combination of corrosion-inhibiting primer and an ultra-tough, low-mar topcoat.



LIMITED LIFETIME WARRANTY

Premium guarantee of lasting quality and peace of mind — backed by Mastic, a trusted industry leader for 50+ years (see warranty for complete details).

MASTIC HOME EXTERIORS

PERFORMANCE METALS®

GUTTER DOWNSPOUTS + ACCESSORIES FOR ENVOY® SECTIONAL 5" GUTTER

<p>2" X 3" STYLE "A" RECTANGULAR ELBOW 45° — RTA4 60° — RTA6 COLOR: WHITE 75° — RTA7</p>	<p>2" X 3" STYLE "B" RECTANGULAR ELBOW 60° — RTB6 75° — RTB7 COLOR: MILL</p>	<p>3" X 4" STYLE "A" RECTANGULAR ELBOW 75° — RTA74</p>	<p>3" X 4" STYLE "B" RECTANGULAR ELBOW 75° — RTB74</p>	<p>2" X 3" RECTANGULAR CORRUGATED DOWNSPOUT RT2</p>	<p>3" X 4" RECTANGULAR CORRUGATED DOWNSPOUT RT34</p>	<p>5" INSIDE MITER ISM5</p>	<p>5" OUTSIDE MITER OSM5</p>	<p>5" INSIDE BAY MITER ISBAY5 COLOR: PAINTABLE WHITE</p>	<p>5" OUTSIDE BAY MITER OSBAY5 COLOR: PAINTABLE WHITE</p>
<p>END CAPS OG155</p>	<p>5" NEOPRENE EXPANSION JOINT OG25 COLOR: MILL</p>	<p>2" X 3" RECTANGULAR EAVE TUBE ROT2X3 COLOR: MILL</p>	<p>3" X 4" RECTANGULAR EAVE TUBE RT241 COLOR: MILL</p>	<p>DOWNSPOUT ANCHOR CLIP WITH SCREW RT235 COLOR: MILL</p>	<p>DOWNSPOUT CLIP (FOR 2" X 3" DOWNSPOUT) RTA2 COLORS: WHITE, ALMOND, DESERT SAND, EVERGREEN, MUSKET BROWN, PEBBLESTONE CLAY, SANDTONE, TERRA BRONZE, VICTORIAN GREY</p>	<p>DOWNSPOUT CLIP (FOR 3" X 4" DOWNSPOUT) RTA3 COLORS: WHITE, ALMOND, DESERT SAND, EVERGREEN, MUSKET BROWN, PEBBLESTONE CLAY, SANDTONE, TERRA BRONZE, VICTORIAN GREY</p>	<p>COMBINATION STRAP HANGER OG141 COLOR: MILL</p>	<p>SNAP-IN HANGER OG13LR5 COLOR: MILL USES: LEAF RELIEF TPS300, ROOF APRON, FASCIA APRON</p>	<p>SNUG-FIT HANGER OG91 COLOR: MILL</p>
<p>COMBINATION HANGER OG101</p>	<p>STRAP HANGER OG111 COLOR: MILL</p>	<p>BAR HANGER OG12R1 COLOR: MILL</p>	<p>ROOF HANGER OG131 COLOR: MILL</p>	<p>1/8" BLIND POP RIVETS GR1W COLOR: WHITE</p>	<p>1/8" BLIND POP RIVETS GR1 COLOR: WHITE</p>	<p>5" LEAF RELIEF® GUTTER PROTECTION SYSTEM (RETRO-FIT) TP5300 COLOR: NONE</p>	<p>5" LEAF RELIEF® GUTTER PROTECTION SYSTEM (RETRO-FIT FOR ZIP HANGERS) TP532IP COLOR: NONE</p>	<p>ROOF APRON, RECTANGULAR RT312 COLORS: WHITE, ALMOND, DESERT SAND, EVERGREEN, MUSKET BROWN, PEBBLESTONE CLAY, SANDTONE, TERRA BRONZE, VICTORIAN GREY</p>	<p>FASCIA APRON, RECTANGULAR RT412 COLORS: WHITE, ALMOND, DESERT SAND, EVERGREEN, MUSKET BROWN, PEBBLESTONE CLAY, SANDTONE, TERRA BRONZE, VICTORIAN GREY</p>
<p>GUTTERSEAL GS50Z COLOR: MILL GSW50Z COLOR: WHITE</p>									

MASTIC HOME EXTERIORS

PERFORMANCE METALS®

GUTTER + DOWNSPOUT COIL

.032 GUTTER COIL		.019 DOWNSPOUT COIL		.027 GUTTER COIL	
<p>5" GUTTER COIL ONE-SIDE FINISH COAT 16" CENTER ID</p> <p>11-3/4" WIDE — GC1175032 11-7/8" WIDE — GC1187532 13" WIDE — GC1300032 DISTRIBUTOR MINIMUM: ONE SKID OF THREE COILS (ANY COLOR COMBINATION)</p> <p>SHORT ROLLS 11-3/4" WIDE — SR1175032 11-7/8" WIDE — SR11875032 13" WIDE — SR1300032 MINIMUM: 1 COIL</p>	<p>6" GUTTER COIL ONE-SIDE FINISH COAT 16" CENTER ID</p> <p>15" WIDE — GC1500032 DISTRIBUTOR MINIMUM: TWO COILS/SKID (ANY COLOR COMBINATION)</p> <p>SHORT ROLLS 15" WIDE — SR1500032 MINIMUM: 1 COIL</p>	<p>2" X 3" DOWNSPOUT COIL 16" CENTER ID</p> <p>10-1/2" WIDE — DC10500 10-1/2" WIDE — DC105500 DISTRIBUTOR MINIMUM: TWO COILS/SKID (ANY COLOR COMBINATION)</p>	<p>3" X 4" DOWNSPOUT COIL 16" CENTER ID</p> <p>13-3/4" WIDE — DC13750 13-3/4" WIDE — DC1375500 DISTRIBUTOR MINIMUM: TWO COILS/SKID (ANY COLOR COMBINATION)</p>	<p>5" GUTTER COIL ONE-SIDE FINISH COAT 16" CENTER ID</p> <p>11-3/4" WIDE — GC11750 11-7/8" WIDE — GC11875 DISTRIBUTOR MINIMUM: ONE SKID OF THREE COILS (ANY COLOR COMBINATION)</p> <p>SHORT ROLLS 11-3/4" WIDE — SRGC11750 11-7/8" WIDE — SRGC11875 MINIMUM: 1 COIL</p>	<p>6" GUTTER COIL ONE-SIDE FINISH COAT 16" CENTER ID</p> <p>15" WIDE — GC15000 DISTRIBUTOR MINIMUM: ONE SKID OF THREE COILS (ANY COLOR COMBINATION)</p> <p>SHORT ROLLS 15" WIDE — SRGC15000 MINIMUM: 1 COIL</p>

ALUMALURE® 2000
This revolutionary finish holds its color and resists the toughest corrosive elements — even UV radiation and polluted air. Applied in a two-coat process, Almalure® 2000 is a combination of rust-inhibiting primer and an ultra-tough, low-mar topcoat.

THE ISP™ DIFFERENCE — INTEGRATED STANDARDS OF PERFORMANCE
ISP™ is our comprehensive product development, testing, certification and quality control program. This stringent set of standards and conformance specs ensures products meet or exceed industry standards and/or code approvals. In addition, we go the extra mile with a battery of internal tests designed to predict and scrutinize performance attributes such as tensile strength, rigidity, wind resistance, color fidelity and weatherability.

20-YEAR WARRANTY

AVAILABLE IN 24 COLORS, 11 EXTENDED LEAD TIME COLORS
See Product Spec Guide for complete details.

MASTIC HOME EXTERIORS

PERFORMANCE METALS® GUTTER + DOWNSPOUT COIL ACCESSORIES

 2" X 3" DOWNSPOUT DS2X3 MINIMUM: ONE CARTON	 2" X 3" ELBOW STYLE "A" E2X3A	 2" X 3" ELBOW, 30° STYLE "A" E2X3A30 COLOR: PAINTABLE WHITE	 2" X 3" ELBOW STYLE "B" E2X3B	 2" X 3" DOWNSPOUT WITH 1-1/2" OFFSET LEDGE152X3 COLOR: PAINTABLE WHITE	 2" X 3" DOWNSPOUT WITH 3" OFFSET LEDGE302X3 COLOR: PAINTABLE WHITE	 3" X 4" DOWNSPOUT DS3X4 MINIMUM: ONE CARTON	 3" X 4" ELBOW STYLE "A" E3X4A	 3" X 4" ELBOW, 30° STYLE "A" E3X4A30 COLOR: PAINTABLE WHITE	 3" X 4" ELBOW STYLE "B" E3X4B
 5" INSIDE STRIP MITER ISM5	 5" OUTSIDE STRIP MITER OSM5	 5" INSIDE BOX MITER IBM5	 5" OUTSIDE BOX MITER OBM5	 5" INSIDE BAY MITER ISBAY5	 5" OUTSIDE BAY MITER OSBAY5	 5" LEFT END CAPS EC5L	 5" RIGHT END CAPS EC5R	 6" INSIDE STRIP MITER ISM6	 6" OUTSIDE STRIP MITER OSM6
 6" INSIDE BOX MITER IBM6	 6" OUTSIDE BOX MITER OBM6	 6" INSIDE BAY MITER ISBAY6	 6" OUTSIDE BAY MITER OSBAY6	 6" LEFT END CAPS EC6L	 6" RIGHT END CAPS EC6R	 DOWNSPOUT PIP BAND — UNIVERSAL (FITS 2" X 3" OR 3" X 4" DOWNSPOUT) DPB	 POP RIVETS GR1	 7" SPIKE — SP7  8" SPIKE — SP8	 5" FERRULE — FE5  6" FERRULE — FE6 COLOR: MILL
 ALUMINUM 5" HIDDEN HANGER AM5HD COLOR: MILL	 ALUMINUM 5" ZIP HANGER AM5ZIP500 COLOR: MILL	 ALUMINUM 6" ZIP HANGER AM6ZIP COLOR: MILL	 OVAL OUTLET TUBES 2" X 3" — OT2X3 3" X 4" — OT3X4 COLOR: MILL	 RECTANGULAR OUTLET TUBES 2" X 3" — ROT2X3 3" X 4" — ROT3X4 COLOR: MILL	 QUICK RELEASE QRC (ATTACHES EXTENSIONS TO ELBOW) 37211	 TOUCH-UP PAINT 12 AEROSOL CANS — GCTU 1 AEROSOL CAN — GCTU1	 AVAILABLE IN UP TO 29 COLORS, WITH 21 EXTENDED LEAD TIME COLORS See Product Spec Guide for complete details.		
 ALUMALURE® 2000 This revolutionary finish holds its color and resists the toughest corrosive elements — even UV radiation and polluted air. Applied in a two-coat process, Alumalure® 2000 is a combination of corrosion-inhibiting primer and an ultra-tough, low-mar topcoat.						 20-YEAR WARRANTY			

THE EXTERIOR SOLUTION FOR Color.

57 colors that are classic, unique and distinctive. Deep, dark colors. Boardwalk colors and everything in between. The possibilities are endless. The beauty is timeless.

BLACK	EVERGREEN	DARK BRONZE	BRONZE
ROYAL BROWN	MUSKET BROWN	MISTY SHADOW	RED BRICK NEW
RUSSET RED	MAHOGANY NEW	NATURAL SLATE NEW	LONDON BROWN
NEWPORT BAY NEW	BRANDY WOOD NEW	TERRA BRONZE	TIMBERSTONE
HAZELWOOD	PORTSMOUTH BLUE	CHARCOAL GREY	MONTANA SUEDE
LAKESHORE FERN	TERRA COTTA	VINEYARD GROVE	GLACIER BLUE

All colors are solid. See Product Spec Guide for available colors by product.



A HEALTHY RESPECT FOR THE PLANET — AND OUR CUSTOMERS.



Mastic Home Exteriors by Ply Gem can help you meet your sustainable building goals and earn points in leading green building certification programs. Our products offer features that positively contribute to sustainable practices, improved energy efficiency or lifecycle benefits of homes. All are important aspects of sustainable building and reflect Mastic's contribution to the Ply Gem Enviro initiative.



For more information on how Mastic products can help you meet your sustainable building goals, refer to the Mastic *Building to Make a Difference* white paper available at mastic.com.



SUSTAINABLE RESOURCES:

- Mastic vinyl siding is manufactured from two abundant natural resources: salt (57%) and natural gas (43%).¹
- During the manufacturing process of our vinyl siding, all unused material is reclaimed and reused, creating one of the most efficiently-produced exterior claddings available today.
- The Structure[®] Home Insulation System™ has been third-party verified and Green Circle certified to contribute towards achieving LEED[®] and NAHB credits, utilizing post-consumer and post-industrial recycled material.
- When installed and used properly, Mastic products never require paint or stain, which reduces VOCs released into the atmosphere.
- Mastic Performance Metals[®] have been third-party verified and Green Circle certified to contain a minimum of 67% recycled content.
- Ply Gem facilities reuse and recycle pallets and packaging material, reducing raw material needs and landfill use.



ENERGY EFFICIENCY:

- Vinyl siding requires less energy to manufacture per square foot than brick and mortar.²
- Mastic vinyl siding is lighter weight per square than other cladding options, so it requires less fuel to transport. Less fuel used means less pollution.
- When correctly installed, the Structure[®] Home Insulation System™ can reduce thermal bridging and help meet the requirements of an ENERGY STAR[®] Qualified new home. The Structure[®] Home Insulation System™ in a Double 6" profile has an R-value³ of R-3.0 using the testing method ASTM C1363, as specified by the Federal Trade Commission.
- Mastic Performance Metals[®] V-Groove soffit and roof and eave vents support proper attic ventilation efforts, which moderates attic temperatures and improves a home's energy efficiency. Mastic V-Groove metal soffit provides the most net free ventilation per linear foot of any aluminum soffit system.



LIFECYCLE BENEFITS OF HOMES:

- Mastic vinyl siding is durable and requires no site finish. Our Performance Metals[®] stand up to weather with virtually no maintenance. Our Designer Accents use thicker construction and a baked lacquer finish to ensure that they hold up season after season.
- When installed properly and under normal use, our products should never require painting or staining. They won't crack, peel, blister, or rot.
- All of our Performance Metals[®] aluminum accessories are easily recyclable. In fact, at the end of its lifecycle in building applications, 100% of the aluminum can be recycled.

¹"A Dozen Things You Might Not Know That Make Vinyl Siding Green," page 9, Tad Radzinski, P.E., LEED AP, and VSI, October 10, 2009. <<http://www.vinylsiding.org/greenpaper/>>

²Ibid, page 10

³R means resistance to heat flow. The higher the R-value, the greater the insulating power.



This product has been certified by Home Innovation Research Labs. This means you can be assured that this product complies with specific green practice criteria in the National Green Building Standard (NGBS). Visit www.HomeInnovation.com/GreenProducts for more details.

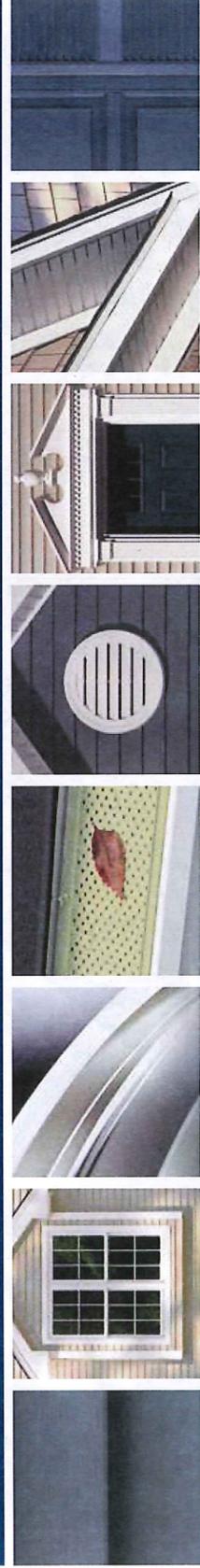


Looking for Mastic products with features that can contribute to overall energy savings, lower maintenance and reduced environmental impact? These logos identify products recognized by third parties as supporting green building practices.



Mastic supports green building and it shows. We are active members of both the USGBC and NAHB — two key organizations that are working to define sustainable building practices.

MASTIC HOME EXTERIORS.
THIS IS THE EXTERIOR SOLUTION.™



SIDING | PERFORMANCE METALS | RAIN REMOVAL | DESIGNER ACCENTS | DOOR SURROUNDS | SOFFIT + FASCIA | SHUTTERS

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ALL PRODUCTS MADE IN THE U.S.A.



The
DesignedExterior™

PLY GEM

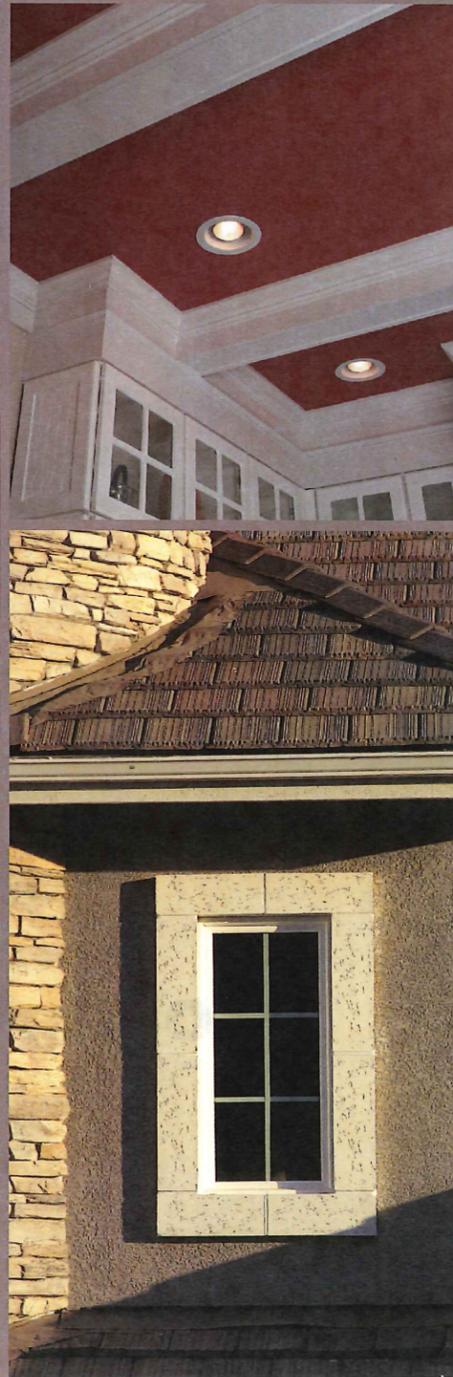
SIDING WINDOWS DOORS STONE TRIM ROOFING FENCE RAILING

Polyurethane Brackets & Corbels (Fypon)

Polyurethane

Millwork & Trim

IMPRINT AREA



Polyurethane

Millwork & Trim

Smart, Stylish Solutions from Peak to Plinth

For high-quality, low-maintenance polyurethane millwork and trim, Fypon has you covered from peak to plinth:

- Window & Door Trim
- Mouldings
- E-Vent™ Systems
- Decorative Millwork
- Louvers & Gable Vents
- Balustrade Systems
- Porch Posts, Columns & Post Wrap

Performance Benefits of Fypon® Polyurethane Products

- Fypon polyurethane resists rotting, warping, cracking and peeling.
- Fypon polyurethane also requires less finishing effort than wood and other alternatives.* The pre-primed surface is ready to stain or paint – no sanding or additional priming needed.
- Polyurethane is lightweight, making the product easier to handle and install.



Fypon warrants all of our products to be free from defects in material and workmanship. For complete homeowner lifetime limited warranty details, exclusions and limitations, please see your purchase location or visit www.fypon.com

IMPRINT AREA



*Fypon "Exterior Door Trim Kit Installation Comparison Study" was commissioned by Fypon in 2009 and conducted by Market Resource Associates, an independent market research company.
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PermaLite[®] Columns

- Weather Proof
- Insect Proof
- Load Bearing
- Low Maintenance
- Lightweight
- Ready to Prime and Paint
- Limited Lifetime Warranty



Porch Columns

HB&G PermaLite® columns are cost effective, load bearing, versatile, and require very little maintenance. The PermaLite® columns are available in round and square. PermaLite® columns deliver all of the beauty at 1/3 of the weight.



PermaLite® Round No-Taper

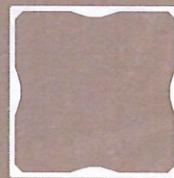
PermaLite® Square Plain

PermaLite® Square Recessed (with panel kit)

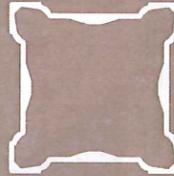
PermaLite® Square Recessed (with panel divider kit)

PermaLite® Square Recessed (with 2-panel divider kits)

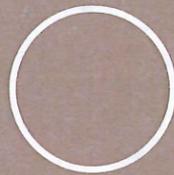
TOP VIEW CUT-AWAY



PermaLite® Plain



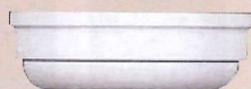
PermaLite® Recessed



PermaLite® Round



Square Tuscan Cap



Round Tuscan Cap

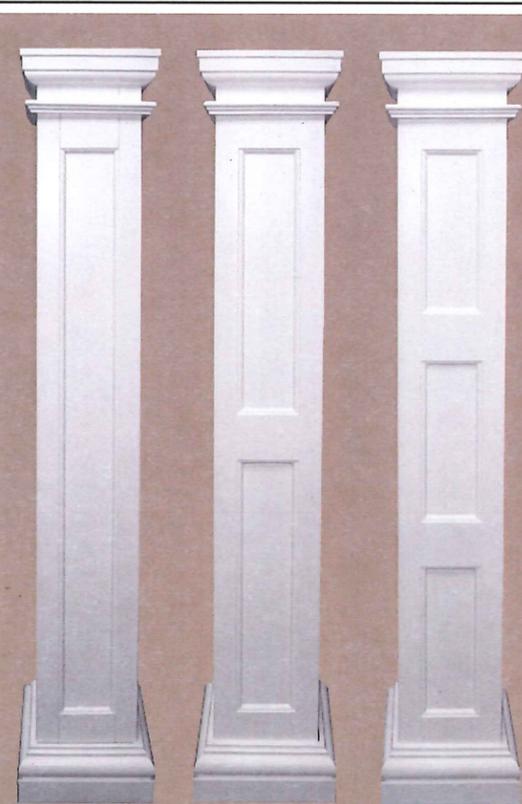


Square Tuscan Base



Round Tuscan Base

For Tuscan Cap and Base dimensions refer to pages 26 and 27.



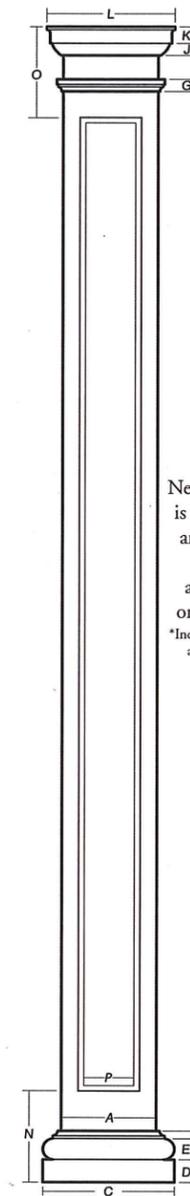
PERMALITE® PANEL DIVIDER KITS TO CONVERT A SINGLE PANEL COLUMN INTO A 2 OR 3-PANEL COLUMN

RECESSED – Includes four top panel insert pieces and four bottom panel insert pieces.

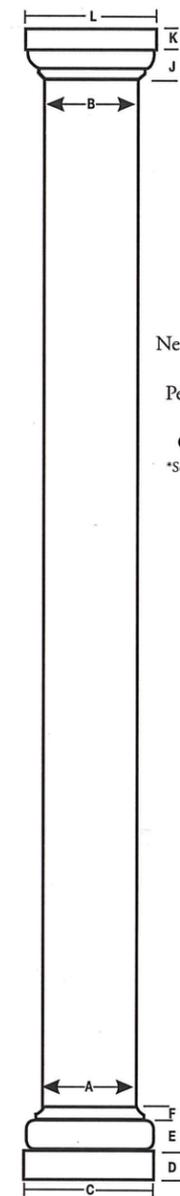
PANEL DIVIDER KITS are available.

Kit Size	Width	Height
8" Panel Divider Kit (4 Pieces)	4 ⁷ / ₈ "	2 ¹ / ₄ "
10" Panel Divider Kit (4 Pieces)	5 ⁵ / ₁₆ "	5 ¹ / ₈ "

1 panel kit to achieve 2-panel column.
2 panel kits to achieve 3-panel column.



PermaLite® Square Column shown with Tuscan Cap and Base



PermaLite® Round No-Taper Column shown with Tuscan Cap and Base

Neck Mould* is adjustable and can be applied anywhere on column.
*Included with cap and base set.

Neck Mould* for PermaLite® Round Column
*Sold separately

See page 27 for dimension chart.

PLAIN AND RECESSED PANEL SQUARE PERMALITE® COLUMN DIMENSIONS (IN INCHES)

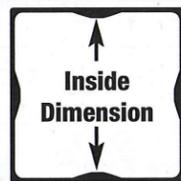
Col. Size	A	C	D	E	F	G	J	K	L	N	O	P	Lengths Avail. (ft.)
6"	5-1/2"	8-1/2"	1-1/2"	1-1/4"	1/2"	1"	7/8"	1-1/16"	8"	N/A	N/A	N/A	6, 8, 9, 10
8"	7-1/2"	11"	1-15/16"	1-11/16"	3/4"	1"	1"	1-7/16"	10-1/16"	8"	8"	3-7/8"	6, 8, 9, 10, 12
8**	7-1/2"	10-7/16"	1-7/8"	1-11/16"	5/8"	1"	1"	1-3/8"	10-1/4"	8"	8"	3-7/8"	6, 8, 9, 10, 12
10"	9-1/2"	12-15/16"	2-1/2"	2-1/8"	3/4"	1"	1-5/16"	1-3/4"	12-3/4"	9"	9"	4-3/8"	6, 8, 9, 10, 12
10**	9-1/2"	13-1/8"	2-3/8"	2-1/8"	3/4"	1"	1-1/4"	1-3/4"	12-3/4"	9"	9"	4-3/8"	6, 8, 9, 10, 12
12"	11-1/2"	15-1/4"	2-3/4"	2-7/16"	13/16"	1"	1-3/8"	2"	15-7/8"	N/A	N/A	N/A	6, 8, 9, 10, 12

* Sim caps and bases. The remainder are poly caps and bases.
 • See drawing on page 26.

NOTES: Recessed Panel top inset – 8" = 8", 10" = 9"; Bottom inset – 8" = 8", 10" = 9". Neck mould is adjustable and is applied in the field. Recessed Panel available in 8" and 10" sizes only. Factory split PermaLite® columns are not available. HB&G does not recommend splitting PermaLite® columns.

SQUARE PERMALITE® INSIDE DIMENSION

Col. Width	Inside
6"	4-5/8"
8"	6-5/8"*
10"	8-5/8"*
12"	10-5/8"



*Recessed Panel Inside Dimensions 8" - 5-5/8"; 10" - 7-5/8"

COLONIAL SQUARE CAP AND BASE FOR PERMALITE®

Col. Size	C	D	E	F	J	K	L	R
6"	8 1/8"	1 1/4"	1 1/16"	7/16"	5/8"	1"	7 7/16"	2 3/4"
8"	10 1/8"	1 1/4"	1 1/16"	7/16"	15/16"	1"	9 7/16"	2 3/4"
10"	12 1/8"	1 1/4"	1 1/16"	7/16"	15/16"	1 1/4"	12 1/8"	2 3/4"
12"	14 1/8"	1 1/4"	1 1/16"	7/16"	1"	1 3/8"	14 1/4"	2 3/4"

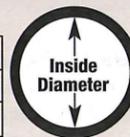
• Neck moulding is 4 pieces included with the cap and base.
 • See drawings on page 26.

ROUND PERMALITE® NO-TAPER COLUMN DIMENSIONS

Col. Size	A	B	C	D	E	F	J	K	L	Lengths
8"	7-5/8"	7-5/8"	10-1/2"	1-7/8"	1-3/4"	3/4"	1-1/4"	1-1/2"	10-5/8"	6', 8', 9', 10'
10"	9-5/8"	9-5/8"	13-1/8"	2-3/8"	2-1/8"	3/4"	1-1/4"	1-3/4"	12-3/4"	6', 8', 9', 10', 12'

ROUND PERMALITE® DIMENSIONS
 Inside diameter may vary up to 1/8".

COLUMN SIZE	ID
8"	7-3/8"
10"	9-3/8"



One Piece Neck Mould for 8" and 10" Round No-Taper Column Is Available.

Neck Ring Sold Separately.



- 25 year limited warranty
- Custom styles available
- Made from cellular PVC
- Installation kit included
- Interior and exterior use
- Weather proof
- Insect proof
- Low maintenance

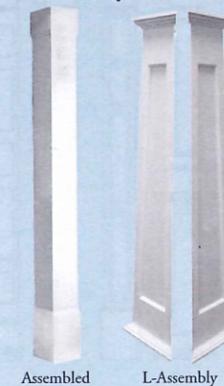


12" PermaWrap® Column with Tuscan Base and Custom Cap

Custom PermaWrap® Columns

From 5" to 24" wide and 2' to 20' in length, you can now order the perfect custom column for your home or neighborhood project. Custom columns are manufactured using 3/8", 1/2", or 5/8" cellular PVC. Ask HB&G today how you can put a unique signature on your next custom project. Simply visit our website, www.hbgcolumns.com, or contact our Architectural Department at 1-800-264-4HBG (4424).

Two Ways to Order PermaWrap® Columns



- Assembled**
- Manufactured from cellular PVC
 - Fully Assembled (with or without post)
 - Ready to Install
- L-Assembly**
- Manufactured from 3/8", 1/2", or 5/8" cellular PVC
 - Shipped in two L-shaped halves
 - Square Column Ready to Wrap Around an Existing Post
 - Available in Plain, Fluted, Raised Panel, or Recessed Panel
 - Craftsman Columns Available in Plain, Raised, and Recessed Panel Styles

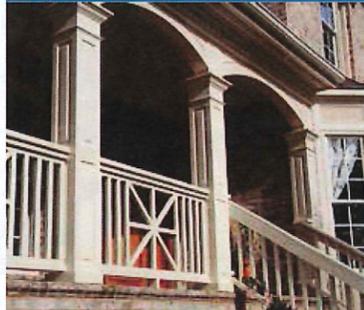


24" x 18" Square Recessed PermaWrap® Columns

Leading the industry in column innovation, HB&G PermaWrap® columns are made from cellular PVC and offer the advantages of being unaffected by moisture and insects but with the thickness, ease of use, and workability of wood.

PermaWrap® columns are available in all sizes and styles – square or craftsman – plain, fluted, raised panel, and recessed panel. With all of these options, you are certain to find just the right amount of detail for your specific project.

Best of all, the PermaWrap® column comes with a 25-year HB&G warranty.



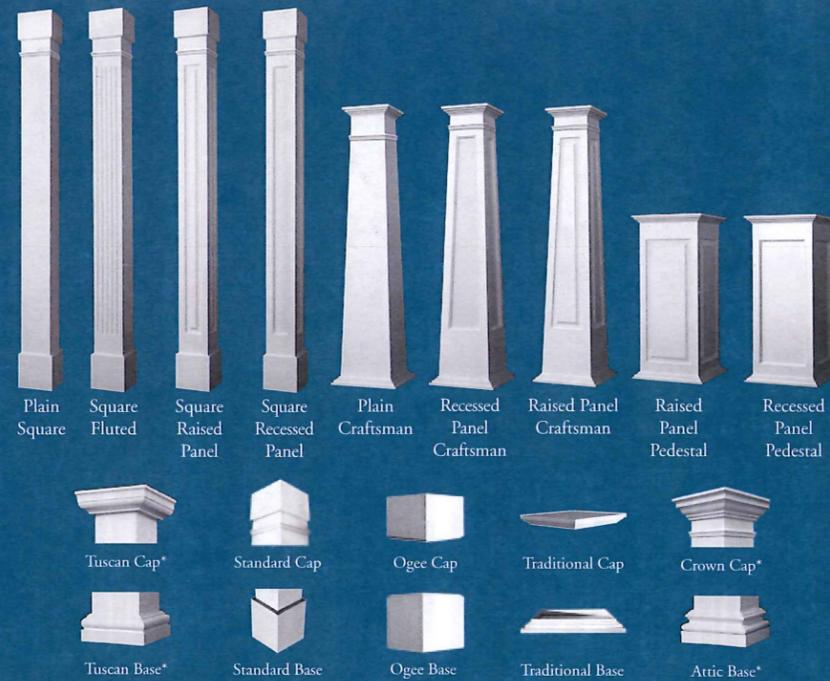
10" x 8" Custom Raised Panel Square PermaWrap® Columns and Custom Rail Design



14" x 10" Custom Raised Panel PermaWrap® Columns

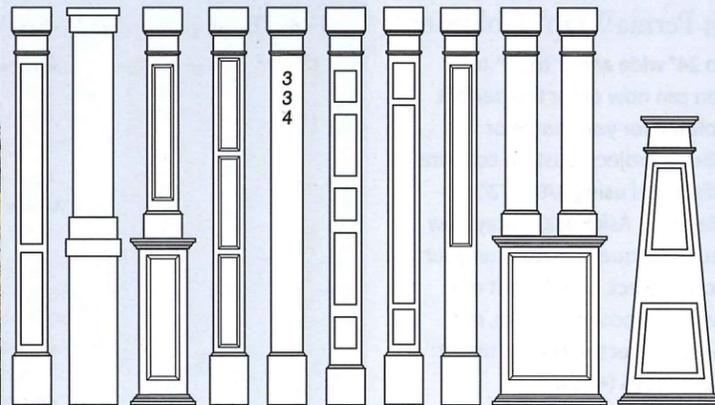


16" x 6" Craftsman PermaWrap® Column with Pedestal



*Made from polyurethane and may need to be split in the field for installation.

Examples of custom PermaWrap® columns

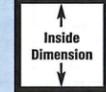


PLAIN PERMAWRAP® DIMENSIONS (IN INCHES)

	Col Width	A	C	G	L	R	U	Lengths
Assembled	6"	5 7/8"	7 1/8"	1"	7 1/8"	9"	7"	8', 10'
	8"	7 1/8"	9 1/8"	1"	9 1/8"	9"	7"	8', 10', 12'
	10"	9 1/8"	11 1/8"	1"	11 1/8"	9"	7"	8', 10', 12'
	12"	11 7/8"	13 3/8"	1"	13 3/8"	9"	7"	8', 10', 12'
L Assembly	6"	5 7/8"	7 1/8"	1"	7 1/8"	9"	7"	8', 10'
	8"	7 1/8"	9 1/8"	1"	9 1/8"	9"	7"	8', 10', 12'
	10"	9 1/8"	11 1/8"	1"	11 1/8"	9"	7"	8', 10', 12'
	12"	11 7/8"	13 3/8"	1"	13 3/8"	9"	7"	8', 10', 12'

INSIDE DIMENSIONS

6"	4 7/8"
8"	6 1/8"
10"	8 1/8"
12"	10 1/8"



Additional sizes are available from 5" to 24" wide and 2' to 20' in length.

PERMAWRAP® FLUTED, RECESSED PANEL, AND RAISED PANEL DIMENSIONS (IN INCHES)

Col Width	A	C	G	L	N	O	S*	R	U	Lengths
6"	5 7/8"	7 1/8"	1 1/8"	7 1/8"	6"	6"	1 3/4"	9"	7"	6', 8', 9', 10'
8"	7 1/8"	9 1/8"	1 1/8"	9 1/8"	6"	6"	1 3/4"	9"	7"	6', 8', 9', 10', 12'
10"	9 1/8"	11 1/8"	1 1/8"	11 1/8"	6"	6"	1 3/4"	9"	7"	6', 8', 9', 10', 12'
12"	11 7/8"	13 3/8"	1 1/8"	13 3/8"	6"	6"	1 3/4"	9"	7"	6', 8', 9', 10', 12'

Rail breaks are 7" long and designed to fit 36" or 42" rail heights.
 *S dimension for 6" raised panel is 1-1/4",
 8" raised panel is 1-1/2".
 S dimension for fluted columns vary.

INSIDE DIMENSIONS

6"	3 7/8"
8"	5 7/8"
10"	7 7/8"
12"	9 7/8"

NUMBER OF FLUTES PER SIDE

6"	3
8"	5
10"	7
12"	8

Additional sizes are available from 5" to 24" wide and 2' to 20' in length.

PERMAWRAP® CRAFTSMAN DIMENSIONS (IN INCHES)

Col Width	A	B	C	G	L	N	O	S	R	U	Lengths
12"X8"	11 7/8"	7 1/8"	14 7/8"	1 1/8"	10 7/8"	6"	6"	1 3/4"	2"	2"	54", 60", 66", 72", 84", 96"
16"X10"	15 7/8"	9 1/8"	18 7/8"	1 1/8"	12 7/8"	6"	6"	1 3/4"	2"	2"	54", 60", 66", 72", 96"
20"X15"	19 7/8"	14 7/8"	22 7/8"	1 1/8"	17 7/8"	6"	6"	1 3/4"	2"	2"	54", 60", 66", 72", 96"

Additional sizes are available from 5" to 24" wide and 2' to 20' in length.

INSIDE DIMENSIONS

	Bottom	Top
12" x 8"	10 3/8"	5 7/8"
16" x 10"	14 3/8"	6 7/8"
20" x 15"	18 7/8"	12 7/8"



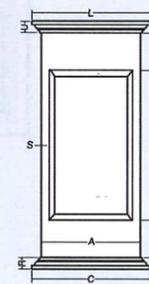
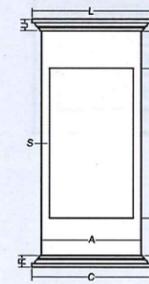
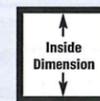
PERMAWRAP® PEDESTAL DIMENSIONS (IN INCHES)

Col Width	A	C	L	N	O	S	R	U	Lengths
16"	15 7/8"	18 7/8"	18 7/8"	6"	6"	1 3/4"	2"	2"	40", 46"
20"	19 7/8"	22 7/8"	22 7/8"	6"	6"	1 3/4"	2"	2"	40", 46"
24"	23 7/8"	26 7/8"	26 7/8"	6"	6"	1 3/4"	2"	2"	40", 46"

Additional sizes are available from 5" to 24" wide and 2' to 20' in length.

INSIDE DIMENSIONS

16"	13 7/8"
20"	15 7/8"
24"	21 7/8"



cPVC Painting and Finishing

Caulk where required using Siroflex brand Sealant and Adhesive provided by manufacturer. Putty any holes using acrylic putty or caulk. Lightly sand or scuff surface of column. Clean surface of column to remove any dirt or hand oil residue with light detergent and water, denatured alcohol, or window cleaner. Be sure to remove soap residue with clean water. Apply one coat of 100% acrylic exterior primer and one or more finish coats of 100% acrylic exterior paint.

Do not paint columns using dark colors (dark colors are considered any color that falls within the L value of 56 to 0). L is a measure of lightness of an object and ranges from 0 (black) to 100 (white).

RigidWrap™ FAWP Columns

- 25 year warranty
- Made from cellular PVC
- Load bearing
- Wind uplift resistant
- Insect proof
- Weather proof
- Low maintenance
- Indoor and outdoor use



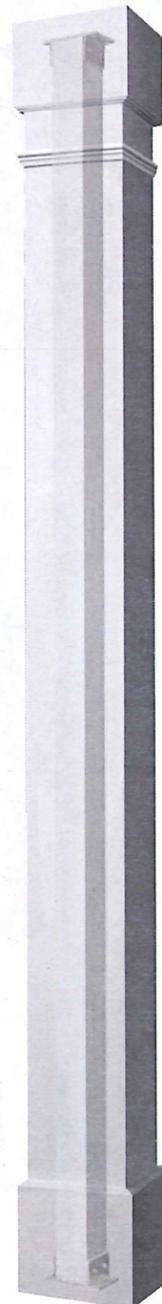
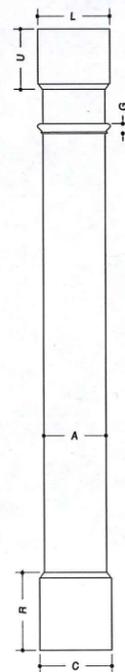
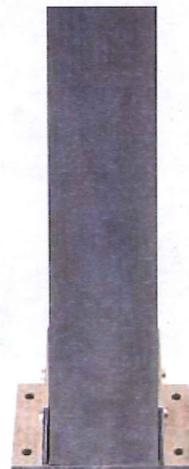
RigidWrap™ is a fully assembled cPVC column with an internal aluminum post. The aluminum post makes a RigidWrap™ column load bearing. Brackets and hardware are included with the product. The brackets attach the aluminum post to the floor and beam/header. This secure connection delivers wind uplift resistance. The aluminum post and brackets may also be purchased separately for use with PermaWrap® L-Assembly columns or PermaSnap™ Column Wraps.

PLAIN COLUMN DIMENSIONS (IN INCHES)

Col Width	A	C	G	L	R	U	Lengths
6"	5 ⁷ / ₈ "	7 ¹ / ₈ "	1 ¹ / ₈ "	7 ¹ / ₈ "	9"	7"	8', 9', 10'
8"	7 ⁷ / ₈ "	9 ¹ / ₈ "	1 ¹ / ₈ "	9 ¹ / ₈ "	9"	7"	8', 9', 10'
10"	9 ⁷ / ₈ "	11 ¹ / ₈ "	1 ¹ / ₈ "	11 ¹ / ₈ "	9"	7"	8', 9', 10'
12"	11 ⁷ / ₈ "	13 ¹ / ₈ "	1 ¹ / ₈ "	13 ¹ / ₈ "	9"	7"	8', 9', 10'

INSIDE DIMENSIONS	
6"	4 ³ / ₈ "
8"	6 ³ / ₈ "
10"	8 ³ / ₈ "
12"	10 ³ / ₈ "

NOTE: Follow cPVC painting instructions on page 21.



Roof Shingles

GAF **TIMBERLINE**^{Natural Shadow}
LIFETIME SHINGLES

There's Nothing Quite Like A Genuine Timberline® Roof!

Professional installers have long preferred the rugged, dependable performance that only a Timberline® roof can offer. That's why Timberline® Shingles with **Advanced Protection® Shingle Technology** are the #1-selling shingles in all of North America.

But performance is only half the story. Since your roof can represent up to **40%** of your home's "curb appeal," you can improve its resale value with Timberline® Natural Shadow® Shingles from GAF. They'll give you the upscale, architectural look you want, at a price you can afford!



Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



Timberline® Shingles—
North America's
#1-Selling
Shingles!

Color Shown:
Slate

GAF **TIMBERLINE**^{Natural Shadow}
LIFETIME SHINGLES

Benefits

- **Great Value...** Architecturally stylish but practically priced—with a Lifetime Ltd. warranty.*
- **Attractive Appearance...** Features a classic shadow effect. Lends any home a subtle, eventoned look with the warmth of wood.
- **Highest Roofing Fire Rating...** UL Class A, listed to ANSI/UL 790
- **High Performance...** Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/APS/ to learn more).
- **Stays In Place...** Dura Grip™ adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph!†
- **Peace Of Mind...** Lifetime Ltd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years.*
- **Perfect Finishing Touch...** Use Timberex® Premium Ridge Cap Shingles or Ridglass® Premium Ridge Cap Shingles.**



* See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

** These products are not available in all areas. See www.gaf.com/ridgecapavailability for details.

† This wind speed coverage requires special installation; see GAF Shingle & Accessory Ltd. Warranty for details.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



Color Shown:
Pewter Gray
(not available in all areas)



Color Shown:
Barkwood
(not available in all areas)

GAF **TIMBERLINE** Natural Shadow
LIFETIME SHINGLES

Install Peace Of Mind... Install To Protect!

When you install GAF Timberline® Natural Shadow® Shingles with **Advanced Protection® Shingle Technology**, you're getting the very best combination of weight and performance that modern manufacturing technology can deliver. In fact, you won't find a shingle that surpasses Timberline® on:

- ✓ Toughness
- ✓ Wind uplift resistance
- ✓ Flexibility
- ✓ Fire resistance

That's why every Timberline® Shingle comes with GAF's transferable Lifetime Ltd. Warranty*—for your peace of mind!—plus the backing of the Good Housekeeping Seal!**



*See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

**GAF Shingles have earned the prestigious Good Housekeeping Seal, which means that Good Housekeeping stands behind these products. (Refer to Good Housekeeping Magazine for its consumer protection policy. Applicable in U.S. only.)

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



Color Shown:
Charcoal



Color Shown:
Shakewood

GAF **TIMBERLINE** Natural Shadow
LIFETIME SHINGLES

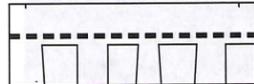
Timberline® Shingles Are Also The Favorite Of Professional Contractors...



- **More Referrals...** People will know that you're installing America's #1-selling laminated shingles!
- **Less Chance Of CallBacks...** Durable, wind-resistant shingles carry 130 mph l.d. wind coverage.¹

¹This wind speed coverage requires special installation. See GAF Shingle & Accessory Ltd. Warranty for details.

SPECIFICATIONS



13 1/4" x 39 3/8" Metric

- Fiberglass asphalt shingle
- Lifetime l.d. transferable warranty¹
- Smart Choice® Protection for the first 10 years¹
- 130 mph l.d. wind coverage²
- StainGuard® Protection³
- UL listed to ANSI/UL 790 Class A
- ASTM D7158, Class H
- ASTM D3161 Type 1, Class F
- ASTM D3018 Type 1
- ASTM D3462⁴
- Classified in accordance with ICCES AC438
- Miami-Dade County Product Control approved⁵
- Florida Building Code approved
- Texas Department of Insurance approved⁶
- ICC approved⁷
- ENERGY STAR® certified (U.S. only)⁸
- Approx. 64 Pieces/Square
- Approx. 3 Bundles/Square
- Approx. 256 Nails/Square
- Exposure: 5 1/4"



¹ See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

² This wind speed coverage requires special installation. See GAF Shingle & Accessory Ltd. Warranty for details.

³ StainGuard® protection applies only to shingles with StainGuard® labeled packaging. See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions.

⁴ Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

⁵ Applies to some plants.

⁶ Timberline® Natural Shadow® Arctic White is ENERGY STAR® certified (U.S. only) and rated by the Cool Roof Rating Council. See gaf.com for availability and details.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



Color Shown:
Hickory



Color Shown:
Hunter Green
(not available in all areas)

GAF **TIMBERLINE** Natural Shadow®
LIFETIME SHINGLES

"Timberline® Shingles not only protect your most valuable asset but also beautify your home for years to come."

Color Availability Chart*



*Notes:
• Arctic White only available in the Shafter area.
• Hunter Green only available in the Minneapolis and Michigan City areas.
• Pewter Gray only available in the Baltimore/Myerstown and Michigan City areas.
• Timberline® Natural Shadow® Shingles are not available in the Tampa area.

We can help you choose the right shingle for your roof!

Try GAF's Virtual Home Remodeler at gaf.com. Visualize GAF Shingles on a house like yours—or upload and decorate your own house. Try different siding, trim, and brick colors. It's fun!

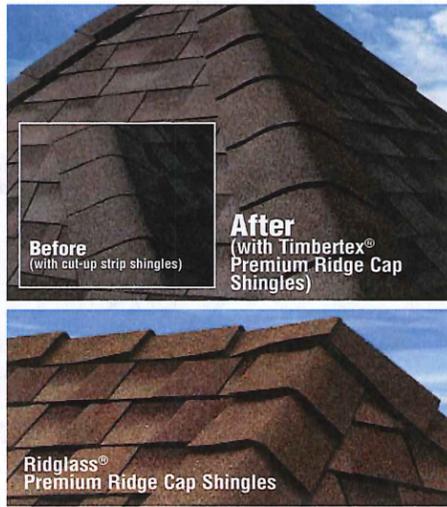


Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

†Timberline® Natural Shadow® Arctic White is ENERGY STAR® certified in the U.S. only and rated by the Cool Roof Rating Council (CRRC). See gaf.com for availability and details. When installed properly, this product will help to reduce energy costs. Actual savings will vary based on geographic location and individual building characteristics. For more information, contact GAF Technical Services at 1-800-WOOD-411, visit gaf.com, or call 1-888-STARVES.

Timbertex® and Ridglass®
Premium Ridge Cap Shingles

GAF



Important Warning:
Timbertex® and Ridglass® Premium Ridge Cap Shingles are designed to complement the color of your Timberline® Shingles. But some contractors cut costs by using the tabs from a 20-year or 25-year 3-tab shingle as your ridge cap. To ensure the closest color consistency for your roof, ask your contractor to use genuine Timbertex® or Ridglass® Premium Ridge Cap Shingles.*

- **Complements Timberline® Colors...** Designed to complement the color of your Timberline® Shingles
- **Strong Protection For Hips & Ridges...** Multi-layer design protects the most vulnerable areas of your roof
- **Perfect Finishing Touch...** Extra-thick designs with massive 8" exposure are 2-3 times thicker (versus typical strip shingles) for a distinctive, upscale look
- **Stays In Place...** Dura Grip™ Self-seal Adhesive seals each piece tightly and reduces the risk of shingle blow-off
- **Peace Of Mind...** Up to a Lifetime Ltd. warranty when installed on Lifetime Shingle roofs!

*See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles and accessories are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable. Lifetime Ltd. warranty on accessories requires the use of at least three qualifying GAF accessories and the use of Lifetime Shingles.



*These products are not available in all areas. See www.gaf.com/ridgecapavailability for details.

GAF **TIMBERLINE** American Harvest®
LIFETIME SHINGLES

"Colors From The Heartland Of America"



Looking For A Designer Color Blend For Your Roof? Consider Timberline® American Harvest® Shingles...

SALES OFFICES:
NORTHEAST 717-696-8892
CENTRAL 630-295-1990
SOUTHEAST 819-829-8990
SOUTHWEST 972-551-0500
WEST 800-445-9390
CANADA 855-492-5085
WORLD HQ 973-628-3000

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The GAF Lifetime Roofing System has earned the Good Housekeeping Seal. This system, based on Good Housekeeping Magazine's (GHM) consumer protection policy, is available in the U.S. only.



Cobra® Attic Ventilation
Helps remove excess heat and moisture from your attic to promote energy efficiency in your home and help extend the life of your roof.

Roof Deck Protection
Provides an exceptionally strong layer of protection against wind-driven rain, some even allow moisture to escape from your attic. Also, less flatter for a better-looking roof.

Leak Barrier
Provides exceptional protection against leaks caused by roof settling and extreme weather. Ideal upgrade at all vulnerable areas (including at the eaves in the North).

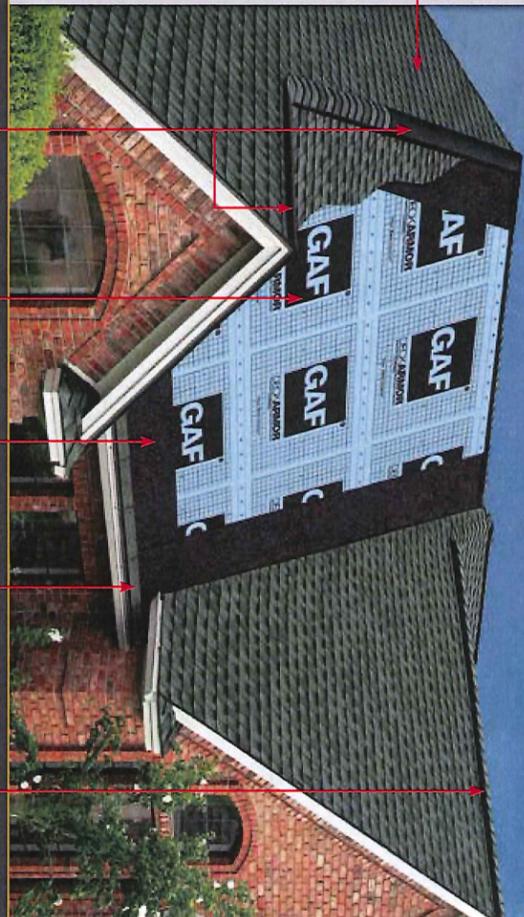
Starter Strip Shingles
Saves time, eliminates waste, and reduces the risk of blow-off, and may even help qualify for upgraded wind warranty coverage (see GAF Shingle & Accessory Ltd. Warranty for details).

Ridge Cap Shingles
Enhances the beauty of your home while guarding against leaks at the hips and ridges.

LIFETIME SHINGLES
GAF offers you many great Lifetime Shingle choices, including Timberline® Shingles with Advanced Protection™ Shingle Technology. They're the #1-selling shingles in North America!

Advanced Protection™ Shingle Technology provides excellent protection for your home while reducing the use of precious natural resources. That's better for your home—and better for the environment!

To learn more about why Advanced Protection™ Shingles are your best choice, visit gaf.com/APS/.



GAF
Quality You Can Trust... From North America's Largest Roofing Manufacturer!
gaf.com

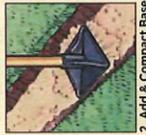
More Than Just Coverage On Your Shingles! Get Automatic Lifetime Protection On Your Entire GAF Roofing System!*

- When you install any GAF Lifetime Shingle and at least 3 qualifying GAF accessories, you'll automatically get:
- A Lifetime Ltd. warranty on your shingles and all qualifying GAF accessories!*
 - Non-provided coverage for the first 10 years!*

Retaining Walls



1. Stake Out/Remove Sod



2. Add & Compact Base



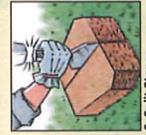
3. Level Base



4. Lay and Level Stones



5. Add Drainage Aggregate



6. Split Stones



7. Mark and Cut Cap



8. Glue Cap

Installation Instructions:

1. Begin by staking out the wall you are making. For curved sections, use a garden hose to lay out the wall line. Dig a trench along this line. The width of the trench should be twice the depth of the block you are using (if your block is 8" deep, make your trench 16" wide). If you are going to use one, two or three courses of block, make the trench deep enough to bury half of the first course. If you are going to use four courses of block, make the trench deep enough to bury the full first course.
2. Prepare the base by firmly compacting the soil in the bottom of the trench and placing 2" of paver base in the bottom of the trench. For walls over 24" in total wall height, a minimum 4" of compacted paver base must be used for leveling the base.
3. Level the surface in both directions with a carpenter's level.
4. Use your hammer and chisel to remove the rear lips from all stones used for the base course. Use string to align the back edges of the first course. Position the wall units side by side on the prepared base and level in both directions using your carpenter's level. Continue assembling additional courses by placing units in a staggered relationship to the course beneath (running bond), pulling each unit forward until the rear lip is securely in contact with the units below.
5. Place filter fabric directly behind the wall extending from the bottom of the base course to the middle top course. Backfill each course with drainage aggregate and extend 6" behind the wall. Compact. Organic soil or clay type soil is not recommended for backfill material.
6. To split a block, use a hammer and chisel to score the block on all sides. Pound the chisel on the score line until the block splits. To build a 90 degree corner with Anchor retaining wall products you will need to use a circular saw with a masonry blade. Cut a 45 degree angle on each of two blocks. Cut from a front corner to the back of the block. Glue pieces together (with construction glue) so two block faces form the finished outside corner. Read and understand the operating manual before using a saw. **Always wear eye protection when splitting stones.**
7. For capping inside and outside curves, trim your caps to follow the radius of your wall. Place a cap at the beginning of the curve. Skip a space and place the next cap in the third position. Rest a cap on the top of the original two, aligning its face with the face of the wall. Mark the bottom of the cap along the edges as shown. Use a circular saw with a masonry blade to cut the marked cap. Place the cap. On a 90 degree corner wall, the caps need to be saw cut to achieve a 45 degree mitered corner.
8. Use an exterior concrete construction adhesive to secure the caps.

Materials Needed:



PRODUCT INFORMATION



Building Products Corporation has provided great service, superior quality and innovative products to homeowners for over 50 years. Count on us for your next project. Create beautiful borders, garden planters and curved walls by yourself.

Manufactured by:



BuildingProductsCorp.com
800-427-6282

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XXXX 02/09



Anchor™ Aspen Stone® RETAINING WALLS

A timeless face style and warm blended colors give Aspen Stone® Retaining Walls a handsome, rough-hewn appearance.



Retaining Wall Units	Aspen Stone	Cap
Approximate Dimensions*	4" x 11-5/8" x 7"	2-3/8" x 12" x 7-1/2"
Approximate Weight	22 lbs.	14 lbs.



Anchor™ Hampton Stone Cut™ RETAINING WALLS

The single-piece Hampton Stone Cut™ product offers a neat, orderly appearance softened by rounded edges.



Retaining Wall Units	Hampton Stone Cut	Cap
Approximate Dimensions*	4" x 12" x 7"	3-5/8" x 15-5/8" x 12"
Approximate Weight	22 lbs.	55 lbs.

Anchor™ Flores™ RETAINING WALLS

Beautifully textured, this single-piece product gives the look of multiple-piece, hand-assembled stone. The lightweight, easy-to-handle size makes this the perfect solution for small retaining walls, terraced walls and garden planters.



Retaining Wall Units	Flores	Cap
Approximate Dimensions*	4" x 12" x 7"	2" x 12" x 8"
Approximate Weight	22 lbs.	14 lbs.

How Many Blocks Do I Need?

Wall Height in Courses/Inches (above grade)	Wall Length in Feet								
	5'	10'	15'	20'	25'	30'	35'	75'	100'
1 Course / 6"	4	8	12	15	19	23	27	56	75
2 Courses / 12"	8	15	23	30	38	45	53	112	150
3 Courses / 18"	12	23	34	45	56	68	79	168	224
4 Courses / 24"	15	30	45	60	75	90	105	224	299
5 Courses / 30"	19	38	56	75	94	112	131	280	374
6 Courses / 36"	23	45	68	90	112	135	157	336	448

*If the section is one, two or three courses high, **bury one-half of the first course for any size wall.** If the section is four courses or higher, the full first course must be buried. Given heights assume no slope below or above the wall, no surcharge loads, and a compacted backfill zone.



How Many Blocks Do I Need?

Wall Height in Courses/Inches (above grade)	Wall Length in Feet								
	5'	10'	15'	20'	25'	30'	35'	75'	100'
1 Course / 4"	6	11	16	21	26	31	36	76	102
2 Courses / 8"	11	21	31	41	51	61	71	152	203
3 Courses / 12"	16	31	46	61	76	91	107	228	304
4 Courses / 16"	21	41	61	81	102	122	142	304	405
5 Courses / 20"	26	51	76	102	127	152	177	379	506
6 Courses / 24"	31	61	91	122	152	182	213	455	607

*If the section is one, two or three courses high, **bury one-half of the first course for any size wall.** If the section is four courses or higher, the full first course must be buried. Given heights assume no slope below or above the wall, no surcharge loads, and a compacted backfill zone.

How Many Blocks Do I Need?

Wall Height in Courses/Inches (above grade)	Wall Length in Feet								
	5'	10'	15'	20'	25'	30'	35'	75'	100'
1 Course / 4"	6	11	16	21	27	32	37	79	105
2 Courses / 8"	11	21	32	42	53	63	73	157	209
3 Courses / 12"	16	32	47	63	79	94	110	235	313
4 Courses / 16"	21	42	63	84	105	125	146	313	417
5 Courses / 20"	27	53	79	105	131	157	183	391	521
6 Courses / 24"	32	63	94	125	157	188	219	469	625

*If the section is one, two or three courses high, **bury one-half of the first course for any size wall.** If the section is four courses or higher, the full first course must be buried. Given heights assume no slope below or above the wall, no surcharge loads, and a compacted backfill zone.