



AGENDA

OF THE

CITY OF WILDWOOD'S

ARCHITECTURAL REVIEW BOARD

CITY HALL COMMUNITY ROOM

16860 Main Street

Thursday, January 12, 2017 - 7:00 p.m. to 9:00 p.m.

1. Welcome And Roll Call By Chair
2. Approval Of Meeting Minutes Of December 8, 2016

Documents:

[II. DRAFT DECEMBER 8, 2016 MINUTES.PDF](#)

3. Review Agenda Items To Be Discussed At Tonight's Meeting By Chair
4. New Business
 - 4.I. Ready For Action – One (1) Item
 - 4.I.i. Review Of The Architectural Elevations And Related Materials For An Approved Single Family Residential Subdivision That Is Located On An Eight (8) Acre Tract Of Land; West Side Of Center Avenue, South Of Manchester Road; R1-A 22,000 Square Foot Residence District, A Planned Residential Development Overlay District (PRD); A Total Of Twelve (12) Detached Single Family Dwellings. The Review Of Architectural Elevations And Related Materials By The City's Architectural Review Board Is A Requirement Of The Site-Specific Governing Ordinance (Ordinance #2088). P.Z. 21, 22, And 23-14, Stone Mill Subdivision, Whalen Custom Homes. (Ward – Eight)

4.I.i.1. Stone Mill – Lot 9

Documents:

[IV.1.A.STONE MILL.PDF](#)

5. Old Business:

5.I. Ready For Action – No Items

5.II. Not Ready For Action – No Items

6. Other

7. Public Comment

8. Closing Remarks And Adjournment

Note: The Architectural Review Board will consider and act upon these matters listed above and any such others as may be presented at the meeting and determined appropriate for discussion at that time.

The City of Wildwood will provide reasonable accommodations for persons attending Architectural Review Board meetings. Requests for reasonable accommodations should be made by contacting Liz Weiss, City Clerk at 636-458-0440 or email at liz@cityofwildwood.com at least 48 hours prior to the start of the meeting.

If you would like to submit a comment regarding an item on this meeting agenda, please visit the [Form Center](#).

**CITY OF WILDWOOD
RECORD OF PROCEEDINGS**

**MEETING OF THE ARCHITECTURAL REVIEW BOARD
CITY HALL, 16860 MAIN STREET, WILDWOOD, MISSOURI
December 8, 2016**

The Architectural Review Board meeting began at 7:00 pm, on Thursday, December 8, 2016, in the Community Room, 16860 Main Street, Wildwood, Missouri.

I. Welcome and Roll Call

Chair Hoffmann called the meeting to order and welcomed everyone. The following members were in attendance, as noted:

Present [8]

Chair Hoffmann
Vice-Chair Dial
Board Member Teller
Board Member Hensic
Alternate Lindberg
Commission Liaison Lee

Absent [2]

Secretary Crow
Council Liaison Baugus

Staff present: Director Vujnich, Planner Newberry, and City Attorney Young
City Officials: None
Petitioners present: Mike Whalen and Franklin D. Wiseman, Whalen Custom Homes

II. Approval of Meeting Minutes from November 10, 2016

A motion was made by Board Member Teller, seconded by Board Member Hensic, for the approval of the November 10, 2016 meeting minutes, as prepared. There being no discussion or changes, the motion passed by a voice vote [5-0].

III. Agenda Items to be Discussed at Tonight's Meeting

IV. New Business

1. Ready for Action [Two (2) Items]

- a) A discussion with City Attorney Young regarding the issue of architectural participation/credentials that was identified by the board members at its October meeting.

Director Vujnich introduced City Attorney Young. Mr. Young provided a presentation on the relevant documents provided to the Board at tonight's meeting regarding licensing and registration of architects in Missouri and the City board's function relative to the same. Director Vujnich stated the Department will begin the process to consider amending the City's Zoning Ordinance regarding the Architectural

Review Board's authority, including requiring the attendance of a petitioner's architect of record at its meetings and the extent and types of necessary information that must be included on submitted architectural drawings and applications. The Board and the Department thanked City Attorney Young for his assistance.

- b) Review of the Architectural Elevations and related materials for an approved single family residential subdivision that is located on an eight (8) acre tract of land; west side of Center Avenue, south of Manchester Road; R1-A 22,000 square foot Residence District, with a Planned Residential Development Overlay District (PRD); a total of twelve (12) detached single family dwellings. The review of Architectural Elevations and related materials by the City's Architectural Review Board is a requirement of the site-specific governing ordinance (Ordinance #2088). P.Z. 21, 22, and 23-14, Stone Mill Subdivision, Whalen Custom Homes. (Ward – Eight)

1. Stone Mill – Lot 12

Director Vujnich briefly outlined the approved development, noting the Board had previously reviewed three (3) homes for this project, and somewhat familiar with its characteristics.

Discussion was held among Board Members regarding the placement of the home on the lot and the access to the lot from Falstone Mill Court.

Mike Whalen, Whalen Custom Homes, stated the placement of the home on the lot was decided largely due to the purchaser's desire for privacy.

A motion by Board Member Teller, seconded by Vice-Chair Dial, to approve the elevations and related materials, as submitted. The motion passed by a voice vote [5-0].

2. Not Ready for Action [No Items]

V. Old Business

1. Ready for Action [One (1) Item]

- a) Town Center Development Manual's review and update, after the completion of the overall plan's ten (10) year update [approved December 2013]. The Board will review the revised Town Center Plan's Architectural Guidelines document, in its entirety. (Wards – 1, 4, 5, 6, 7, and 8)

Director Vujnich noted the Board has completed its initial edits to the Town Center Plan's Architectural Guidelines. He explained the Department provided the edited Architectural Guidelines, in their entirety, and outlined the next steps for the Town Center Development Manual's review and update.

Discussion was held among Board Members regarding certain edits to the Architectural Guidelines.

A motion by Board Member Teller, seconded by Board Member Hensic, to approve the Architectural Guidelines, with edits agreed upon at tonight's meeting (*see attached Architectural Guidelines reflecting these edits*). The motion passed by a voice vote [5-0].

2. Not Ready for Action [No Items]

VI. Public Comment

VII. Closing Remarks and Adjournment:

Director Vujnich noted the next regularly scheduled meeting will be held on January 12, 2017.

A motion by Board Member Teller, which was seconded by Board Member Hensic, to adjourn. The motion was passed by a voice vote [5-0]. The meeting was adjourned at 9:00 p.m.

Approved by:

Date Approved:

Secretary Crow
City of Wildwood Architectural Review Board

DRAFT



WILDWOOD®

Town Center Architectural Guidelines

Prepared by the Architectural Review Board

“Planning Tomorrow Today”

Statement of Intent

It is the intent of the City of Wildwood to encourage design creativity while maintaining compatible architecture throughout the city. Compatible does not mean ‘the same’, it means that we can utilize differing architectural styles so long as the design reflects the sense of place of the specific area and creates a continuity of character. This definition purposefully allows quite a bit of latitude. It is the purpose of the Architectural Review Board (ARB) review process to enforce this definition while entertaining the presenters own design philosophy for any given project.

The ARB reserves the right to respectfully disagree with presenters and therefore make suggestions on design or to outright reject any proposal.

MISCELLANEOUS

Site design: Aside from compliance with all ordinances, planning and zoning, and civil engineering requirements, all developments shall be 'designed' so that they are compatible with neighboring properties. Character of the neighborhood shall be maintained and may take precedence over other minimum requirements. In general, residential or commercial buildings should face the pedestrian way, should address the direction of incoming travel, and in the case of corner lots, structures shall address both public directions. Commercial buildings shall not turn their back on main roads or intersections regardless of whether or not there are access roads behind them. A well-engineered site is no more important than a well-designed site.

Work with the site conditions and not against them. Consider the sun to building orientation, natural drainage patterns, approach, etc. before simply dropping in a building.

Colors shall be consistent with the character of the local area of the project and with the City overall. As a general direction for designers, one can use the Benjamin Moore Williamsburg Color Collection as a starting point. These are generally historical colors of earth tone bases.

Exterior materials that do not have an integral color shall be painted or stained. The overall color palette shall be consistent and compatible throughout the project and shall compliment the surrounding environment.

Trim shall be of one color, which may or may not be the same as the wall color. However, trim color shall complement those used on walls.

Storefront colors shall be complimentary to the building. Bright colors are generally discouraged and subject to ARB approval.

Accent color may be used for items such as the front door and shutters subject to approval of the ARB.

Masonry and mortar colors shall be selected from earth tone palettes. Natural mortar is acceptable.

Rough Siding and exterior wood shall be stained or finished as approved by the ARB, except wood roof shingles that may be left to age naturally.

Light fixtures on commercial buildings shall be mounted to walls, have LED, incandescent or metal halide bulbs and may not produce glare on adjacent properties. Light fixture cut sheets shall be submitted to the ARB along with design documents.

Picket fences shall be no greater than 3.5 feet high at front yards. Board fences may not exceed 6 feet and only used in side yards behind the front face of the building and rear yards. Chain link fences are not permitted.

Retaining walls shall be an integral part of a building design and will be reviewed on a case by case basis.

Free standing garages shall maintain the general character of the main building.

Misc. Façade Compositions:

Fenestration patterns and percent of coverage shall be consistent with surrounding buildings.

Avoid blank or monotonous elevations.

Create a pedestrian friendly scale.

Avoid garage doors on the front elevation except for residential buildings where the house is wide enough to maintain at least fifty percent (50%) of the front façade without a garage door.

Proportion is everything!

DRAFT

ELEMENTS

Columns, piers, arches, and chimneys shall be made of stone, wood, brick, or stucco. Any interior chimney flues shall be metal or clay flue tile. Chimney liner should be per building code.

Porches, posts, spindles, and balusters shall be made of wood, PVC or fiberglass, except railings attached to concrete or brick, which may be made of steel or wrought iron, and exhibit a painted or powder coated finish. Porches may be enclosed with glass or screens; however, glass enclosures are not permitted at frontages. Porch ceilings may be enclosed with painted wood or beaded vinyl; exposed joists shall be painted.

Porches shall be no less than 6 feet in depth and a minimum of 18 inches above grade. Porches shall be lighted consistent with the City's Outdoor Lighting Regulations. Other illumination sources may be authorized based upon architectural merit.

Screened and visible sides of porches must be skirted.

Railings shall have top and bottom rails.

Decks shall be located in rear yards and where not easily visible from streets or paths. Decks shall be made of polymer lumber or composite material or shall be painted or stained wood or an exotic hardwood such as ipe that does not require staining to maintain its appearance.

Wood elements must be painted or stained with an opaque stain, except walking surfaces may be left natural.

Chimneys shall be a min. 2:1 proportion in plan and capped to conceal spark arresters. A chimney is required on any structure with a fireplace.

Bay windows at frontages shall be habitable.

OPENINGS

Materials

Windows shall be made of vinyl or aluminum or clad wood and shall be glazed with transparent low-E glass in residential areas of the Town Center. Window selection shall be appropriate to the building and historically appropriate proportion. Screen frame colors shall match the windows, where they are used.

Tinted glass may be considered for commercial buildings.

Doors shall be wood, steel, or fiberglass. If glazed, doors shall be glazed with clear low-E glass.

Storm doors shall be factory finished painted wood or painted/anodized aluminum and match the entry door.

Security grilles must be approved by the ARB.

Configurations

Openings in upper stories shall be centered directly above openings in the first story. Openings in the gable ends must be centered. Openings shall be a minimum of 2 feet from building corners, unless approved by the ARB.

All sides of residential building shall have windows unless historically accurate such as row houses, etc. Glazed areas shall be proportional to the total size of the facade where located.

Windows shall be single-hung, double-hung, or triple-hung or casement or awning types.

Transoms may be oriented horizontally with panes of vertical proportions.

Window muntins shall be true divided lights or fixed (snap-ins) on the exterior surface. Muntins shall be located on the outside of the window, unless approved by the Architectural Review Board.

Sliding doors shall be permitted only at residential backyard locations.

Garage doors facing a street frontage shall be a minimum of 10 feet in width. Tapered drives can be used in the Town Center.

Shutters shall be sized and shaped to match the opening, when used.

WALLS

Materials

Building Walls shall be finished in brick, stone, manufactured stone, split-faced or ground-faced block (commercial only), limestone (commercial only), wood shingles, wood clapboard, drop siding, wood board and batten, smooth stucco, fiber cement siding, or vinyl siding. Clapboard and siding, except vinyl, shall be painted except as noted.

Foundation walls and piers may be exposed smooth-finished, poured concrete, formed patterns, parged block or brick veneer.

Garden walls shall be finished in stone, brick or stucco matching the principal building. Material composition shall be replicated on both sides of the wall. Gates shall be wood or wrought iron. Wall caps shall be of limestone or metal, to be reviewed on a case-by-case basis.

Garden walls shall be minimum 8 inches thick and capped with an overhang of no less than one inch.

Fences fronting the street shall be constructed of wood, vinyl or coated metal; said material to be compatible with the building façade. Wood fences may have brick piers. Vinyl materials may be used as a substitute in buildings walls and fences, but shall be from the Master List to ensure acceptable quality.

Configurations

Walls may be built of no more than three materials. Change in material shall be aesthetically pleasing, with the heavier material below the lighter, i.e. brick or stone below stucco. Masonry walls terminating at outside corners shall wrap the corner a minimum of 24 inches, unless approved by the ARB. Additions to buildings must be made of the same materials as the main building, except when the main building is made of brick, the addition can be wood.

Front elevations that have walls recessed or protruding from another plane shall not change materials on the sides at the recessed areas. Buildings are viewed in perspective

Siding shall be horizontal, a minimum 4 inches exposed to the weather. Boards with more than 8 inches to the weather shall show a 1 inch variation from one board to the next. Board and batten siding may be applied vertically

Wood shingles shall be 8 to 10 inches exposed. Shingles shall be hand split or machine cut and have bottom edges aligned.

Foundation walls shall be exposed a maximum of 12 inches above grade.

Trims shall not exceed 1 ½ inch in thickness. The minimum width at the corners shall be 6 inches. The minimum width around openings shall be 4 inches, except at the front door, which may be any size or configuration. Trim may be painted in any color compatible with the rest of the façade material colors.

ROOFS

Materials

Residential roof cladding materials are to include; clay and concrete tiles, metal shingles, slate, wood shakes and shingles, fiberglass-asphalt shingles and metal panels. Fiberglass-architectural shingles to have a minimum 30 year warranty.

Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper coated), or pre-finished aluminum. Splash blocks shall be made of brick, gravel, or concrete. In the absence of gutters, brick or gravel shall be placed at the drip line.

Flashing shall be copper, galvanized steel, stainless steel, membrane or pre-finished aluminum. Vinyl flashing is not allowed.

Configurations

The principal roofs shall be a gable or hip with a slope between 6:12 to 12:12.

Ancillary roofs (attached to walls at the upper portion) may be sheds with a minimum slope of 3:12.

Flat Roofs are permitted on commercial buildings. Flat roofs will have parapet walls at a height in accordance with building codes.

Roof top equipment shall be screened from view. Petitioner is required to submit "Line of Sight" drawings that depict views of the roof top equipment (with accurate equipment sizes) from all compass directions as well as proposed screening options. The calculation of the "Line of Sight" shall be completed utilizing the following criteria: the origin point shall be the far side of any abutting street/roadway or property line within a 750 foot radius, to the building's rooftop and associated equipment, measured from a point that is a minimum of five (5) feet above the pavement/grade elevation.

Roof penetrations shall be placed on the rear slope of the roof and painted to match the color of the roof, except those of pre-finished metal which must closely match the roof color. Plumbing stacks, flues, and attic vents shall not be placed on the front slope of any roof or a visible portion of it from the primary street, and painted to match the color of the roof.

Exposed foundation walls shall be painted to match siding color or be sided.



WILDWOOD

APPLICATION FOR THE CITY OF WILDWOOD'S ARCHITECTURAL REVIEW BOARD (please read thoroughly)

The following information and items shall be provided to the Department of Planning for processing and dissemination in association with scheduling of submittals before the City of Wildwood's Architectural Review Board (ARB). The ARB meets on the second Thursday of each month, unless otherwise changed, with the submittal deadline being 2:00 p.m. on the Monday ten (10) days prior to the meeting. If the agenda cannot support the number of submitted applications, a special meeting may be requested by the applicant or the item will be carried over to the succeeding month. A complete set of plans shall be submitted, with the information bearing an original signature and seal of the Licensed Architect upon it, before the Board will conduct its review. The completeness of the submission will aid in the understanding of the project by the Board and the relevance of its comments, as well as expedite reviews in an effort to avoid delays. Failure of the architect to sign and seal all requested items that are the subject of this review process, where applicable, or not providing the requested information identified below, will disqualify the submittal and the Department of Planning will return the packet to architect of record.

SECTION I

Project Name: Lot 9 Stone Mill

Address/Location: 1720 Falstone Mill Court

Applicant Contact Information: Mike Whalen, 314-575-7645

Zoning District/Council Ward: RIA District w/ Planned Res Dev Overlay District

SECTION II

The ARB-submittal requirements shall be as follows:

- Architects Statement:** Provide a written statement that explains the design theory utilized in the overall site and building design separately. Include items such as reasoning behind entry locations, building placement, how existing topography was utilized instead of ignored, shape, orientation and style of the building, reasoning for chosen building materials and colors, site and building lighting, etc. This statement should be written as from one architect to another and should

include design theory. In this instance, cost can be an acceptable and appropriate goal of the overall design. The statement shall close with an acknowledgment that the design is in compliance with the requirements, or it should give a description of non-compliant items, with an explanation for such.

- ✓ **Preliminary Development Plan & Colored Landscape Plan:** These plans should reflect the same elements required for submittal to the Planning & Zoning Commission, such as the infrastructure and site improvements, including building footprints, curb cuts and driveway locations, and other natural and man-made features of significance.
- ✓ **Photographs:** Photos should reflect existing site conditions and immediate surrounding properties in all compass directions. The intent of these photographs is to better understand the project site and context, and how the project under consideration will complement both existing conditions, as well as future projects.
- ✓ **Preliminary Floor Plans:** These plans refers to the building footprint. However, interior layout, while not reviewed, can help in understanding the footprint and elevations.
- ✓ **Colored Architectural Elevations:** Elevations for each façade of the building, presented in the chosen color palette, with overall dimensions and materials labeled, noting any special items as necessary for a clear understanding of the project. Light fixtures should be shown accurately.
- ✓ **Colored Building Rendering:** This item is critical to provide a clear and quick understanding of the massing of the building and its materials and colors. Ideally, if prepared electronically in three dimensions, provide 'snapshots' of several views to highlight the overall building.
- ✓ **Materials and Colors:** The submittal should include 'finishes' pages, such as manufacturer specification sheets of the materials and colors. Actual samples will be required for presentation at the meeting itself.
- ✓ **Please provide twelve (12) copies of all of the above information in an 11"x17" format, formatted to fit 11"x17", and bound into an 8.5" x 11" booklets with a cover, as well as all information contained on a disc, or digital device. Appropriate sheets shall exhibit the original signature, seal, and date of the Licensed Architect, who prepared them. Please note, larger format items are permitted and encouraged for presentation purposes at the Architectural Review Board meeting.**

The items contained in the submittal package must meet minimum requirements prescribed by the Architectural Review Board(ARB). Further information may be requested, as directed by the Department of Planning and/or the ARB. Once an application has been processed for an upcoming meeting, the agenda will be sent to the appropriate representative(s). Attendance by the petitioner with their architect(s) for presentation and discussion with the ARB is mandatory. Variances to these procedures must be agreed to by the ARB members and the Department of Planning in advance of the scheduled meeting date. If you have any further questions, please feel free to contact the Department of Planning at (636) 458-0440.

We, the undersigned, are aware of the aforementioned items and submit this application in full compliance with the requirements of the Architectural Review Board on this day 3 of January, 2016.


Applicant [signature]


Licensed Architect [signature]

Mike Whalen
Applicant [print]

Frank Wiseman
Licensed Architect [print]

Contact Information for Applicant and Architect may be provided by attaching business cards here:

mike@whalen custom homes.com
314-575-7645

fdwjr@charter.net
618-225-7472

WILDWOOD

SECTION III

For Office Use Only

Application submittal accepted on: January 4, 2017 
Initial By: Department of Planning Staff

Initial review is scheduled for: January 12, 2017

Subsequent review is scheduled for: _____

Comments: _____

Final Approval by the ARB on: _____

Architectural Review Board Chair

WHALEN *Custom Homes*

ARCHITECTURAL REVIEW BOARD SUBMISSION
JANUARY 12, 2016

STONE MILL LOT 9



Architectural Statement

The proposed home and development embodies the New Urbanism Movement. This community is framed by its architecture and landscape design which utilizes its local history, climate, ecology and building practices. The subject property is based on Neocolonial features.

The placement of Stone Mill Lot 9 is such that it allows for a side car entry and maximizes the rear yard while meeting all required setbacks and easements.

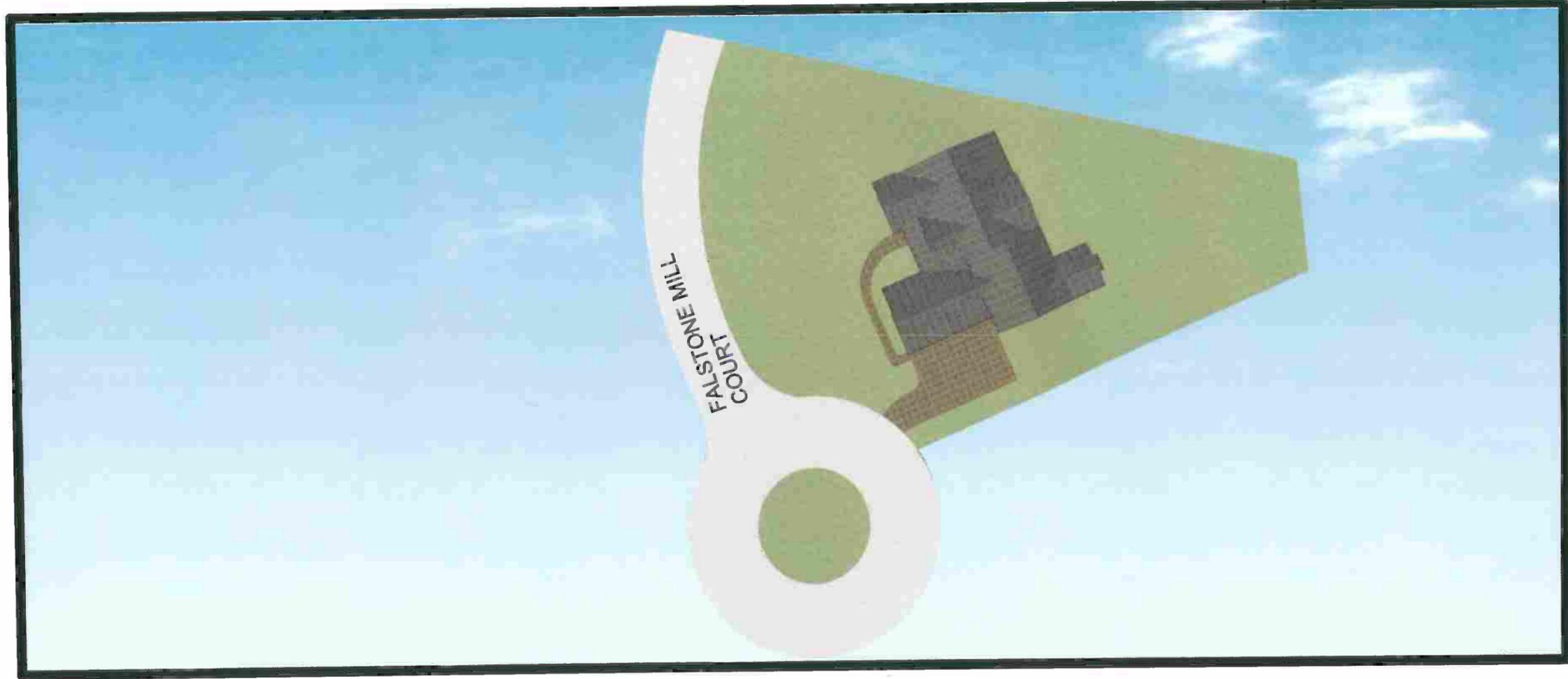
The Stanford oversized brick and light colored stone facade will display a traditional strong look as you circle the Cul de Sac.

The design is in compliance with all requirements.

We appreciate the Architectural Review Boards consideration of this application.

Sincerely,

Mike Whalen



DEVELOPMENT PLAN AND LANDSCAPE PLAN

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NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

STONE MILL LOT 9

HARPER RESIDENCE

DATE:

SCALE:

SHEET:

STONE MILL A SUBDIVISION PLAT

A TRACT OF LAND IN THE
NORTH HALF OF THE NORTHWEST QUARTER OF
SECTION 12, TOWNSHIP 44 NORTH, RANGE 3 EAST
CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI

SLS

Suburban Land Survey
2007 Bellevue Ave., St. Louis MO 63143
(314) 645-7055 Fax: (314) 644-1225

STONE MILL
CITY OF WILDWOOD
ST. LOUIS COUNTY, MISSOURI

Whelan Custom Homes
308 S. Kirkwood Road
St. Louis, MO 63122
(314) 821-1745

DATE: 12/21/2016
JOB NUMBER: 10072
FILE NAME: Stone Mill.dwg
PLOTWORK BY: DLR, CJC
DRAWN BY: GLE
CHECKED BY: [Signature]

1 of 2

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 20°32'45" W	3.85	L21	N 84°52'00" W	21.14
L2	N 85°27'45" E	42.81	L22	N 85°27'45" E	21.14
L3	S 87°17'15" W	28.20	L23	N 85°27'45" E	132.80
L4	N 78°28'48" W	28.48	L24	N 85°27'45" E	132.80
L5	N 04°01'14" E	88.25	L25	N 73°12'36" W	28.39
L6	N 24°17'00" E	38.31	L26	N 03°00'54" E	201.21
L7	S 74°45'57" W	4.57	L27	N 05°08'10" E	104.77
L8	N 10°18'54" E	43.43	L28	N 04°00'14" W	88.38
L9	N 80°27'50" E	15.00	L29	N 03°09'17" E	21.28
L10	S 10°18'54" W	15.00	L30	N 30°08'54" E	22.30
L11	S 74°45'57" W	13.71	L31	N 24°17'00" E	22.30
L12	S 73°04'20" E	70.41	L32	N 10°18'54" W	35.34
L13	S 38°12'18" W	77.82	L33	S 10°18'54" E	35.82
L14	S 38°40'45" E	37.15	L34	S 78°27'45" E	83.12
L15	S 38°40'45" E	4.57	L35	N 85°27'45" E	83.12
L16	S 89°17'02" W	128.85	L36	N 81°34'38" E	18.30
L17	N 72°27'48" W	22.73	L37	N 21°02'18" W	60.01
L18	S 62°23'11" W	82.84	L38	S 21°02'18" E	72.27
L19	S 78°28'48" W	74.30	L39	N 78°27'45" E	23.34
L20	S 63°58'47" W	42.80	L40	N 84°04'36" E	47.14
			L41	S 89°58'18" E	240.34

Ⓜ : PERMANENT MONUMENT TO BE SET UPON COMPLETION OF GRADING.
Ⓢ : SEMI-PERMANENT MONUMENT TO BE SET AT ALL REAR LOT CORNERS.
(NOTE: CROSSES SHALL BE CUT AT THE INTERSECTION OF THE EXTENSION OF EACH LOT LINE WITH THE CENTERLINE OF THE STREET.)

LAND DESCRIPTION:
A TRACT OF LAND IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 44 NORTH, RANGE 3 EAST, CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO LEO LA MARY SCHLEMPER REVOCABLE TRUST RECORDED IN DEED BOOK 18787 PAGE 1614 OF THE ST. LOUIS COUNTY RECORDS, SAID POINT BEING ON THE WEST LINE OF CENTER AVENUE, THENCE WITH THE WEST LINE OF CENTER AVENUE BEING 118 FEET WEST OF AND PARALLEL TO THE CENTERLINE (NORTH OF SOUTH 00 DEGREES 33 MINUTES 53 SECONDS WEST 591.57 FEET TO THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 12, SAID POINT ALSO BEING THE NORTH LINE OF WESTRIDGE OAKS PLAT ONE AS FOR THE PLAT THEREOF RECORDED IN PLAT BOOK 338 PAGE 53 OF THE ST. LOUIS COUNTY RECORDS, THENCE DEPARTING THE WEST LINE OF CENTER AVENUE WITH THE NORTH LINE OF WESTRIDGE OAKS PLAT ONE NORTH 88 DEGREES 24 MINUTES 12 SECONDS WEST 599.97 FEET TO A POINT ON THE EAST LINE OF WEST (30 FEET) AVENUE, THENCE WITH THE EAST LINE OF WEST AVENUE BEING 125 FEET EAST OF AND PARALLEL TO THE CENTERLINE (NORTH OF SOUTH 00 DEGREES 33 MINUTES 53 SECONDS WEST 591.57 FEET TO THE WEST LINE OF SECTION 12, NORTH 00 DEGREES 30 MINUTES 34 SECONDS EAST 573.71 FEET TO THE SOUTHWEST CORNER OF THE AFORESAID LEO LA MARY SCHLEMPER REVOCABLE TRUST TRACT, THENCE WITH THE SOUTH LINE OF SAID LEO LA MARY SCHLEMPER REVOCABLE TRUST TRACT, NORTH 89 DEGREES 53 MINUTES 28 SECONDS EAST 900.46 FEET TO THE POINT OF BEGINNING AND CONTAINING 346,870 (8,027 ACRES), MORE OR LESS SUBJECT TO ALL EASEMENTS, CONDITIONS AND RESTRICTIONS OF RECORD, ♪ ANY.

BASIS OF BEARING:
BEARINGS ARE IN RELATION TO WESTRIDGE OAKS PLAT ONE, AS RECORDED IN PLAT BOOK 338, PAGE 53, ST. LOUIS COUNTY RECORDS.

SOURCE OF RECORD TITLE:
LAND OF THE STATE OF MISSOURI, RECORDED IN DEED BOOK 3240, PAGE 14, ST. LOUIS COUNTY MISSOURI RECORDS.

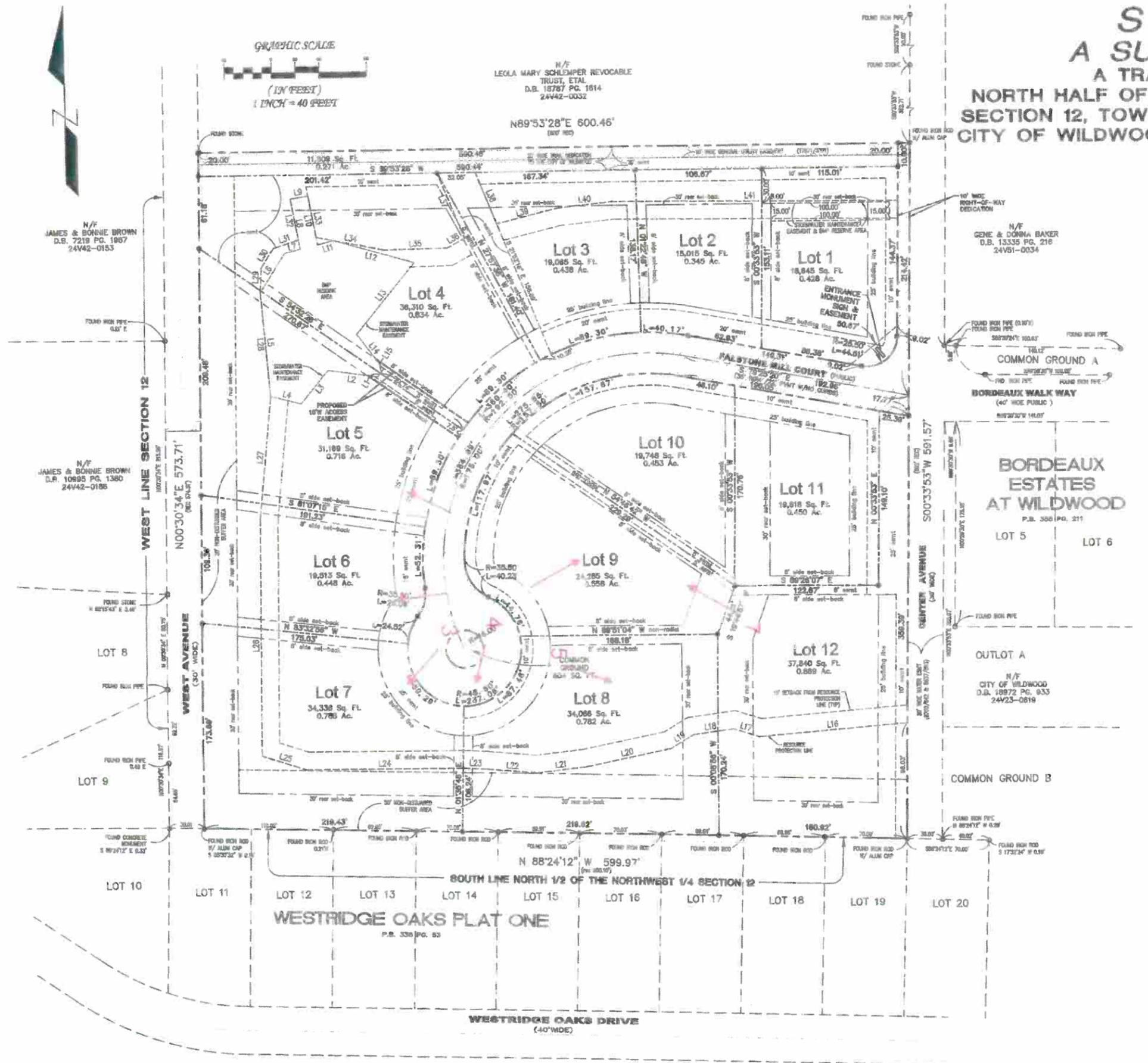
NOTES:
ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL FRACTIONS THEREOF.
ALL EASEMENTS AND CONDITIONS WHICH AFFECT THIS SITE AS REPORTED IN ASSURED TITLE COMPANY AS AGENT FOR COMMERCIAL LAND TITLE INSURANCE COMPANY, FILE NO. 030868 REVISION 1, DATED FEBRUARY 20, 2013.
ITEMS 1-9: STANDARD EXCEPTIONS WITH NO COMMENT BY SURVEYOR.
ITEM 10: EASEMENT GRANTED: PUBLIC WATER SUPPLY DISTRICT #1 OF ST. LOUIS COUNTY, MISSOURI RECORDED IN BOOK 8750 PAGE 642 AND ASSIGNED TO ST. LOUIS COUNTY WATER COMPANY BY INSTRUMENT RECORDED IN BOOK 8837 PAGE 983, PLOTS WITHIN THE 30 FOOT WIDE STRIP TO THE EAST KNOWN AS CENTER AVENUE AND DOES NOT ADVERSELY AFFECT THE SUBJECT TRACT.
ITEM 11: TERMS AND PROVISIONS OF MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION UTILITY EASEMENT RECORDED IN BOOK 17871 PAGE 3223, 16' WIDE EASEMENT ALONG THE NORTH LINE OF THE SUBJECT TRACT: PLOTTED HEREON.
ITEMS 12-13: STANDARD EXCEPTIONS WITH NO COMMENT BY SURVEYOR.
TOTAL ACREAGE OF THIS PLAT: 8,027 ACRES.
LOCATOR NO: 24442-0010

BENCHMARK:
ST. LOUIS COUNTY BM 16-108: 794.70 (160029) "L" ON THE WEST SIDE OF A CONCRETE PORCH OF BUILDING AT 14857 MANCHESTER ROAD, 21' EAST OF THE CENTERLINE OF EXTERMINOR ROAD AND 30' NORTH OF THE CENTERLINE OF MANCHESTER ROAD.

SITE BENCHMARK:
794.88 (160029) CROSS AT THE INTERSECTION OF THE CENTERLINE OF BORDEAUX WALK WAY AND THE EAST LINE OF CENTER AVENUE, SAID POINT BEING 218.08 FEET SOUTH AND 28.80 FEET EAST OF THE NORTHEAST CORNER OF SUBJECT TRACT.

SURVEYOR'S CERTIFICATION:
THIS IS TO CERTIFY TO WHATEVER CUSTOM HOMES, INC. THAT AT THEIR REQUEST, SUBURBAN LAND SURVEY, INC. HAS PREPARED A BOUNDARY SURVEY AND SUBDIVISION PLAT DATED DECEMBER 1, 2016, OF A TRACT OF LAND BEING IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 44 NORTH, RANGE 3 EAST, CITY OF WILDWOOD, ST. LOUIS COUNTY, MISSOURI, THAT THIS PLAT IS BASED UPON A BOUNDARY SURVEY COMPLETED ON THE GROUND, THAT THE RESULTS OF SAID SURVEY ARE SHOWN HEREON, AND THAT THE SAID SURVEY MEETS OR EXCEEDS THE CURRENT MINIMUM STANDARDS FOR URBAN CLASS BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, DIVISION OF GEOLOGY AND LAND SURVEYING.

DATE OF RECORDING: 12/21/2016
SUBURBAN LAND SURVEY, INC. LS-378-D





2



3



4

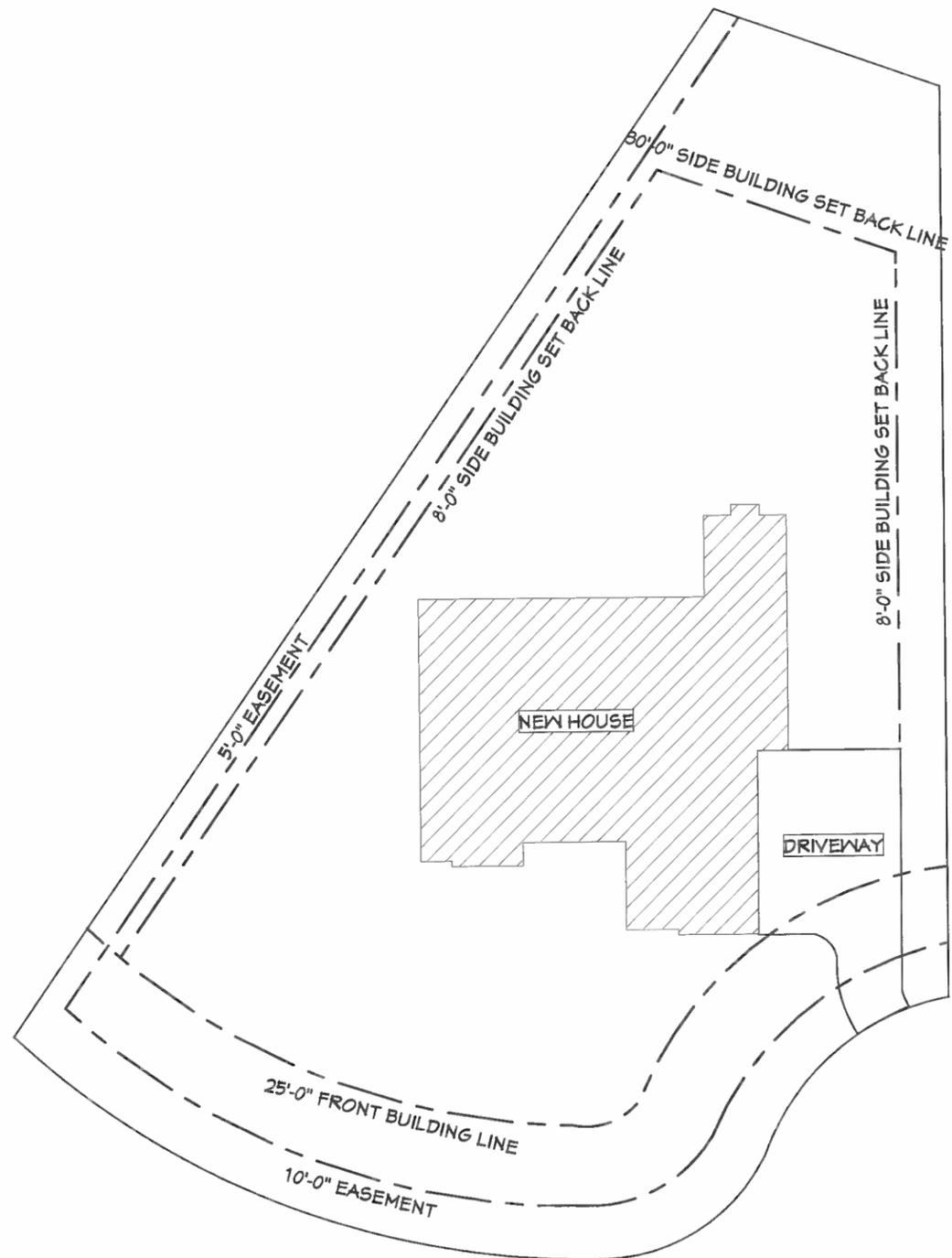


5

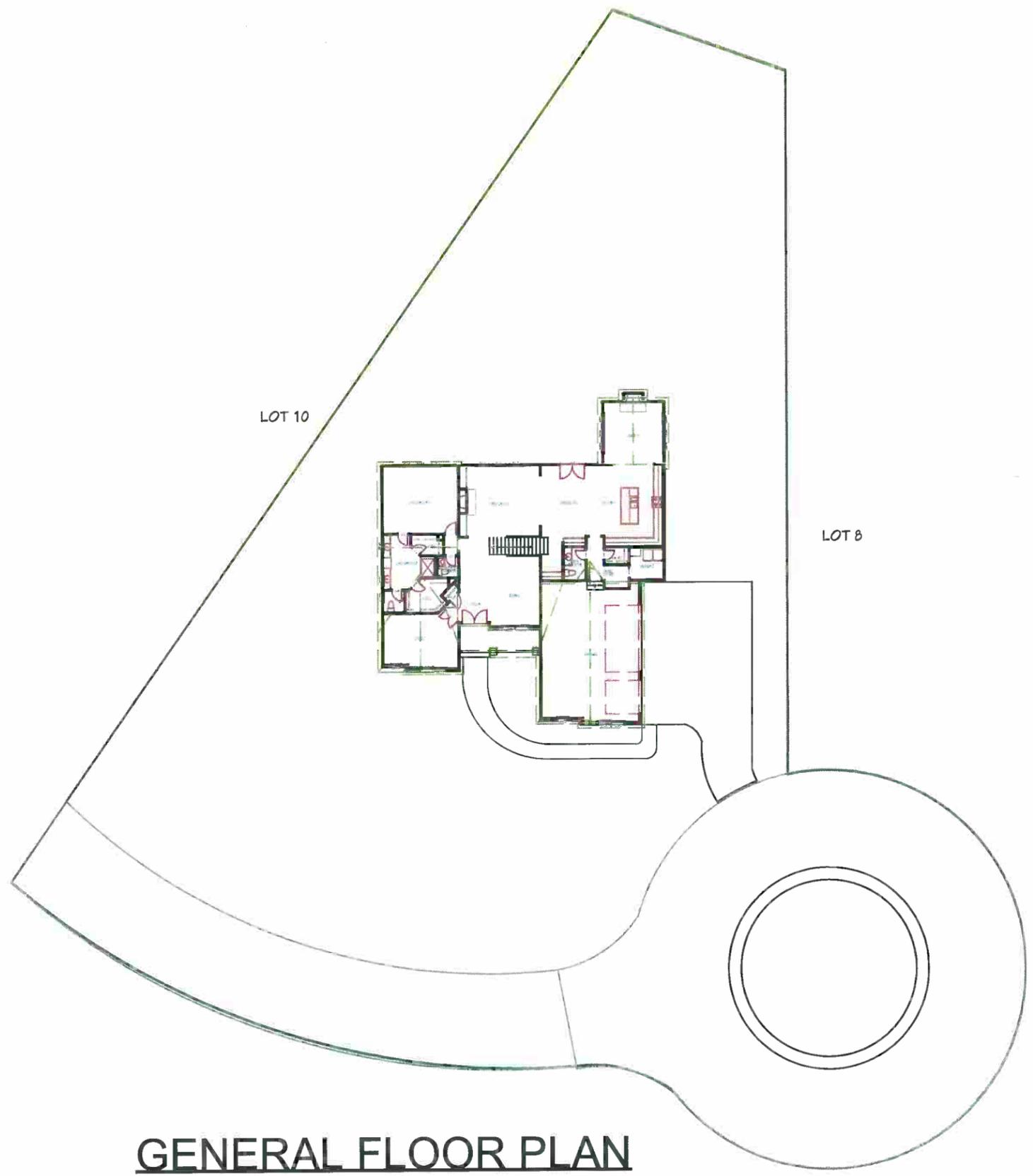








FOOTPRINT OF HOUSE ON LOT
 SCALE: 1" = 30'-0" ACTUAL



GENERAL FLOOR PLAN
 SCALE: 1" = 30'-0"

NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

STONE MILL LOT 9

HARPER RESIDENCE

DATE:

SCALE:

SHEET:



FRONT ELEVATION



REAR ELEVATION

SEE "MATERIALS AND COLORS SECTION" FOR DESCRIPTIONS

NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

STONE MILL LOT 4

HARPER RESIDENCE

DATE:

SCALE:

SHEET:



RIGHT ELEVATION



LEFT ELEVATION

SEE "MATERIALS AND COLORS SECTION" FOR DESCRIPTIONS

NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

STONE MILL LOT 9

HARPER RESIDENCE

DATE:

SCALE:

SHEET:



FRONT RENDERINGS

NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

STONE MILL LOT 9

HARPER RESIDENCE

DATE:

SCALE:

SHEET:



REAR RENDERINGS

NO.	DESCRIPTION	BY	DATE

WHALEN
Custom Homes

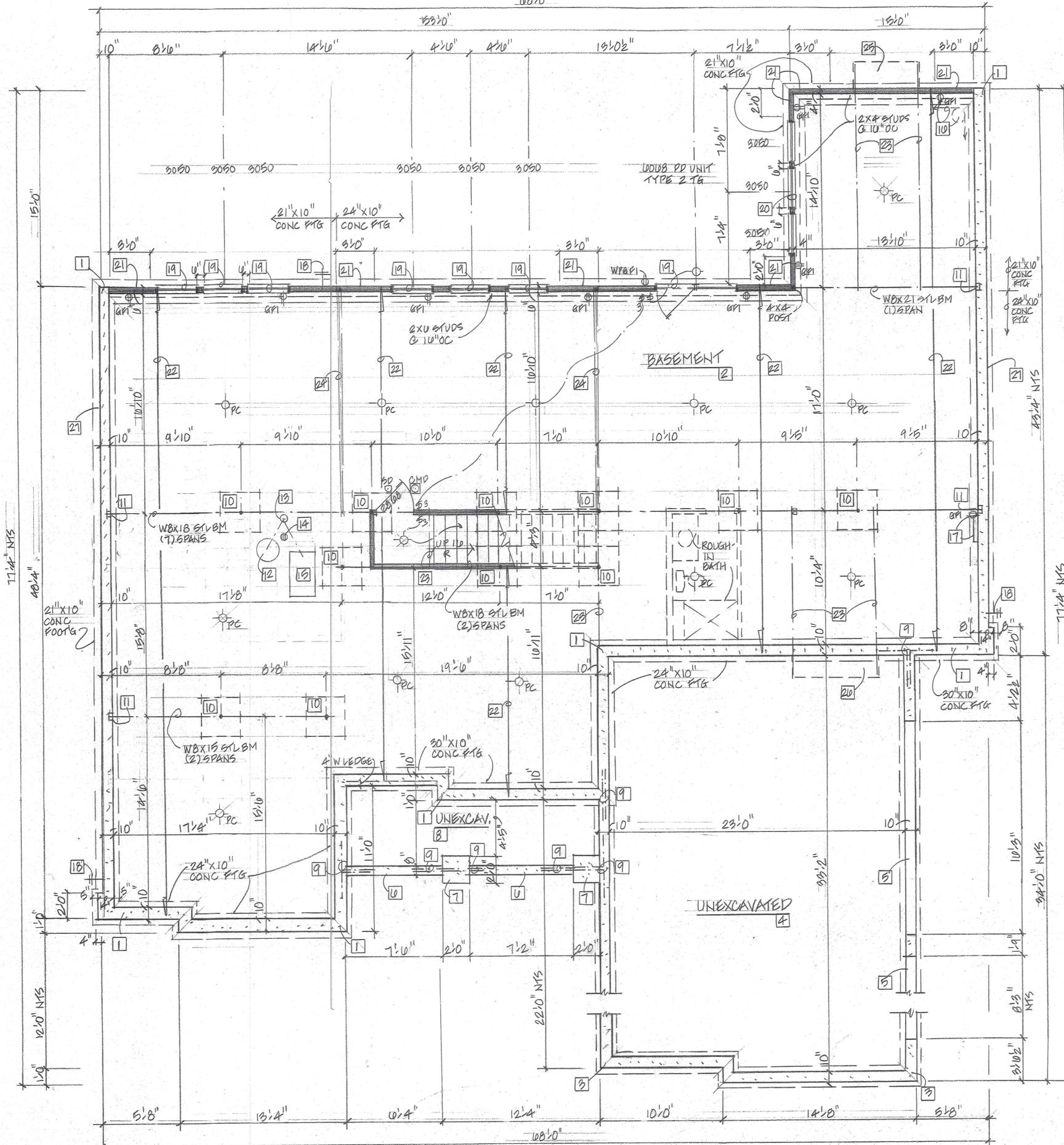
STONE MILL LOT 9

HARPER RESIDENCE

DATE:

SCALE:

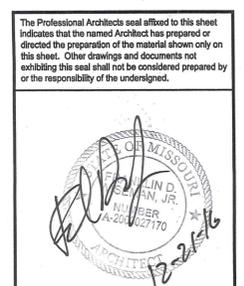
SHEET:



BASEMENT / FOUNDATION PLAN
 CAPITOL WINDOW DESIGNATIONS
 8'10" POUR
 4'5'10"

BASEMENT / FOUNDATION PLAN NOTES

1. 10" TH CONC FOUNDATION (8'10" POUR) SEE PLAN FOR FINISHES
2. 5/8" TH CONC SLAB ON 1/2" MIL PVB ON 4" MIN GRAVEL - SLOPE TO FLOOR DRAIN
3. 10" TH CONC FOUND ON 10"X10" CONC FTG - 30" MIN BEL. FIN GRADE
4. 4" TH CONC SLAB W/ 1/2"X10"X10" WWF ON 1/2" MIL PVB ON 4" MIN GRAVEL - SLOPE TO OH DOORS
5. HOLD TOP OF FOUND. DOWN FOR SLAB CLEARANCE
6. 8" TH CONC FOUND TO 30" MIN BELOW FIN GRADE
7. 24"X24" CONC PIER TO 30" MIN BELOW FIN GRADE (SEE SHIT 4)
8. 4" TH CONC SLAB W/ #4'S @ 24" OC - 24" EW INTO FOUND - THICKEN EDGES, SLOPE AWAY FROM STRUCTURE
9. ADDIT. (2) #4'S TEB, 24" EW, @ ALL FOUND INTERSECTIONS
10. 5/2" OD, 7.58 LB/FT, STEEL COLUMN ON 30"X30"X12" TH. CONC COLUMN PAD
11. BEAM POCKET W/ MIN 4" BEARING - GROUT LEVEL & SOLID
12. GAS WATER HEATER W/ EXP TANK IF < 30 GALLON
13. METAL BOSTON FLUE W/ UL APP'P CAP & CO.
14. FLOOR DRAIN
15. FORCED AIR GAS FURNACE
16. 4" Ø PERF DRAIN PIPE @ FOUND PERIM TO OPT SUMP W/ DEGR OUTLET OR DAYTED
17. APPROX LOCAT. OF 200 AMP ELECT PNL W/ GFI - FIELD LOCATE
18. FREEZE PROOF HOSE BIBS
19. (2) 2X10 HEADER
20. (2) 2X12 HEADER - 15'0" LONG (PORTAL FRAME)
21. IRC BRACED WALL PANEL - SEE IRC NOTE ON SHIT 2
22. 11/8" 131 FLOOR JOISTS @ 10" OC - 210 SERIES (BY TYRUS JOIST INC')
23. 13/4"X11/8" MICROWALL
24. (3) 13/4"X11/8" MICROWALL
25. CANTILEVER ABOVE - INSUL TO R-19 MIN, COVER W/ EG MTL & SEAL ALL JOINTS
26. CANTILEVER ABOVE - INSUL TO R-19 MIN, COVER W/ 5/8" TYPE 'X' DW & SEAL ALL JOINTS
27. EMBED TREATED 2X2'S INTO FDN FOR APPLICATION OF SIDING TO 6" ABOVE GRADE



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 Frank Wiseman
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WHALEN
Custom Homes

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 Sales: 314-575-7845
 Office: 314-821-1745

PROJECT TITLE

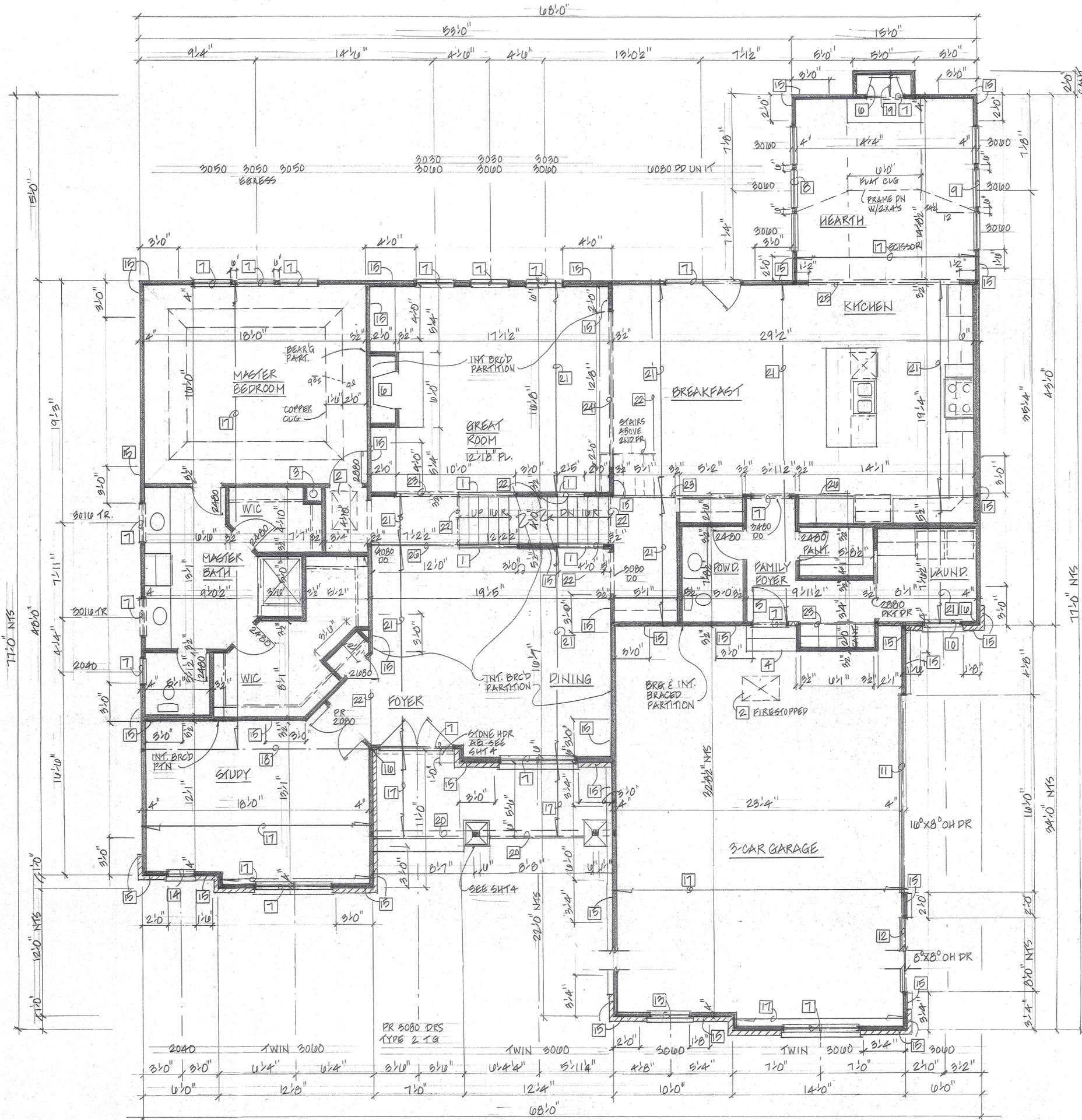
Proposed Residence For:
 THE HARPER FAMILY
 LOT 9 STONE HILL
 WILDWOOD, MO.

DRAWING ISSUE / REVISION		
REV #	DESCRIPTION	DATE
1	COMPLETE	12/2/16

DRAWING TITLE
BASEMENT / FOUNDATION PLAN

SHEET NUMBER
1 OF 10

JOB #
 SHEET SIZE 36" X 24" LANDSCAPE



FIRST FLOOR CONSTRUCTION PLAN
 9/18" PLATE UNLESS NOTED
 2100 SF (4312 SF TOTAL)
 'CAPITOL' WINDOW DESIGNATIONS
 SEE SH. 2A FOR FINISH & ELECTRIC PLAN

FIRST FLOOR CONSTRUCTION PLAN NOTES

1. 3"0" H RAILING W/ MAX 4" OC SPACING BTWN BALUSTERS
2. 22" X 36" KITCHEN ACCESS
3. FIVE SPACE - MIN 2" CLEAR
4. MIN 4" STEP UP
5. 2080 SC DOOR
6. HEAVILY NOVIS' DIRECT VENT GAS FIREPLACE
7. (2) 2X10 HEADER
8. (2) 2X12 HEADER - 15'0" LONG (PORTAL FRAME)
9. (2) 2X12 HEADER - 14'2" LONG (PORTAL FRAME)
10. (2) 2X12 HEADER - 10'2" LONG (PORTAL FRAME)
11. (2) 1 3/4" X 11'0" MICROLAM HEADER - 22'0" LONG (PORTAL FRAME)
12. (2) 2X12 HEADER
13. (2) 2X12 HEADER - 1'10" LONG (PORTAL FRAME)
14. (2) 2X12 HEADER - 0'0" LONG (PORTAL FRAME)
15. IRC BRACED WALL PANEL - SEE IRC NOTE THIS SH.
16. 800 LB HOLD DOWN
17. PREFAB TRUSSES @ 24" OC
18. PREFAB GIRDER TRUSS W/ (3) STUDS EE
19. 2X4 RAFTERS @ 24" OC
20. (2) 2X12 BOX BEAM - BLOCK SOLID EE
21. 1 1/8" 151 FLOOR JOISTS @ 16" OC - 210 SERIES (BY KRUS JOIST INC)
22. 1 3/4" X 11'0" MICROLAM IN FLR ABOVE
23. (2) 1 3/4" X 11'0" MICROLAM IN FLR ABOVE
24. (2) 1 3/4" X 11'0" MICROLAM HEADER
25. W8X21 STEEL BEAM (HEADER) - 15' LONG
26. (3) 1 3/4" X 11'0" MICROLAM IN FLR ABOVE

IRC NOTE:
 SIMPLIFIED BRACING METHOD USED
 THE INT & EXT WALL CONFIG BRACES THE ENTIRE STRUCTURE IN ACCORD W/ OR EQUAL TO THE LATERAL BRACING PROVISIONS OF 2009 IRC SECT R602-10 OR 2009 IBC, SECT 2005 - SHEATH ENTIRE STRUCT W/ 7/16" OSB OR PLYWOOD.
 SEE SH. 03 FOR DETAILS

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PROJECT TITLE

Proposed Residence For:
 THE HARPER FAMILY
 LOT 9 STONE MIV
 WILDWOOD, MO.

DRAWING ISSUE / REVISION	
REV #	DESCRIPTION
1	COMPLETE

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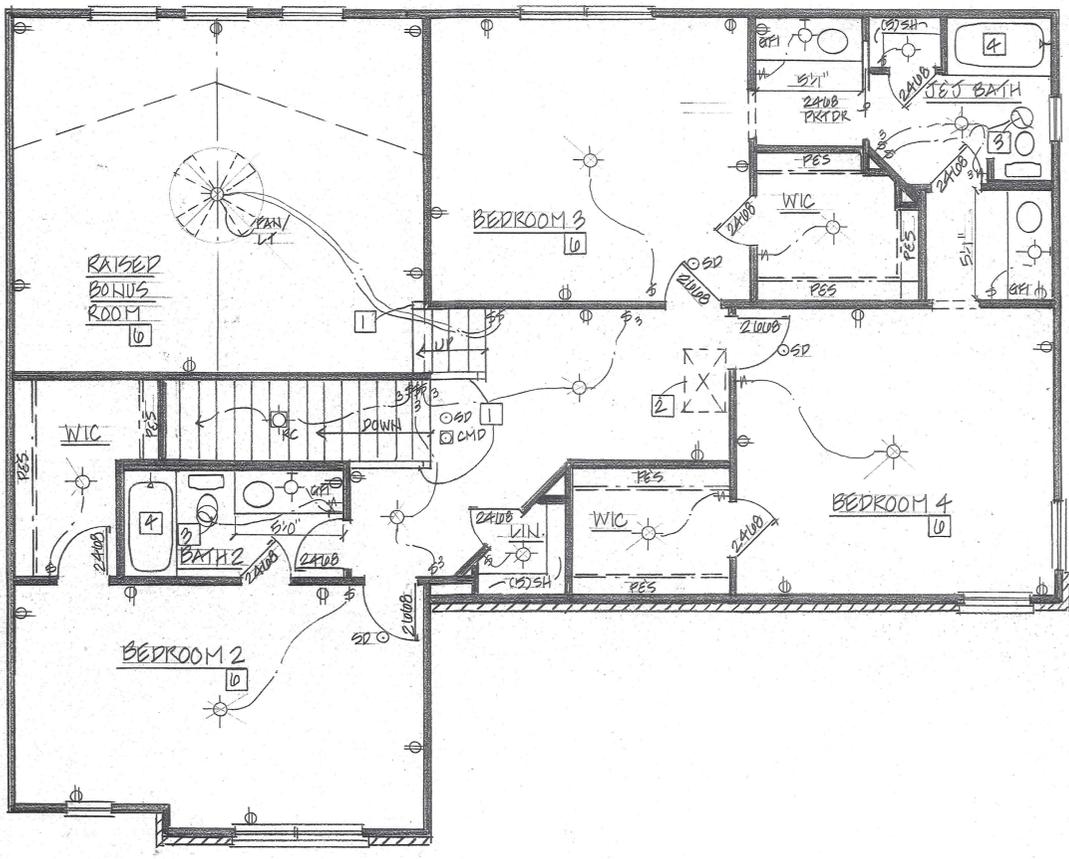
PROJECT TITLE

Proposed Residence For:
 THE HARPER FAMILY
 LOT 9 STONE MILL
 WILDWOOD, MD.

REV #	DESCRIPTION	DATE
1	COMPLETE	12/1/16

DRAWING TITLE
FINISH & ELECTRIC PLANS

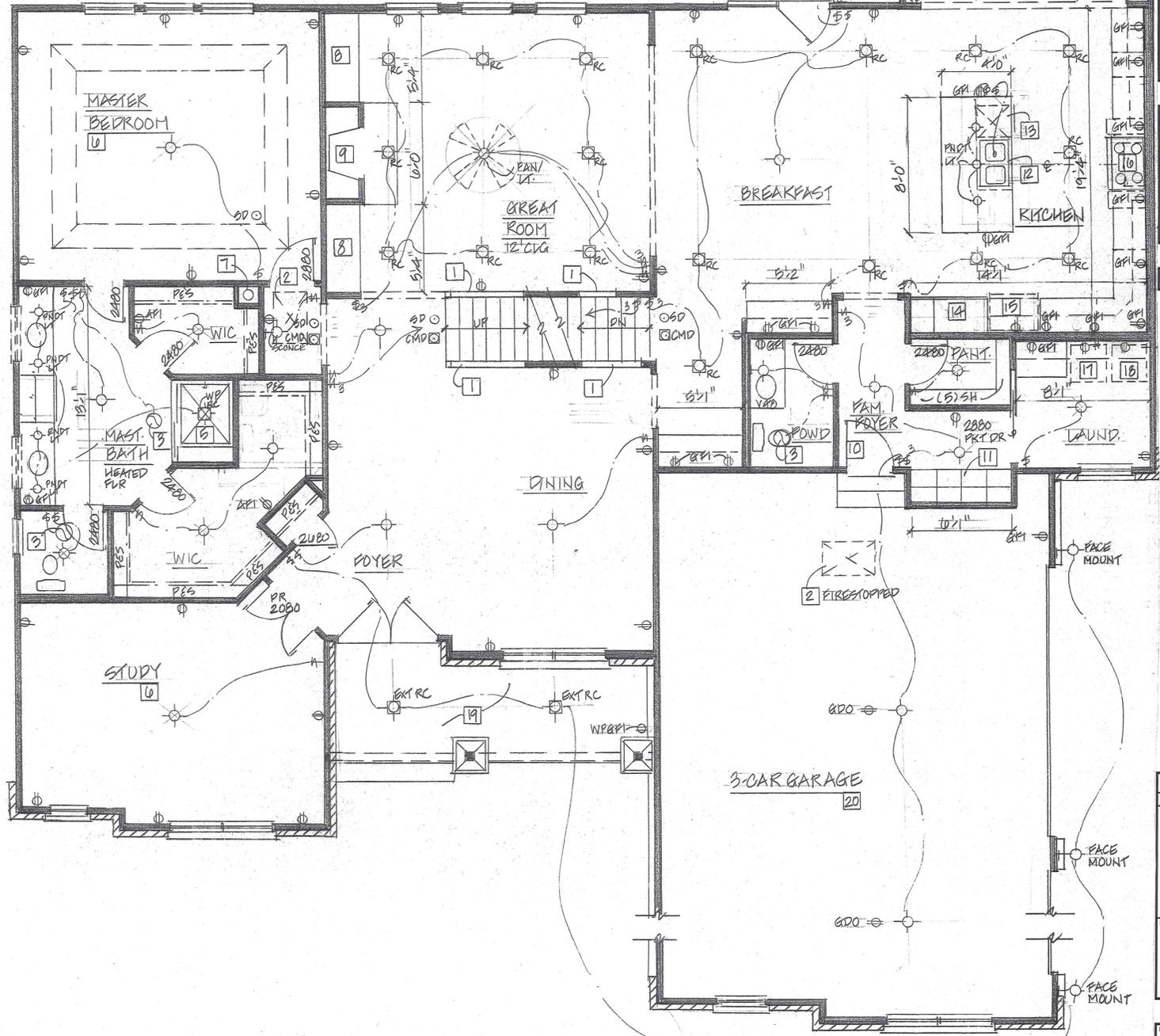
SHEET NUMBER
2A OF 10
 JOB # _____
 SHEET SIZE 36" X 24" LANDSCAPE



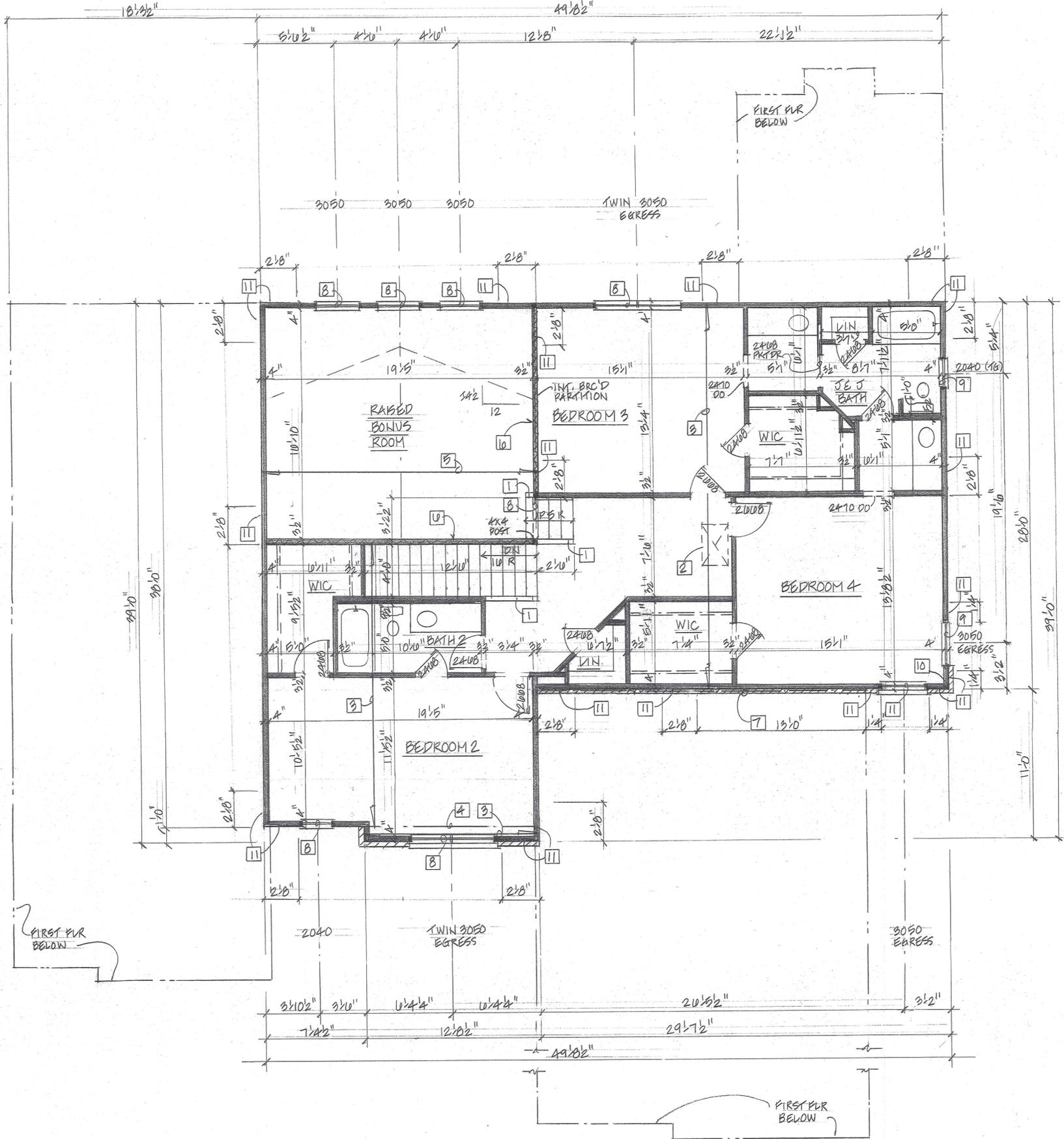
SECOND FLOOR FINISH & ELECTRIC PLAN

FINISH & ELECTRIC NOTES

- | | |
|-------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|
| 1. 3/4" H RAILING W/ MAX 4" OC SPD'G BTWN BAL'S | 12. 30" SINK W/ DISPOSAL |
| 2. 22" X 30" ATTIC ACCESS | 13. DISHWASHER |
| 3. EXHAUST FAN TO EXT - MIN 30 CFM | 14. OVENS W/ 220V OR GAS HOOKUP |
| 4. 60" X 34" TUB / SHOWER | 15. REFRIGERATOR SPACE |
| 5. 60" X 48" SHOWER W/ SEAT & TG DOORS | 16. RANGE W/ EXH HOOD & 220V OR GAS HOOKUP |
| 6. AFI CIRCUITS IN THIS ROOM | 17. WASHER SPACE W/ HEC & HI DRAIN |
| 7. FIVE SPACE - MIN 2" CLEAR | 18. DRYER SPACE W/ 220V OR GAS HOOKUP & VENT TO EXT @ SIDE OF HOUSE |
| 8. BUILT-INS | 19. ALUM SOFFIT CEILING |
| 9. HEATILATOR NOVUS GAS PRE-FAB FIREPLACE | 20. (1) LAYER 5/8" TYPE 'X' DW W/ 3/2" BATT (R-13 MIN) INSUL @ ALL WALLS BTWN HOUSE & GAR UP TO CLG W/ (1) LAYER 5/8" TYPE 'X' DW ON GAR CLG. |
| 10. 2000 SC DOOR | |
| 11. COBBLES | |



FIRST FLOOR FINISH & ELECTRIC NOTES



SECOND FLOOR CONSTRUCTION PLAN NOTES

1. 30" H RAILING W/ MAX 4" OC SPACING BTWN. BALUSTERS
2. 22" X 30" ATTIC ACCESS
3. PREFAB TRUSSES @ 24" OC
4. PREFAB GIRDER TRUSS W/ (3) STUDS E.E.
5. PREFAB GIRDER TRUSSES @ 24" OC
6. ~~INDICATES TRUSS BEARING PARTITION~~
7. BOLT 5/2" X 3/2" X 1/4" STEEL A TO TRUSS TO SUPPORT BRICK
8. (2) 2X10 HEADER
9. (2) 2X12 HEADER - 0/10" LONG (PORTAL FRAME)
10. 800 LB HOLLOWDOWN
11. IRC BRACED WALL PANEL. SEE IRC NOTE ON SHIT 2

SECOND FLOOR CONSTRUCTION PLAN 8/18" PLATE 11000 SF
 'CAPITOL' WINDOW DESIGNATIONS
 SEE SHIT 2A FOR FINISH & ELECTRIC PLAN
 4" X 10"

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 Sales: 314-575-7645
 Office: 314-821-1745

PROJECT TITLE

Proposed Residence For:
 THE HARPER FAMILY
 LOT 9 STONE MILL
 WILDWOOD, MO.

DRAWING ISSUE / REVISION

REV #	DESCRIPTION	DATE
1	COMPLETE	12/21/16

DRAWING TITLE
SECOND FLOOR CONSTRUCTION PLAN

SHEET NUMBER
3 OF 10
 JOB #
 SHEET SIZE 36" X 24" LANDSCAPE

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PROJECT TITLE

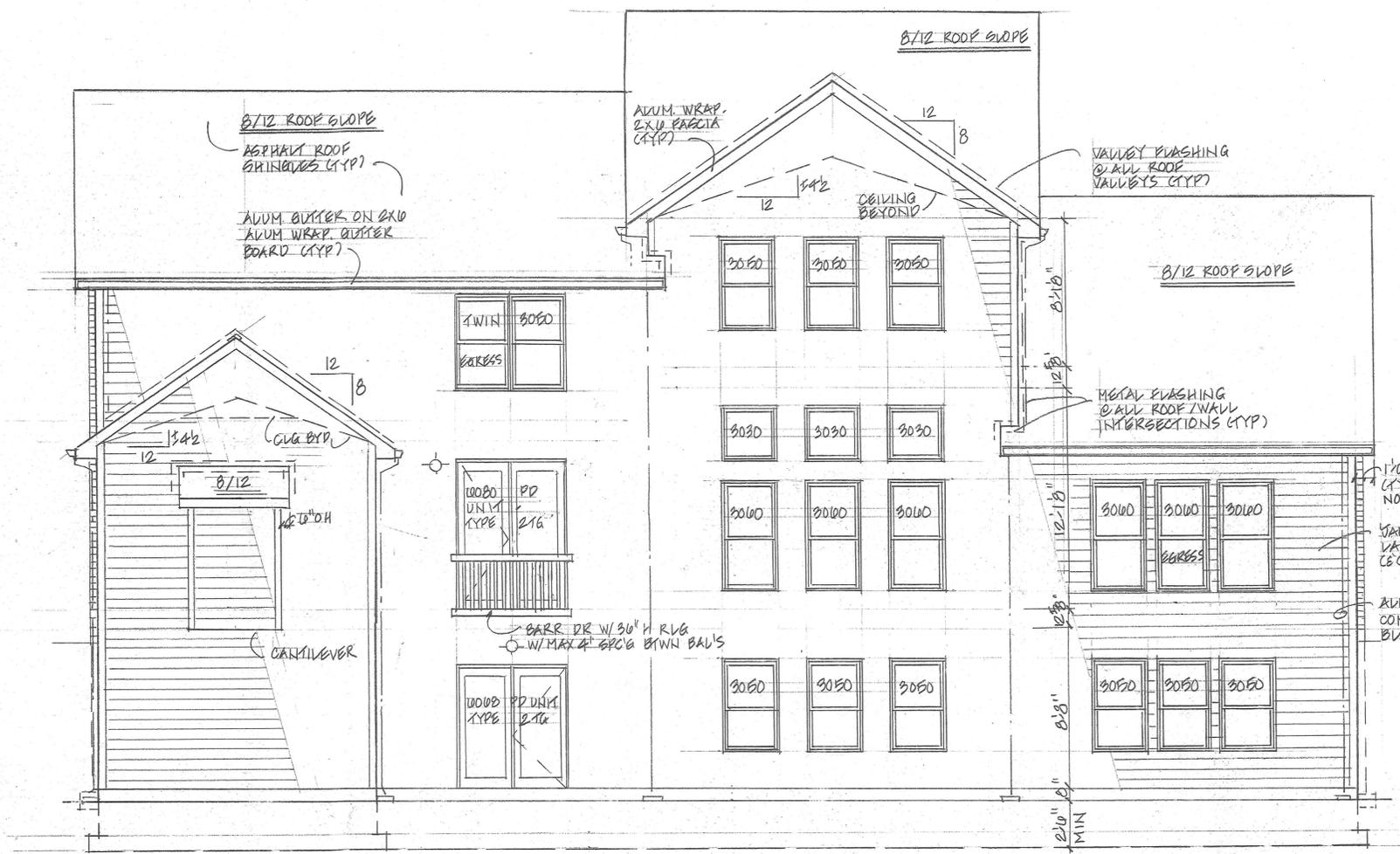
Proposed Residence For:
 THE HARPER FAMILY
 LOT 9 STONE MILL
 WINDWOOD 1, MO.

DRAWING ISSUE / REVISION		
REV #	DESCRIPTION	DATE
1	COMPLETE	12/21/16

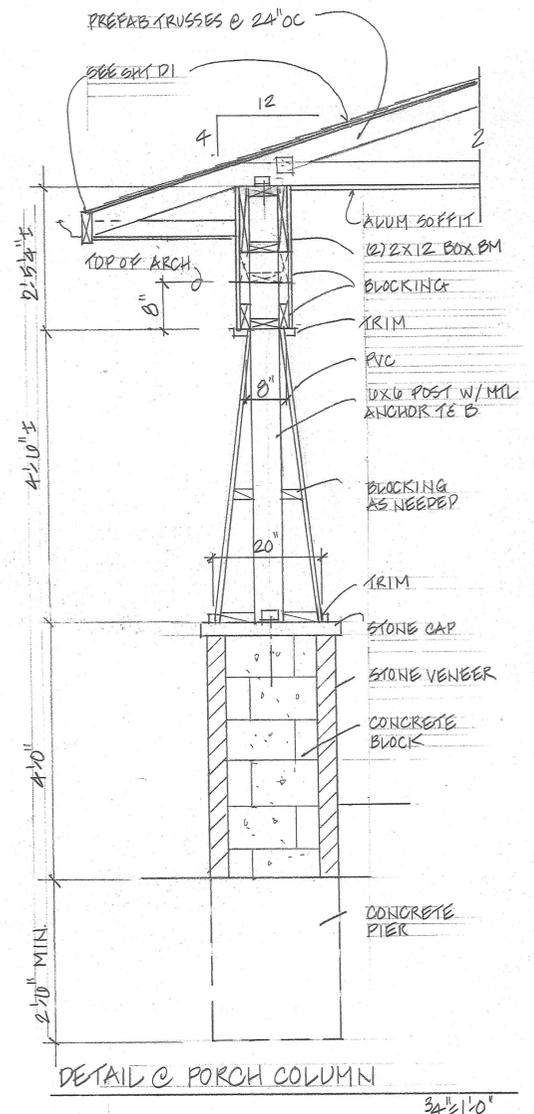
DRAWING TITLE
FRONT & REAR ELEVATIONS

SHEET NUMBER
4 OF 10

JOB #
 SHEET SIZE 36" X 24" LANDSCAPE



REAR ELEVATION
 CAPTION: WRW DESIGNS (TYP)



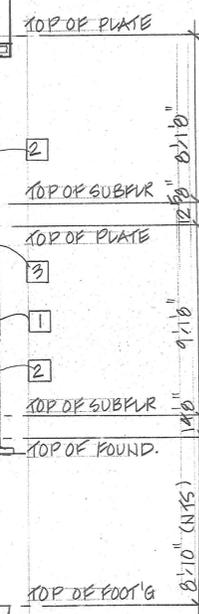
DETAIL C PORCH COLUMN



FRONT ELEVATION

SEE REAR ELEV FOR TYP. INFO

- FRONT ELEVATION NOTES
- BRICK VENEER W/STONE ACCENTS
 - BRICK ROWLOCK SILL
 - ARCHED STONE HEADER W/STONE KEY
 - STONE HEADER W/STONE KEY & 3/2" X 3/2" X 1/4" STL A
 - 'JAMES HARDIE' LAP SIDING @ CORNERS
 - 1" TRIM W/ 2X SILL
 - 'EYRON' EYEBROW LOUVER # FEBLV22X32 W/ 4" TRIM W/KEY & 2X SILL W/ 4" APRON
 - 'EYRON' EYEBROW LOUVER # FEBLV12X24 W/ 4" TRIM W/KEY & 2X SILL W/ 4" APRON
 - ALUM WRAPPED 2X SHADOW TRIM
 - METAL STEP FLASHING
 - ATTACH 3/2" X 3/2" X 1/4" STL A TO TRUSS TO SUPPORT BRICK VENEER ABOVE



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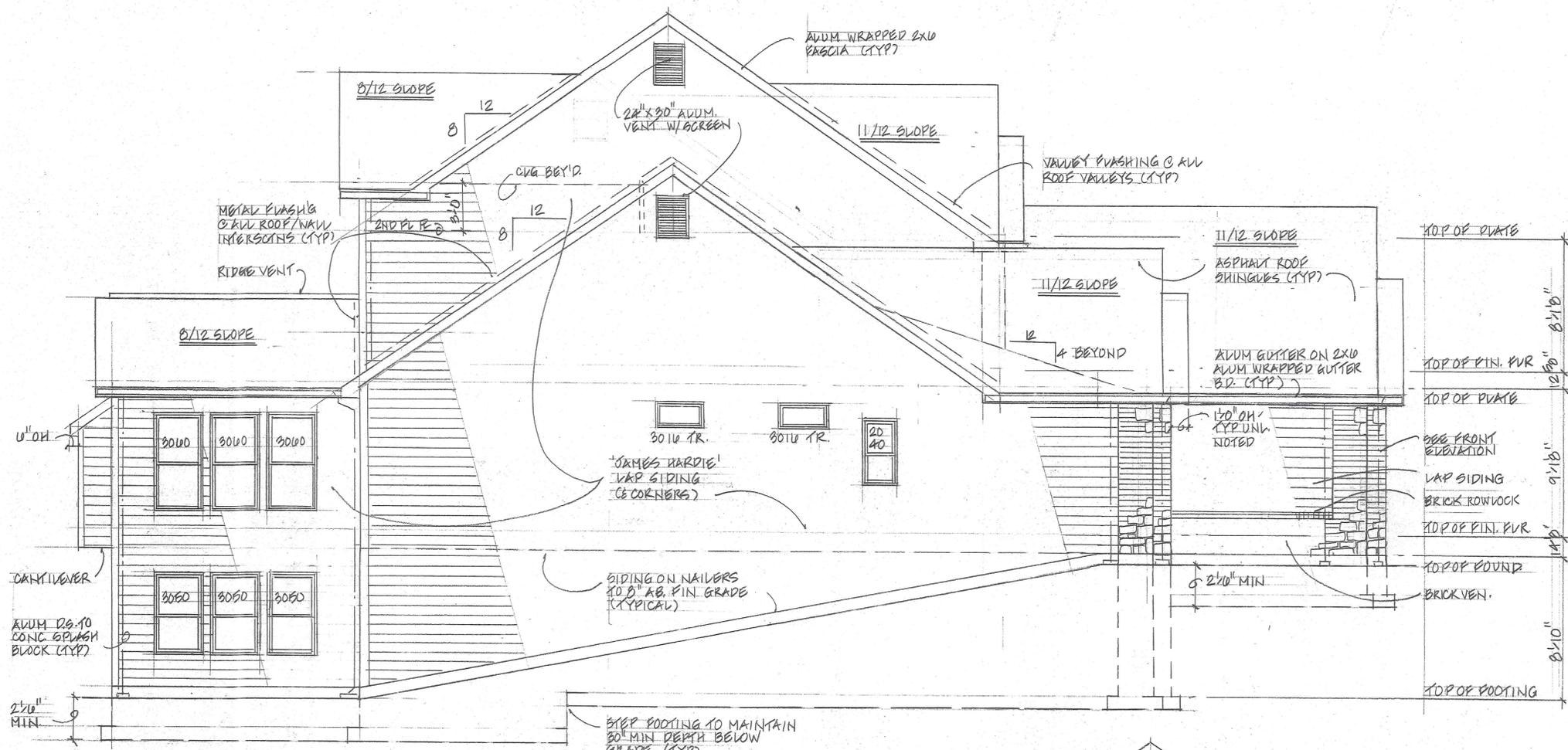
PROJECT TITLE

Proposed Residence For:
 THE HARPER FAMILY
 LOT 9 STONE MILL
 WILDWOOD, MD.

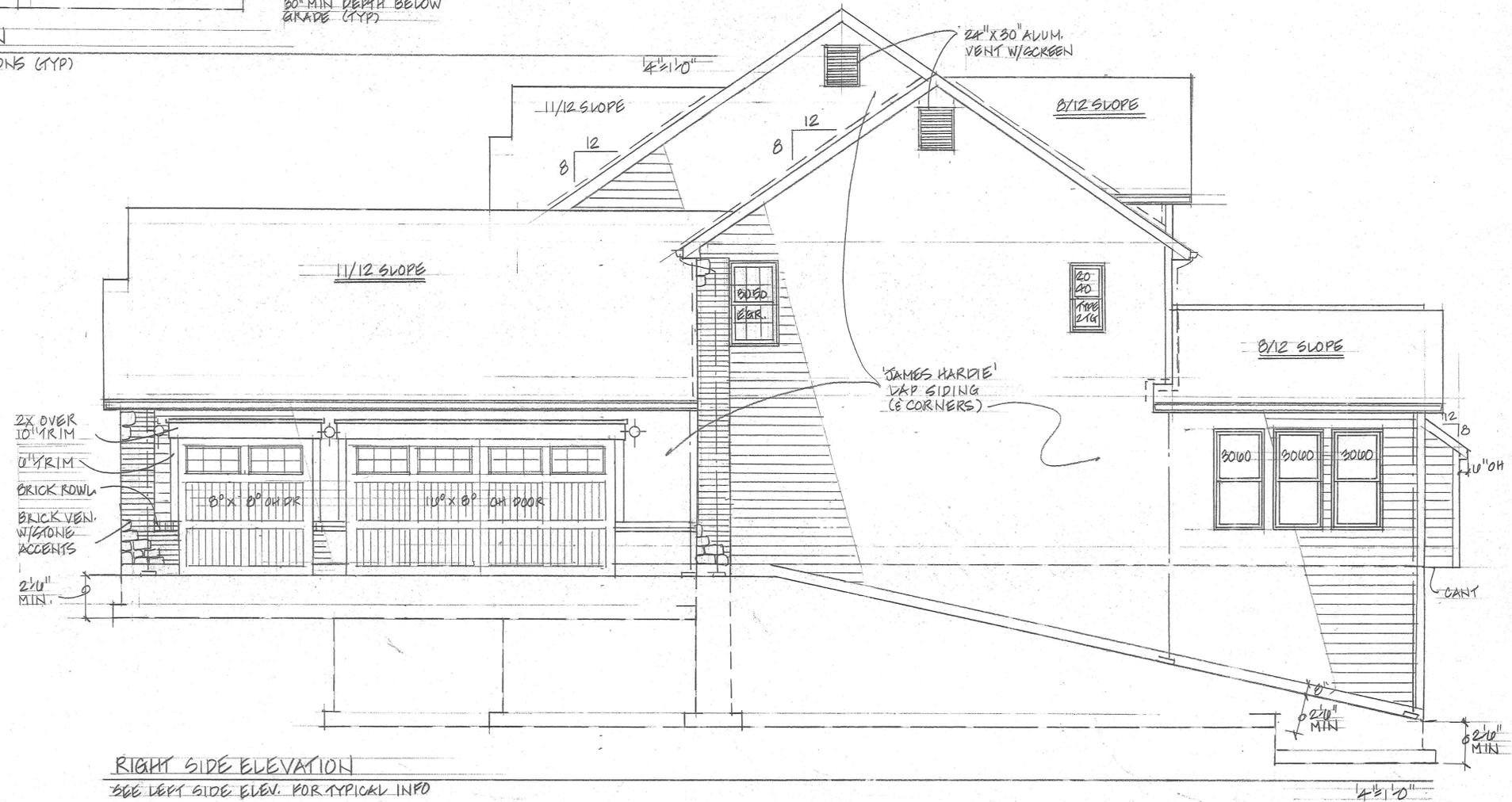
DRAWING ISSUE / REVISION		
REV #	DESCRIPTION	DATE
1	COMPLETE	12/21/16

DRAWING TITLE
 SIDE ELEVATIONS

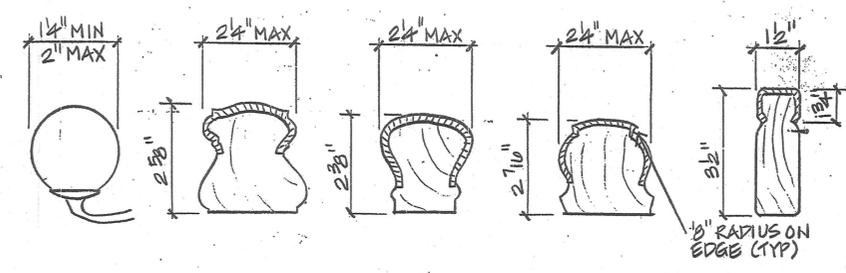
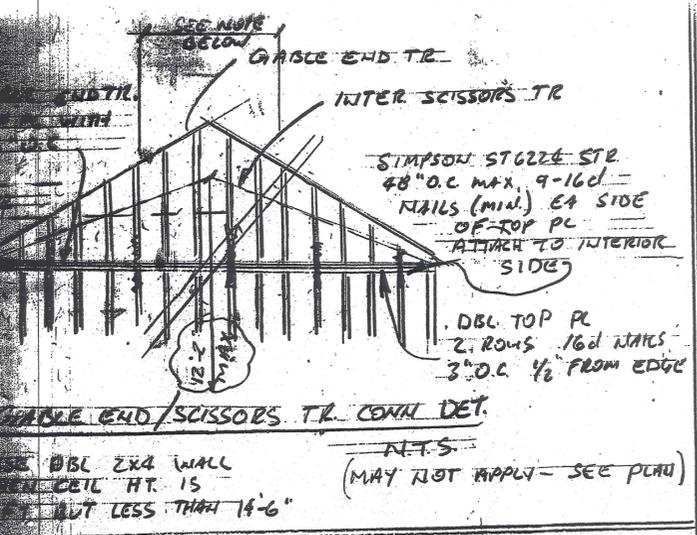
SHEET NUMBER
 5 OF 10
 JOB #
 SHEET SIZE 36" X 24" LANDSCAPE



LEFT SIDE ELEVATION
 WINDOW DESIGNATIONS (TYP)



RIGHT SIDE ELEVATION
 SEE LEFT SIDE ELEV. FOR TYPICAL INFO

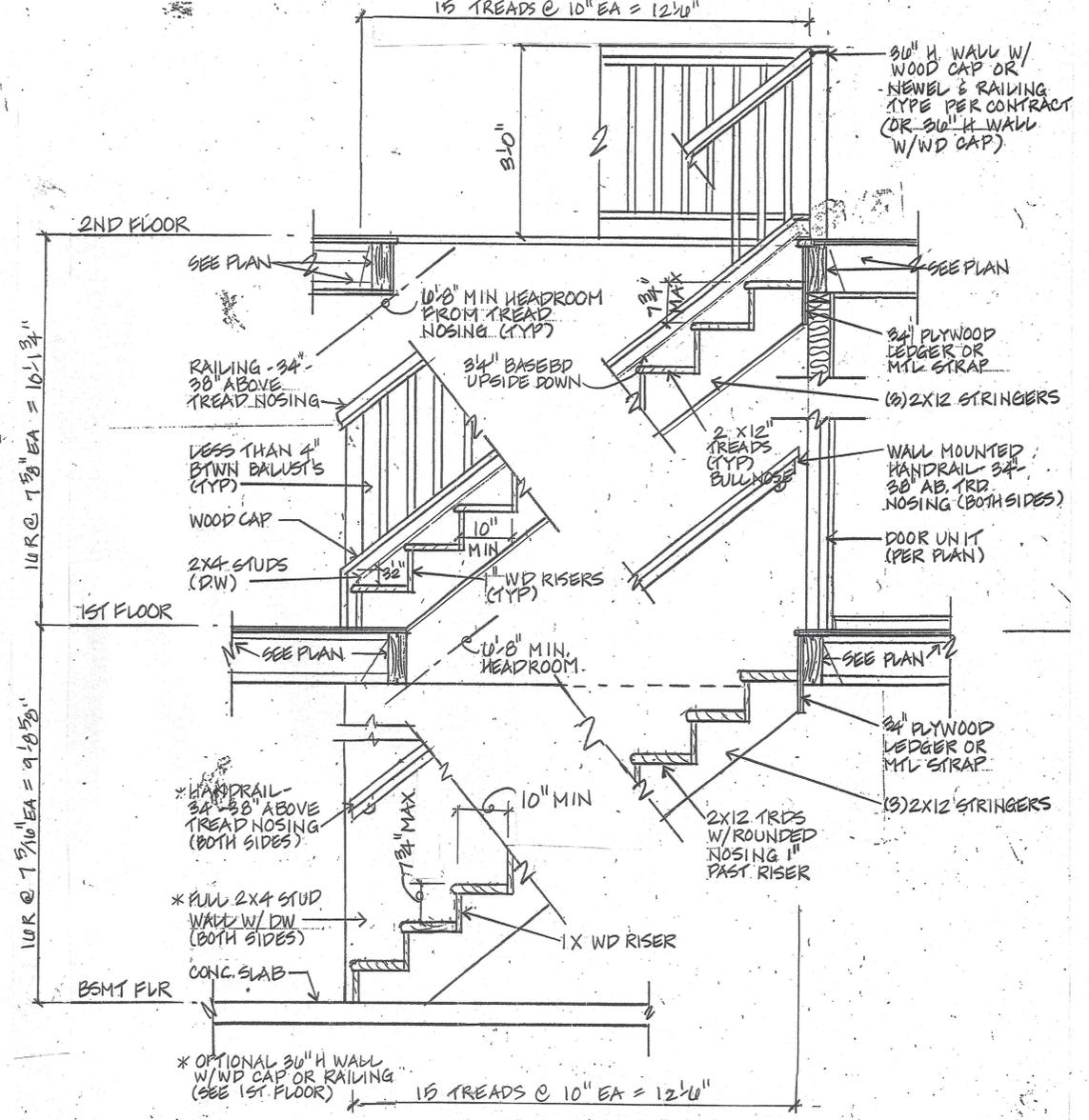


ACCEPTABLE RAIL PROFILES

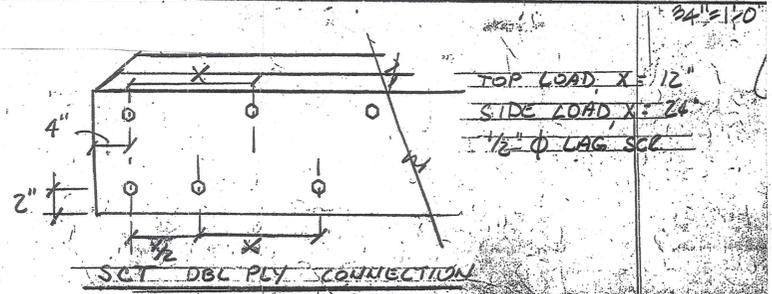
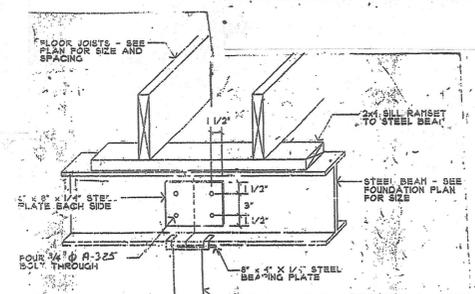
==== DENOTES GRASPABLE PERIMETER

- HANDRAILS SHALL MEET EITHER:
- CIRCULAR CROSS SECTION W/ MIN Ø OF 1 1/4" BUT LESS THAN 2"
 - OTHER SHAPES HAVING A MAX. ALLOWABLE HORIZ. WIDTH OF 2 1/4" MAX. GRASPABLE PERIMETER DIMEN. OF 6 1/4" AND/OR MIN. 4" GRASPABLE DIMENSION

ALL RAILS TO BE CONTINUOUS & RETURN TO WALL OR NEWEL POST EA. END. 15 TREADS @ 10" EA = 12' 0"



TYPICAL STAIR SECTION



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WHALEN Custom Homes

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PROJECT TITLE

Proposed Residence For:
 THE HARPER FAMILY
 LOT 9 STONE MILL
 WILDWOOD, MO.

DRAWING ISSUE / REVISION	
REV #	DATE
	12/21/10

DRAWING TITLE
STAIR SECTION SCISSOR TRUSS DET.

SHEET NUMBER
D2 OF 10

JOB # _____
 SHEET SIZE 36" X 24" LANDSCAPE

GENERAL BUILDING NOTES

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 LOT 9 STONE MILL
 WILDWOOD, MO

DRAWING ISSUE / REVISION

REV #	DESCRIPTION	DATE
1		12/21/10

DRAWING TITLE
GENERAL NOTES

SHEET NUMBER
D4 OF 10
 JOB # _____
 SHEET SIZE 1/8" X 24" LANDSCAPE

- The general or grading contractor is responsible for providing a minimum safe soil bearing capacity of 1500 psf (2000 psf if certified by a Missouri registered soils engineer) for all foundation footings. No foundation footings shall be placed on fill dirt. Design shall conform to Seismic Design Category "A/B" per Sec R301.2.2 of the 2009 International Residential Code for one and two family detached dwellings. All others shall conform to Seismic Design Category C unless soils reports indicate a seismic condition requiring stricter seismic considerations. *
- Backfill shall be free of debris and large rocks, installed in lifts and each lift compacted to fill all voids.
- For 3500 psi @ 28 days (min) concrete, air entrained per table R402.2 of the 2009 IRC or as required by local codes.
- Concrete basement foundation walls with more than 20% exposure above finish grade to be insulated w/products meeting the following criteria: flame spread rating less than 25; smoke development rating less than 450; can be left exposed without an approved 15 min. thermal barrier (1/2" drywall); R-13 min. insulation value. Extend insulation down to 24" min. below outside finish grade (or to basement slab). Fiberglass batts or blanket. No foam products allowed.
- Concrete piers to be 30" min. below grade and 24" min. into undisturbed earth. Flare bottom of piers per plan.
- Basement to have glass area equal to 1/150th of total area.
- Basement to have vent area to 1% of total area.
- Basement walls and floors of habitable and occupied spaces are to be water tight and properly reinforced to withstand water pressure as necessary.
- 6 mil poly vapor barrier required under concrete slabs with lapped joints minimum 6" (basement and garage floors affected.)
- No ground water present-provide drain tile or perforated pipe around perimeter of the outside of the foundation or inside the foundation under the slab. Drain discharge shall be gravity to daylight or be connected to a basement floor sump. Basement area way drains and foundation drain tiles are not to be connected to a sanitary sewer.
 - An approved filter membrane shall be placed on 2" minimum gravel or crushed stone and have 6" minimum cover.
 - Provide sump, 15" in dia. x 18" deep with a fitted cover connected to the foundation drain pipe unless gravity discharge. A sump shall be provided if basement is finished with pump discharge into an approved disposal system.
 - Provide damp-proofing of floor slab of 6 mil polyethylene film below slab with joints in membrane lapped and sealed.
 - Walls shall be dampproofed with a bituminous material, 3 lb. per sq. yd. of acrylic modified cement, 1/8" coat of surface bonding mortar, or by any of the materials permitted for wall waterproofing.
- Groundwater present-provide drainage system inside and outside of foundation.
 - Drainage system shall discharge by gravity to daylight or be connected to an approved sump (15" in diameter by 18" deep fitted cover) having a sump pump that discharges into an approved disposal system. Basement area way drains and foundation drain tiles are not to be connected to a sanitary sewer.
 - Provide waterproofing membrane under floor slab of rubberized asphalt, butyl rubber, neoprene or minimum 6 mil polyvinyl chloride or polyethylene with joints lapped a minimum of 6" and sealed.
 - Foundation to be waterproofed with two ply lapped-mopped felts, 6 mil PVC, 40 mil polymer asphalt or 6 mil polyethylene. Joints to be hot and sealed per manufacturer's installation instructions.
 - Waterproofing to be applied from the bottom of the wall to at least 12" above the water table elevation. The remainder of the wall to be dampproofed. All joints in walls and floors to be watertight.
- Steel and wood beams to have 4" minimum bearing in pocket and grouted solid.
- All lumber is to conform to Table 1, American Lumber Standards Committee as indicated on this sheet.
- Roof overhang-2 layers of 15# felt (Type 1 per ASTM D226-95) cemented together from eave 24" inside building wall. Full 15# felt on all roof surfaces in compliance with 2009 IRC and local ordinances.
- Attic to have a minimum venting equal to 1/150th of total area. Two (2) remote vents required for each (min) Where ridge or gable vents are used, 1/2 of the area to be provided by ridge or gable vents and 1/2 by eave or cornice vents. Ventilation cannot be mechanical only.
- Aluminum flashing is required at roof/wall and chimney/roof intersections.
- Corrosion resistant flashing is required at the top and sides of all exterior window and door openings, all wall and roof intersections, changes in roof slope or direction, around all roof openings, intersections with chimneys, intersections of exterior walls and porches & decks, etc.
- Caulking and sealants: Exterior joints around window and door frames; between wall cavities and window or door frames; between wall and foundation, between wall and roof, between wall panels at penetrations or utility services through walls, floors and roofs, and all other openings in the exterior envelope shall be sealed in an approved manner.
- All exposed materials for porches, soffits, overhangs, etc. to be approved exterior grade materials.
- Fireblocking is required at all interior bearing partitions, furred spaces & between stair stringers at top and bottom of run, between stair stringers at the top and bottom of the run. Enclosed accessible spaces under stairs shall have walls, under stair surface and any soffits protected on the enclosed side with 1/2" gypsum board. Fire blocking required for all spaces between the chimney and the floor and ceilings the chimney passes through with 1" depth batt or blanket or mineral wool or glass fiber supported by strips of metal or metal lath. Fire blocking required around vent, pipe and duct penetrations of ceilings and floors.
- Firestop all dropped ceilings, soffits, and partitions over 8'-1-1/8" high. Ceilings suspended below wood joists or attached to wood floor trusses to be draft-stopped at 1000 sq. ft. intervals and parallel to the framing members.
- Top and bottom of all conventional and staggered-stud walls to be firestopped.
- Double floor joists below parallel partitions.
- All door and window headers: 2-2x10's unless noted otherwise. All headers to conform to Table 1 ALSC, this sheet U.N.O.
- All nailing must comply with table R602.3.1(1), (2) of the 2009 IRC
- Drywall installation to be in accordance with the Gypsum Association's recommended practices as to the thickness, nailing and taping on correct spacing and Table R602.3.1 of the 2009 IRC
- All fire rated drywall assemblies shall be installed in accordance with the specifications of the approved test assembly
- Water resistant gypsum board is required in bath tub and shower areas (DO NOT INSTALL OVER VAPOR BARRIER)
- Interior finish materials shall not have flame spread ratings exceeding 200. If batt or blanket insulation including facings, vapor retarders or other vapor permeable membranes are exposed, material shall have a flame spread rating of 25 or less and a smoke development rating of 450 or less. Foam plastics shall have a flame spread rating of 75 or less and a smoke development rating of 450 or less
- Air infiltration rate for windows shall not exceed 0.5 CFM per foot of sash track. Doors shall not exceed 0.5 CFM per sq. ft. of door area. Glazing in any portion of a building wall enclosing bathtubs, showers, hot tubs, etc. which is located less than 60" above a standing surface shall be tested and labeled in accordance with CPSG 16 CFR Part 1201 Standard as a Type I or Type II category safety glazing material. Any glazing material exceeding 9 sq. ft. in area is required to be safety glazing in accordance with the following categories:
 - Glazing on doors enclosing bathtubs, showers, hot tubs, whirlpools, saunas, steam rooms, spas, (TYPE II only), indoor or outdoor pools which is located 60" or less, measured horizontally, from the water's edge and less than 60" vertically above a standing surface
 - Any glazing material within a 24" arc of either vertical edge of the door in a closed position and if the bottom edge of the glazing material is less than 60" above the floor.
 - Fixed or operable panels that have individual panes greater than 9 ft. and bottom edge less than 18" above the floor and top edge more than 36" above floor and walking surface within 36" horizontally
 - All doors
 - Glazing in hand or guard rails
 - Glazing adjacent to stairways, landings and ramps within 36" horizontally of the walking surface. And glazing adjacent to stairways within 60" horizontally of the bottom tread in any direction when the exposed surface of the glass is less than 60" above the tread nosing
- Bathrooms must have 50 CFM min. exhaust to exterior; Kitchen range exhaust fan and/or down-draft cook top must have 100 CFM min. and 599 CFM max. (Also see note 53) exhaust to exterior; and clothes dryer must be vented to exterior and ducted independent of all other systems through a min. 4" dia. smooth duct. Maximum length of duct to be 25 ft.
- House to have aluminum gutters and downspouts. Do not connect to sanitary sewers
- Downspouts shall direct water away from foundation so as to prevent erosion
- It is the contractor's responsibility to see that the stairway, handrails, balusters and connections are designed, fabricated and installed in accordance with 2009 IRC code requirements as required by local ordinance. Handrails shall either meet A) circular cross-section with minimum diameter of 1-1/4" but not more than 2" B) other approved shapes having a maximum graspable perimeter dimension of 6-1/4", or minimum 4" graspable perimeter dimension. Maximum allowable handrail projection into stair width is 4 1/2". Handrails must be continuous and return to either a newel post or wall at each end. Stairways require lighting w/illuminated switches, 10 footcandles min., measured at every tread nosing. Ext. stairs 1 footcandle
- All wiring copper w/ ground and comply with all national, state, and local codes. Closet lighting per NEC 410-8, kitchen island receptacles per NEC 210-52. Receptacles for ranges and clothes dryers to be 3 pole ground type. Bedroom circuits to be arc protected
- Grounding: If the underground metal water pipe is used as the grounding electrode, the connection must be made to the pipe within 5' of the point of entrance to the building. A supplemental grounding electrode shall be provided as specified in NEC 250-50 and 250-53
- All electrical outlets in kitchen, baths, basement, garage and all other exterior electric outlets to be GFCI type. All circuits in bedrooms to be AFCI.
- Garage/house separating partitions and garage ceiling constructed with 5/8" type X gypsum board (1 hour fire rated assembly) Basement garage or garage with 2nd story above: Ceiling and garage separating garage from dwelling to be 1 hour fire rated assembly of 5/8" type X gypsum board. Soffit down around any mechanical ductwork with 5/8" type X gypsum board. Garage/house separating partitions to be 1 hour fire rated each side of stud. All bearing walls, beams, and columns/wood posts to be wrapped with 1 hour assembly of 15/8" type X gypsum board. All soffits, eaves and overhangs within 5 ft. of a property line must be fire rated. See plans.
- Smoke detectors to be AC powered with battery backup, UL listed and installed in accordance with NFPA 72-07. Detectors to be interconnected. Hallway detectors shall be located upstream from return air grilles. All bedrooms and each level of a residence must have a carbon monoxide detector. (UL 2034-2008/9)
- No-lead solder required on all copper water supply piping
- Plumbers Note: The incoming water service line for dwelling shall be sized as follows: 1" service line-up to 3 1/2 baths, 1-1/4" service line-up to 6 baths, and 1 1/2" service line-more than 6 baths. This count includes 1-kitchen sink with dishwasher, 1 clothes washer supply and laundry sink, and 2-1/2" exterior continuous use hose bibbs. Roughed-in fixtures shall be included in this count.
- Water service pipe and the building sewer are to be a minimum of 10 ft. apart horizontally
- Door separating garage from the house is to be 1-3/4" solid core (1 hour fire rated) Door sill to be 4" minimum above garage floor
- All footings shall be placed on virgin soil (undisturbed subgrade)
- Finish grade to be 8" min. below top of foundation (6" min. for full masonry walls) and slope away from foundation 6" IN 10 FT. All areas around foundation to be lower elevations
- Heating contractor to furnish duct layout and heat loss/gain calculations
- Roof trusses to comply with AFPA NDS-91 and TPI 1-2002; and roof truss manufacturer to furnish Missouri engineer-sealed drawings.
- Parallam, Microlam, etc installations to be in strict accordance with manufacturer's recommendations. Minimum properties of all structural lumber assemblies to meet or exceed E=1.7, Fv=285 psi, Fb=2600 psi
- All wood connections shall be in strict accordance with current AITC standards
- The structure specified on this drawing set is certified as designed. Any additional design work including site plan, lot survey, mechanical details, Any special foundation design if required soil conditions cannot be met is the responsibility of the builder unless specifically addressed in this set by the design professional.

50. Insulating requirements: Roof/ceiling min. R-30; Frame walls and band joists min.R-13; Floor over unheated crawl space min. R-19; Basement foundation wall min. R-13; Slab on grade floor min. R-10 (unheated) R-15 (heated); Windows and doors max. U-.40

51. Entry doors: Locks with thumb turns on the inside are permitted. Inside key operation is permitted provided the key cannot be removed from the lock when locked from the inside

52. Each gas appliance shall have a gas shutoff valve and ground joint union. A sediment trap is required at each appliance or group of appliances. Gas piping shall be identified at intervals of no more than 5 ft. Vibration isolators shall be installed between mechanical equipment and metal ducts.

53. Vibration isolators shall be fabricated from approved materials and shall not exceed 1" in length. Minimum appliance clearance from combustibles is 18" and minimum clearance in front of appliances for services 30" Make-up air shall be provided during the operation of kitchen exhaust systems of 600 CFM or greater exhaust flow. (See M1502.4)

54. Cutting, notching and/or boring holes in wood beams, joists, rafters, or studs shall not exceed the limitations noted in R602.3.1 through 4, R502.8 and R802.7 of the 2009 IRC Code and as required by local ordinance. Stud reinforcement to be done in accordance with R602.6 of the 2009 IRC

55. Nailing and fastening of floor, roof/ceiling, wall and roof sheathing, and gypsum const. shall be in accordance with R602.3.1 through 4 of the 2009 IRC in compliance with local ordinance.

56. Combustible trim and mantles attached to the fireplace face shall be a minimum of 6" from the opening. Combustible material above & projecting more than 1 1/2" from a fireplace face wall shall have a minimum clearance of 12" above a fireplace opening

57. Minimum depth of masonry fire box to be 20". Size of chimney connection to the smoke chamber shall have a minimum of 50 sq. in. in cross-sectional area.

58. The walls of the throat and smoke chamber shall be a minimum of 8" solid masonry or 4" of solid masonry with at least 1" of insulating refractory masonry

59. Masonry chimneys shall be constructed of 4" minimum solid masonry or 12" rubble stone masonry & shall be lined with minimum 5/8" thick fire-clay lining or other approved lining

60. Fireplace liner shall extend a minimum 4" into the throat of a masonry fireplace

61. Hanging light fixtures, track lighting & ceiling fans are not to be installed within 36" horizontal of bath tub, measured from outside edge of tub & 96" vertically from top of tub rim. Electric receptacles are prohibited in bath tub or shower space. Shower floors and shower, bathtub/shower enclosure walls to be constructed of smooth noncorrosive, nonabsorbant and waterproof materials to a height of 72" min. above floor

62. General contractor to affix a metal or of other durable material, sign reading "WARNING-TRUSSES NOT DESIGNED FOR STORAGE" in attics on each side of scuttle hole openings, 36" above bottom chord and within 18" of edge, 40 sq. in. in area using 3/4" letters. Additionally a 2x4 horizontal railing is to be affixed on each side - 24" min. height and 36" max. height

63. All construction to be in accordance with the 2009 IRC, 2008 National Electric Code, the 2009 International Plumbing Code and the 2009 Uniform Plumbing Code and all local ordinances unless otherwise indicated. Where construction does not meet the 2009 IRC, construction documents will be supplied either by the contractor or design professional of record showing compliance with the 2009 International Building Code.

64. Windows: All skylights shall be double-glazed with maximum U value of 0.60. Windows for natural ventilation of unfinished basements may be single glazed. All other windows shall comply with one of the following conditions: For window areas that do not exceed 24% of the gross insulated frame wall area or the entire building:

- Use double glazed windows with 1/2" minimum (gross overall thickness) clear glass, with either aluminum frame with thermal break, vinyl frame, wood frame, or fiberglass frame. OR
- Use a window having a maximum overall U value not more than 0.40

For window areas greater than 24% and not more than 30% of the gross insulated frame wall area of the entire building, use one of the following options: Use double glazed windows with 1/2" min. (gross overall thickness) clear glass, with either aluminum frame with thermal break, vinyl frame, wood frame or fiberglass frame with one of the following options:

- Treated with Low E film
- Exterior wall sheathed with a minimum 1/2" sheathing with an R- value of R3 min.
- Max U value of all windows shall not exceed 0.40

65. Contractor to install sign stating the house is equipped with dryer duct clean-outs when clean-outs are installed.

66. Mechanical contractor is required to install a programmable thermostat.

67. Electrical contractor is to install at least one communication outlet within the dwelling and cabled to the service provider demarcation point. The communication system shall have an interior bonding terminal.

68. Foam insulation products to be separated from interior by 1/2" thick gypsum.

69. No exposed or partially exposed or pendant lights allowed in closets. Maintain 12" clearance between light fixture and storage for independent lighting and 6" clearance for fluorescent lighting.

70. Shower, shower floor and shower/bath enclosures to be smooth, non-corrosive, non-absorbent and waterproof up to 6 ft. 0 in. above floor.

71. Clearance for all mechanical equipment shall be 18 inches sides and back and 30 inches front.

72. All bedroom, habitable attics and basement to have a minimum of one egress window with 44 inches maximum dimension from finished floor to bottom of clear opening, 20 inches minimum width of clearance and 24 inches minimum height of clear opening. The shall also be a minimum open area for each egress window of 5.7 sq. ft. Egress openings in basement walls shall conform to the detail on this sheet.

73. The contractor shall insure all fuel gas appliances meet the requirements of the 2009 IRC, specifically Sec G2407-Combustion and Ventilation Requirements, Sec. G2408 Installation Requirements, Cec G2409, Clearance Requirements

74. Roof Valleys (Open) Either 24" wide metal per Table 905.2.8.2 or two plies of mineral surfaced roof roofing, ASTM D3909 or D6380 Class M-bottom layer 18 w., top layer 36" w. (Closed)-one ply smooth roof roofing ASTM D6380, 3 in. w.or self-adhesive polymer membrane, ASTM D1970

75. A waterproof GFCI receptacle is required within 25 ft. of the outside A/C condenser

SOUTHERN PINE REFERENCE DESIGN VALUES
 Based on SPIB Grading Rules and AISC National Design Specifications
 Values in pounds per square inch (psi)
 (Effective June 1, 2009)

Table 1 - Dimension Lumber - 2" to 4" thick, 2" and wider
 Based on Normal Load Duration and Dry Service (MC=19%)

Size	Grade	Bending		Tension Parallel to Grain		Shear Parallel to Grain		Compression Parallel to Grain		Modulus of Elasticity	
		F _b	F _t	F _t	F _c	F _v	F _c	E	E _{min}		
2" to 4" thick, 2" to 4" wide	Dense Select Structural	2700	1900	175	650	2350	1800	690,000	690,000		
	Select Structural	2350	1550	175	525	1900	1500	1,800,000	690,000		
	Non-Dense Select Structural	1850	1450	175	480	1800	1400	1,600,000	580,000		
	No.1 Dense	1850	1100	175	650	1750	1800	1,800,000	690,000		
Includes: 2x2 2x4 2x6 3x3 3x4 4x4	No.1 Non-Dense	1300	875	175	480	1550	1400	1,400,000	510,000		
	No.2 Dense	1200	750	175	650	1500	1600	1,600,000	580,000		
	No.2 Non-Dense	1100	600	175	525	1450	1500	1,500,000	510,000		
	No.3 and Stud	650	400	175	565	850	1300	1,300,000	470,000		
2" to 4" thick, 5" to 6" wide	Dense Select Structural	2400	1850	175	650	1900	1800	1,900,000	690,000		
	Select Structural	2100	1450	175	565	1650	1500	1,600,000	690,000		
	Non-Dense Select Structural	1850	1300	175	480	1700	1450	1,600,000	580,000		
	No.1 Dense	1500	1000	175	650	1650	1800	1,800,000	690,000		
Includes: 2x5 2x6 2x8 3x5 3x6 4x5 4x6	No.1 Non-Dense	1200	775	175	480	1450	1450	1,400,000	510,000		
	No.2 Dense	1050	650	175	650	1450	1600	1,600,000	580,000		
	No.2 Non-Dense	950	525	175	480	1350	1500	1,300,000	470,000		
	No.3 and Stud	575	350	175	565	800	1300	1,300,000	470,000		
2" to 4" thick, 8" wide	Dense Select Structural	2200	1550	175	650	1850	1850	1,900,000	690,000		
	Select Structural	1950	1350	175	565	1700	1600	1,800,000	690,000		
	Non-Dense Select Structural	1500	1200	175	480	1650	1400	1,600,000	580,000		
	No.1 Dense	1350	900	175	650	1600	1800	1,800,000	690,000		
Includes: 2x8 2x9 2x10 3x8 3x10 4x8	No.1 Non-Dense	1250	800	175	565	1500	1400	1,400,000	580,000		
	No.2 Dense	975	600	175	650	1400	1600	1,600,000	580,000		
	No.2 Non-Dense	925	500	175	565	1350	1500	1,400,000	510,000		
	No.3 and Stud	525	325	175	565	775	1300	1,300,000	470,000		
2" to 4" thick, 10" wide	Dense Select Structural	1950	1300	175	650	1900	1900	1,900,000	690,000		
	Select Structural	1700	1150	175	565	1650	1650	1,800,000	690,000		
	Non-Dense Select Structural	1500	950	175	480	1600	1400	1,600,000	580,000		
	No.1 Dense	1200	800	175	650	1550	1800	1,800,000	690,000		
Includes: 2x10 2x12 3x12 4x12	No.1 Non-Dense	1050	700	175	565	1450	1450	1,400,000	580,000		
	No.2 Dense	850	525	175	650	1350	1600	1,600,000	580,000		
	No.2 Non-Dense	800	475	175	565	1300	1500	1,400,000	510,000		
	No.3 and Stud	475	275	175	565	750	1300	1,300,000	470,000		
2" to 4" thick, 12" wide	Dense Select Structural	1800	1220	175	650	1750	1800	1,900,000	690,000		
	Select Structural	1600	1100	175	565	1650	1650	1,800,000	690,000		
	Non-Dense Select Structural	1400	975	175	480	1550	1400	1,600,000	580,000		
	No.1 Dense	1100	750	175	650	1500	1800	1,800,000	690,000		
Includes: 2x12 3x12 4x12	No.1 Non-Dense	1000	650	175	565	1400	1400	1,400,000	580,000		
	No.2 Dense	800	500	175	650	1350	1600	1,600,000	580,000		
	No.2 Non-Dense	750	450	175	565	1250	1500	1,400,000	510,000		
	No.3 and Stud	450	250	175	565	725	1300,000	470,000			

(1) For Utility, design values apply to 4" wide lumber only. (2) For lumber 4" thick or more, multiply the F

EXTERIOR

SHINGLES

- Tamko 30 Yr Architectural Heritage- Weathered Wood

SIDING/SOFFIT/FASCIA

- JamesHardie HardiePlank Lap Siding- Timberbark

BRICK

- Stanford Oversized

STONE

- Harvest Mix Tumbled

WINDOWS

- Andersen 100 Series- Dark Bronze Exterior/White Interior

FRONT DOOR

- Therma Tru S83 Rain Glass Double 2880

SHUTTERS

- Cedar Per Plan- Stained to Match Front Door

GARAGE DOOR

- Delden Classica Series- N10, 8x8, 16x8 Painted Dark Bronze

HERITAGE®

LAMINATED ASPHALT SHINGLES

PRODUCT DATA

MANUFACTURED IN JOPLIN, MO



HERITAGE® shingles have a double-layer fiberglass mat construction with a random-cut sawtooth design. The two layers of mat are coated with asphalt, surfaced with mineral granules and then laminated together. They also include a self-sealing strip of asphalt.

USES: For application to roof decks with inclines of not less than 2 inches per foot. For slopes between 2 inches and 4 inches per foot, refer to application instructions for low slope.

- Rustic beauty of wood shakes.
- Shadowtone feature adds dimension, depth of appearance and curb appeal.
- 30-year Limited Warranty, 15-year Full Start, 5-year Transferability.

SHINGLES BEGIN TO AGE AS SOON AS THEY ARE EXPOSED TO NATURE. BUILDINGS EXPERIENCE AGING FACTORS DIFFERENTLY, SO IT IS DIFFICULT TO PREDICT HOW LONG SHINGLES WILL LAST. THAT'S WHY TAMKO PROVIDES A LIMITED WARRANTY, THAT INCLUDES A BINDING ARBITRATION CLAUSE AND OTHER TERMS AND CONDITIONS WHICH ARE INCORPORATED HEREIN BY REFERENCE. YOU MAY OBTAIN A COPY OF THE LIMITED WARRANTY AT TAMKO.COM OR BY CALLING 1-800-641-4691.

CERTIFICATIONS

UL Listed for Class A Fire Rating:	UL 790/ASTM E 108, Class A
UL Classified for Wind Resistance:	ASTM D 7158, Class H and ASTM D 3161, Class F
UL Classified in accordance with:	ASTM D 3462 and ICC-ES Acceptance Criteria AC436
UL Evaluation Reports:	UL ER2919-01 and UL ER2919-02
Florida Building Code Approved:	FL 18355

COLORS

AMERICA'S NATURAL COLORS

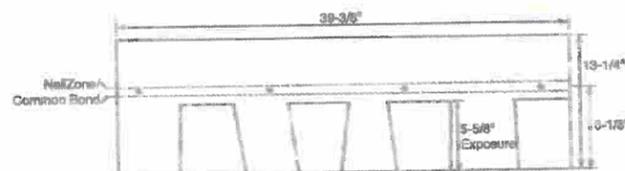
- Black Walnut
- Harvest Gold
- Mountain Slate
- Natural Timber
- Painted Desert
- Thunderstorm Grey

CLASSIC HERITAGE COLORS

- Antique Slate
- Olde English Pewter
- Oxford Grey
- Rustic Black
- Rustic Cedar
- Rustic Evergreen
- Rustic Hickory
- Rustic Slate
- Weathered Wood

PRODUCT DATA†

Shingle size	13-1/4" x 39-3/8"
Exposure	5-5/8"
Coverage per Square††	98.4 sq.ft.
Shingles per Square††	64
Bundles per Square††	3



† All values stated as nominal.

†† When applied according to instructions.

CAUTION: This product contains crystalline silica and formaldehyde. Crystalline silica and formaldehyde have been classified as "known" human carcinogens by the International Agency for Research on Cancer (IARC) and the National Toxicology Program. This product also contains oxidized asphalt. Occupational exposures to oxidized asphalt and its emissions during roofing have been classified by IARC as a "probable human carcinogen". Oxidized asphalt also contains Polycyclic Aromatic Hydrocarbons some of which have been classified by IARC as known or probable human carcinogens. The physical nature of this product may help limit any inhalation or dermal hazard during application and/or removal. However, physical forces such as sawing, grinding or drilling during demolition work and heating or burning may increase the inhalation or dermal exposure hazard of this product. Take precautions to prevent breathing and contact with skin.

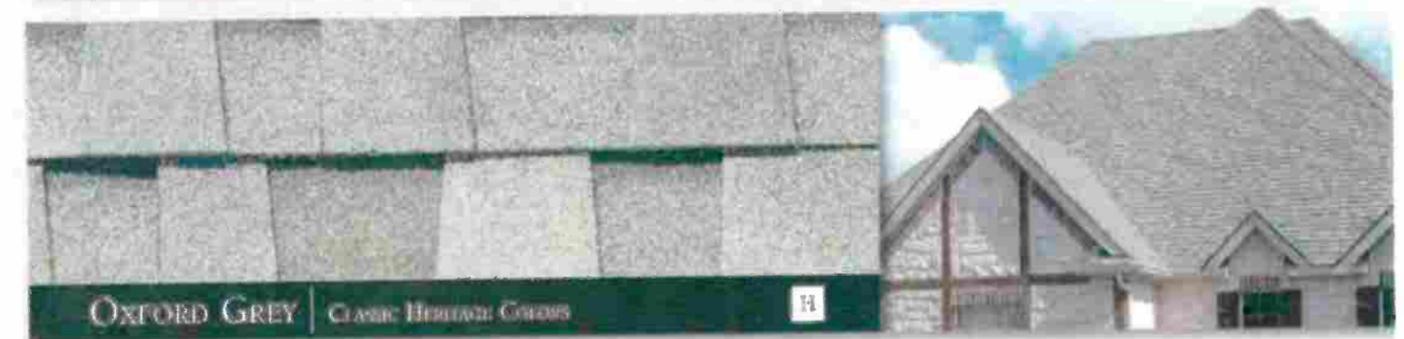
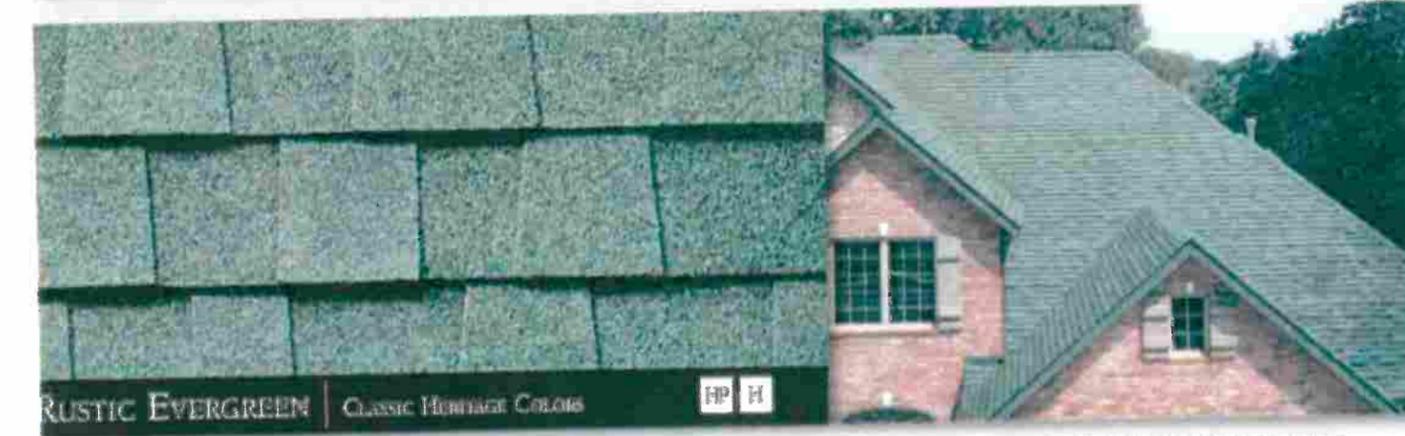
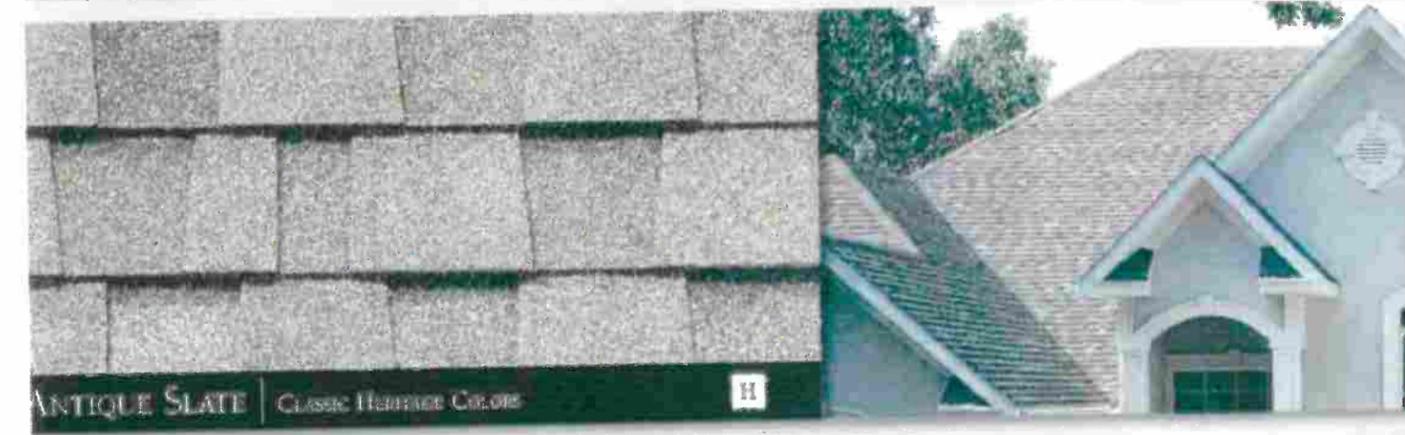
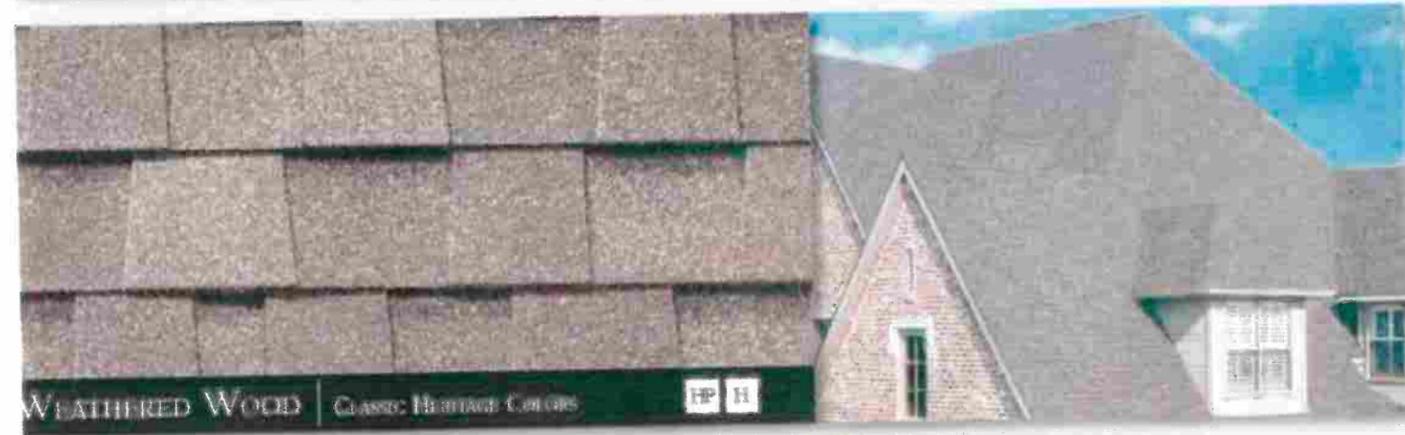
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P.O. Box 1404 • Joplin, MO 64802-1404 • 1-800-641-4691 • tamko.com

Rev. 07/2010



NOTE: TAMKO® RECOMMENDS VIEWING AN ACTUAL ROOF INSTALLATION PRIOR TO FINAL COLOR SELECTION FOR THE FULL IMPACT OF COLOR BLENDING AND PATTERNS. REPRODUCTION OF THESE COLORS IS AS ACCURATE AS OUR PRINTING WILL PERMIT.

Joplin, MO, produces colors in Heritage only. All Heritage Premium colors offered from Joplin, MO, are produced in Phillipsburg, KS. Rustic Redwood and Rustic Browns swatch photos are Phillipsburg Heritage Premium colors. All other swatch photos shown in this

Technical Attributes

HardiePlank™ Lap Siding

Effective 12/2007

James Hardie Building Products, Inc.

HardiePlank™ Lap Siding has been comprehensively tested and displays the following typical physical properties.

General Property	Test Method	Unit or Characteristic	Requirement	Result	
PHYSICAL ATTRIBUTES	ASTM C1185	Length	± 0.5%	Pass	
	ASTM C1185	Width	± 0.5%	Pass	
	ASTM C1185	Thickness	± 0.04 in.	Pass	
	ASTM C1185	Squareness	< 1/32 in./ft of length	Pass	
	ASTM C1185	Edge Straightness	< 1/32 in./ft of length	Pass	
	Density, lb/ft ³	ASTM C1185		As reported	< 83
	Water Absorption, % by mass	ASTM C1185		As reported	< 36
	Water Tightness	ASTM C1185	Physical Observations	No drop formation	Pass
	Moisture Content, %	ASTM C1185		As reported	~ 5
	Moisture Movement, % Linear Change	ASTM C1185	30 – 90% Relative Humidity	As reported	≤ 0.05
Flexural Strength	ASTM C1185	Wet conditioned, psi	> 1015 psi	Pass	
	ASTM C1185	Equilibrium conditioned, psi	> 1450 psi	Pass	
THERMAL	ASTM C177	$K_{eff} = \text{BTU/hr-ft}^2\text{-}^\circ\text{F}$	As reported	2.07	
	ASTM C177	(K_{eff})	As reported	6.62	
	ASTM C177	$R=1/K_{eff}$	As reported	0.48	
	ASTM C177	(R)	As reported	0.15	
DURABILITY	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass	
		Warm Water, % wet retention	≥ 85%	Pass	
	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass	
		Physical Observations	No visible cracks or structural alteration	Pass	
	ASTM C1185	Mass Loss, %	≤ 3.0	Pass	
		Freeze/Thaw, % wet retention	≥ 80%	Pass	
	ASTM G23	Physical Observations	No cracking, checking, or crazing	Pass	
FIRE CHARACTERISTICS	ASTM E84	Flames Spread Index (FSI)	0	Pass	
		Smoke Developed Index (SDI)	≤ 5	Pass	
		Fuel Contributed	0	Pass	
		NFPA Class	As reported	A	
		Uniform Building Code™ Class	As reported	1	
		International Building Code® Class	As reported	A	
	ASTM E136	Noncombustible	Pass/fail	Pass	
	ASTM E119	Fire Resistance Rating	1-hour	Note 1	

Note 1: Listed on Warnock Hersey and ICC-ES NER-405

NOTE: In addition to the above product properties, building assemblies incorporating this product have been tested for fire, acoustic and impact performance.

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Additional installation information, warranties, and warnings are available at www.jameshardie.com



THIS TECHNICAL SUPPLEMENT MUST BE READ IN CONJUNCTION WITH THE CURRENT TECHNICAL PRODUCT LITERATURE. JAMES HARDIE BUILDING PRODUCTS MUST BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE TECHNICAL PRODUCT LITERATURE. ALL COMPONENTS AND ACCESSORIES MUST BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S SPECIFICATIONS. FOR THE PRODUCT WARRANTY, TERMS AND CONDITIONS REFER TO THE APPLICABLE JAMES HARDIE TECHNICAL PRODUCT LITERATURE

Timber Bark Example

2 messages

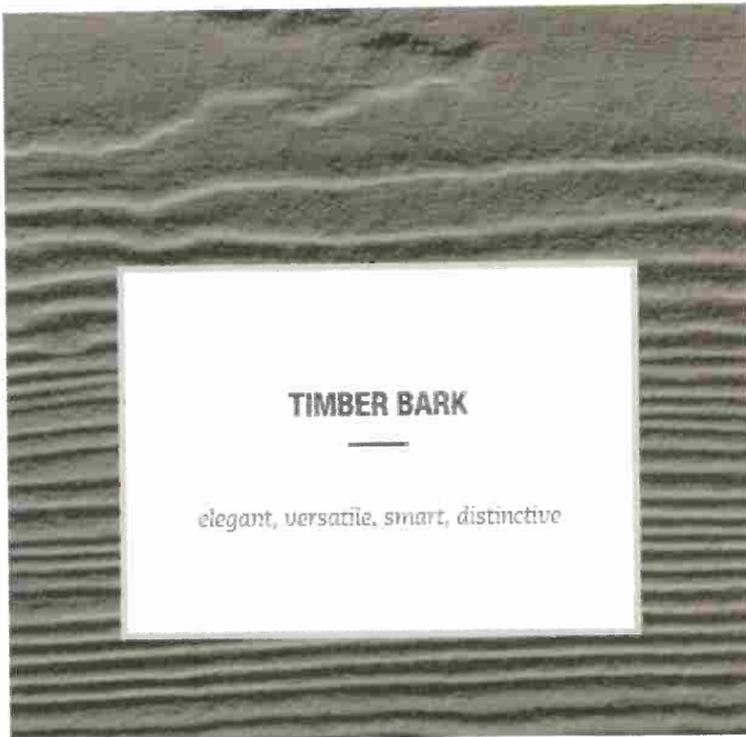
Mon, Nov 28, 2016 at 7:58 AM

Customer Service South <SouthCS@jameshardie.com>
To: "jennifer@whalencustomhomes.com" <jennifer@whalencustomhomes.com>

Dear Jennifer,

Please see the below color example.

Also note these swatches can be found on www.JamesHardie.com



Thank you,

Katie Wiese

James Hardie Building Products

Customer Operations Exteriors

Phone: [888-888-3408](tel:888-888-3408)

Fax: [800-968-7040](tel:800-968-7040)

E-mail: SouthCS@jameshardie.com

customerfeedback@jameshardie.com

James Hardie will be closed for Thanksgiving, November 24-25th.

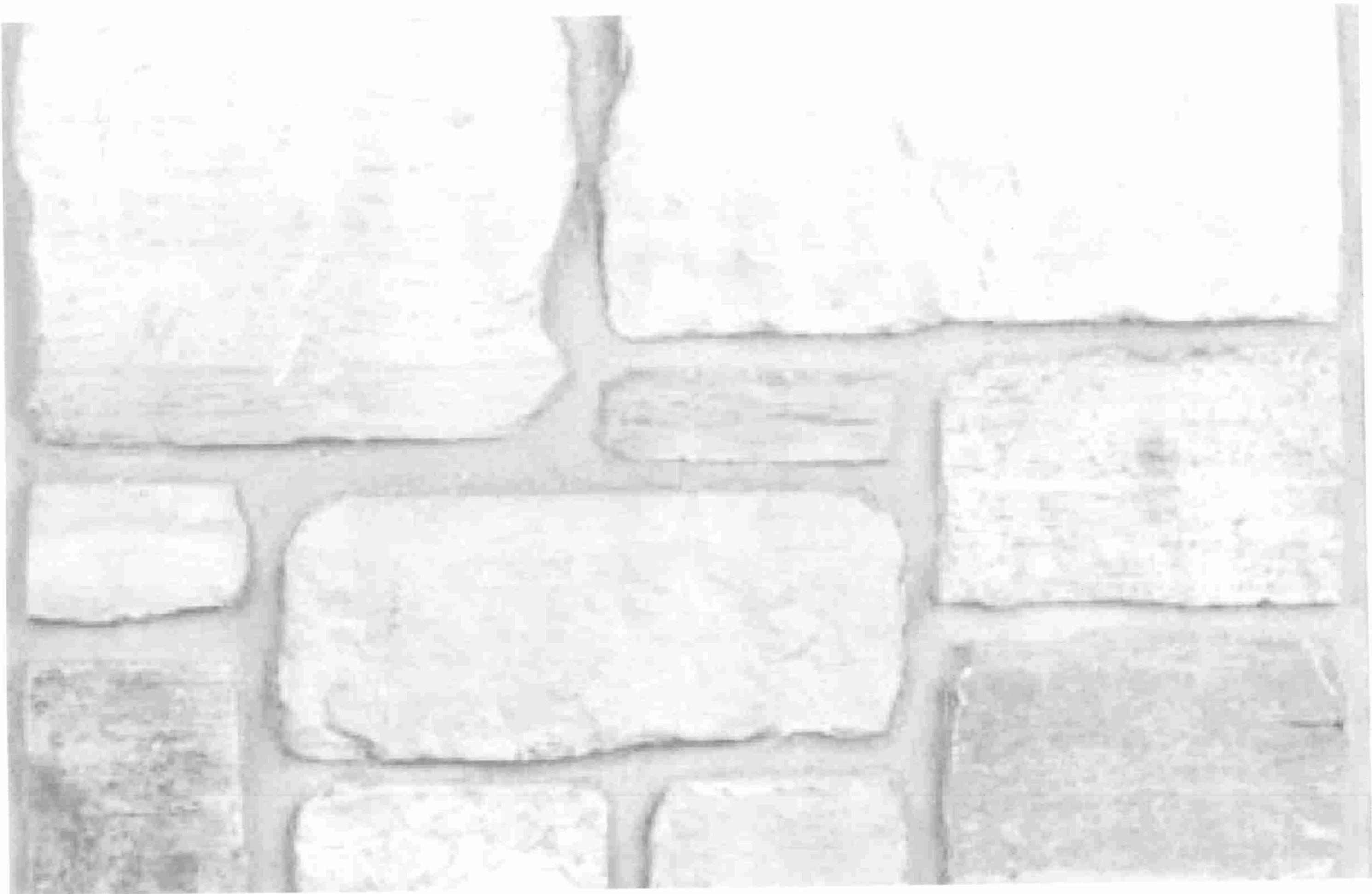
jennifer@whalencustomhomes.com <jennifer@whalencustomhomes.com>
To: Katie Peroutka <katie@whalencustomhomes.com>

Mon, Nov 28, 2016 at 9:16 AM

Sent from my iPhone



1960 Stanford



100 SERIES

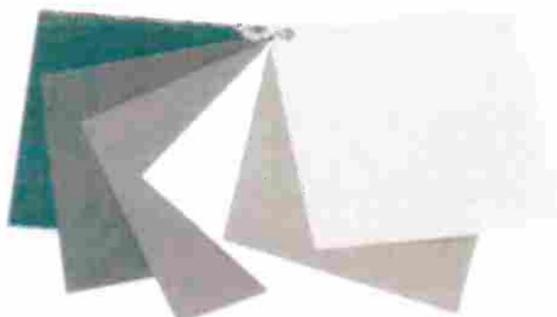
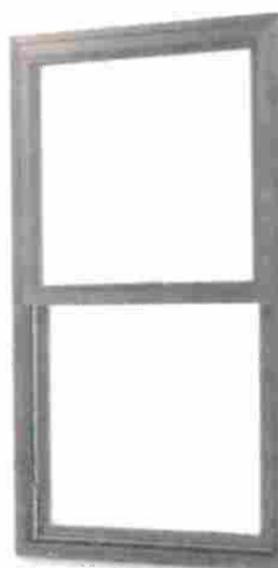
WINDOWS & PATIO DOORS

THE SMART ALTERNATIVE TO VINYL

Whether you're replacing, remodeling or building, Andersen® 100 Series windows and patio doors are a smart step up from vinyl. They provide uncommon value, combining time-tested performance with long-lasting beauty. Our 100 Series products are made with our revolutionary Fibrex® composite material, which comes in deep, rich colors that can dramatically enhance any project. In addition, Fibrex material is environmentally responsible and energy efficient, making 100 Series products a winning choice for anyone considering vinyl windows and doors.

DURABILITY

Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight. And 100 Series products come with durable factory-finished interiors and exteriors that never need painting and won't fade, flake, blister, chalk or peel.*



DEEP, RICH COLORS

Our 100 Series windows come in beautiful colors that can set a project apart.

ENVIRONMENTALLY SMART

Our Fibrex composite material is composed of 40% reclaimed wood fiber by weight, most of which is created during the manufacture of Andersen wood windows.



*Visit andersenwindows.com/warranty or contact your Andersen supplier for details.



ANDERSEN® 100 SERIES WINDOWS & DOORS DELIVER BEAUTY, PERFORMANCE AND VALUE.

All 100 Series windows and patio doors feature the performance, durability and ease of use you've come to expect from Andersen. They not only provide energy efficiency, beauty and reliability today, but they'll also continue to add value to your projects tomorrow and for years* to come.

ENERGY EFFICIENCY



MEETS ENERGY STANDARDS FOR EVERY CLIMATE

Energy-efficient 100 Series products with options that are ENERGY STAR® certified can help lower heating and cooling bills. What's more, the Fibrex® material used for 100 Series frames and sash blocks thermal transfer nearly 700 times better than aluminum.

IT PAYS TO UNDERSTAND PERFORMANCE

Whatever your project, you want to make sure you have accurate energy performance ratings. The National Fenestration Rating Council® (NFRC) is a nonpartisan, nonprofit organization that provides ratings you can rely on. Go to pages 90-95 for product performance information or visit andersenwindows.com/100series for details.

GLASS OPTIONS THAT MAXIMIZE PERFORMANCE

Andersen® 100 Series windows and patio doors feature glass options designed to suit every climate, project and customer. Choose from several glass options that help reduce energy bills, including patterned glass that adds beauty and privacy. See page 10 for details.

WEATHERSTRIPPING SELECTED FOR STYLE AND COMFORT

We carefully select weatherstripping to match each style of window and door so your customers can enjoy superior comfort and reliability.

*Visit andersenwindows.com/warranty or contact your Andersen supplier for details.

DURABILITY

EASY OPERATION FOR YEARS* TO COME

All Andersen® 100 Series products are rigorously tested to deliver years* of smooth, reliable operation.

DESIGNED FOR PERFORMANCE

100 Series products are designed to meet or exceed performance requirements in all 50 states.** See pages 90-95 for details.

TAKE COMFORT IN SUPERIOR WEATHER RESISTANCE

Our weather-resistant construction seals out drafts, wind and water so well that your reputation is protected whatever the weather.

OWNER2OWNER® LIMITED WARRANTY

QUALITY SO SOLID THAT THE WARRANTY IS TRANSFERABLE*

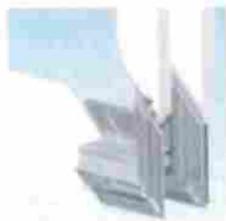
Most other window and door warranties end when a home is sold, but our coverage — 20 years on glass, 10 years on non-glass parts — transfers from each homeowner to the next. And, because it's not prorated, the coverage offers full benefits, year after year, owner after owner.

NEVER NEEDS PAINTING

100 Series windows and doors won't fade, flake, blister, chalk or peel.*

STRONGER CORNER JOINTS

Corner key construction produces joints that are stronger and more attractive than welded vinyl.



Corner key construction

BEAUTY

VIRTUALLY SEAMLESS CORNERS

To give your windows, patio doors and projects a beautiful, clean look, 100 Series products feature virtually seamless corners.



100 Series corner seam Welded vinyl corner seam

SIX COLORS FOR BEAUTIFUL CURB APPEAL

From White and Sandtone to deep, rich Terratone, Cocoa Bean, Dark Bronze and Black colors, 100 Series windows and doors complement any project.

ATTRACTIVE MATTE INTERIORS

Durable, matte White or Sandtone interiors are available. Interiors may also be painted to match a home's décor!†

DESIGN FLEXIBILITY

Choose from a complete product line (single-hung, gliding, casement, awning, picture and specialty windows and gliding patio doors) in a variety of shapes, sizes and combinations.

IMPROVE YOUR VIEW WITH TRUSCENE® INSECT SCREENS

With over 50% more clarity than conventional insect screens, optional TruScene® insect screens for windows give you beautifully unobstructed views. They let more sunlight and fresh air into the home while keeping the smallest insects out!†



*Visit andersenwindows.com/warranty or contact your Andersen supplier for details.

**See your local code official for building code requirements in your area.

†See care and maintenance guide.

‡All comparisons made to conventional Andersen® insect screens.

FIBREX[®] MATERIAL. STRONG ON PERFORMANCE. GENTLE ON THE ENVIRONMENT.

With Fibrex[®] composite material, you get the best of both worlds: a top-performing product that is environmentally responsible.

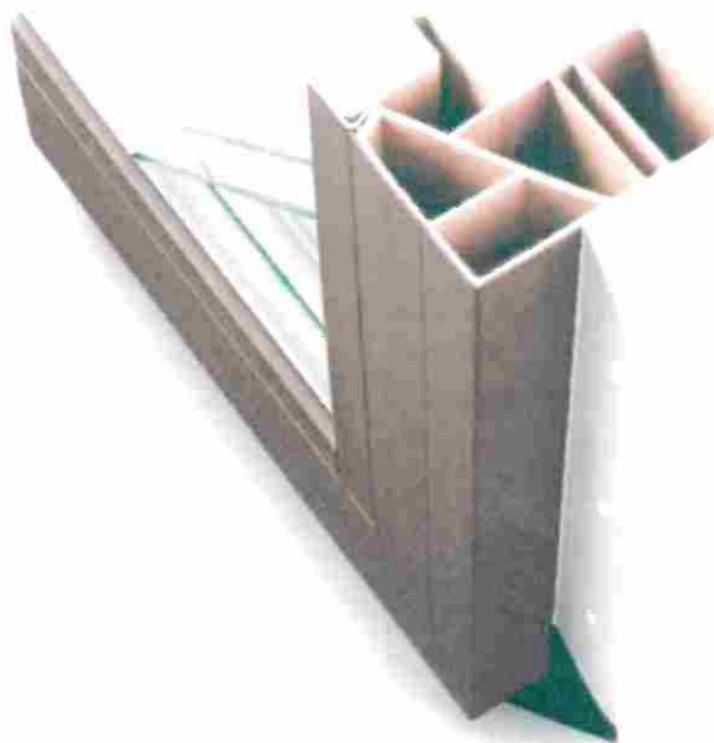
Developed by Andersen, Fibrex material is a revolutionary structural composite material that blends the very best attributes of vinyl and wood. Fibrex material saves on natural resources because it is composed of 40% wood fiber by weight reclaimed from the manufacture of Andersen[®] wood windows. Special polymer formulations surround and fill each wood fiber, enabling top performance.

The result is a material that provides uncommon value and enhances the quality of any project. In use for nearly two decades in Andersen products, Fibrex material has proven its strength and durability in all types of climates.



A REVOLUTIONARY BUILDING MATERIAL

- Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight
- It blocks thermal transfer nearly 700 times better than aluminum to help reduce heating and cooling bills
- For exceptional durability, Fibrex material retains its stability and rigidity in all climates



ENVIRONMENTALLY RESPONSIBLE

- Since Andersen developed the highly sustainable Fibrex material, reuse of waste wood fiber has prevented the harvesting of nearly 90 million board-feet of timber
- 100 Series windows can help builders earn LEED[®] points in three key categories: Energy & Atmosphere, Materials & Resources and Indoor Environmental Quality
- 100 Series products meet or exceed California Section 01350 Specification, a California indoor emission standard — one of the toughest in the country
- Like all Andersen windows, the 100 Series product line is designed to last* and reduce future waste streams



See how Andersen created Fibrex material at andersenwindows.com/fibrex

*Visit andersenwindows.com/warranty or contact your Andersen supplier for details. All logos and marks are trademarks of their respective owners.

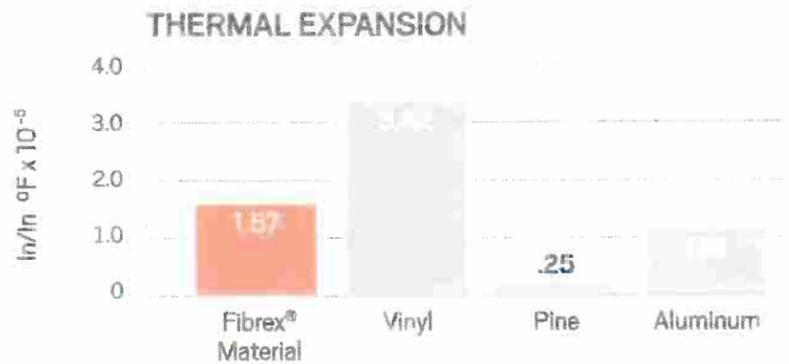
✓ STABLE & PREDICTABLE

Fibrex® material is twice as stiff as vinyl. This strength makes it a better choice over time.



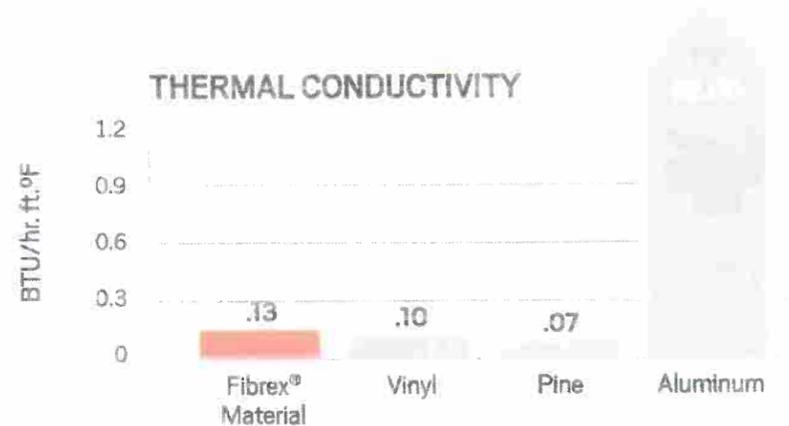
✓ DURABLE & RELIABLE

All materials expand and contract when exposed to extreme temperatures. In these types of conditions, Fibrex material performs twice as well as vinyl, which can bow and crack over time.



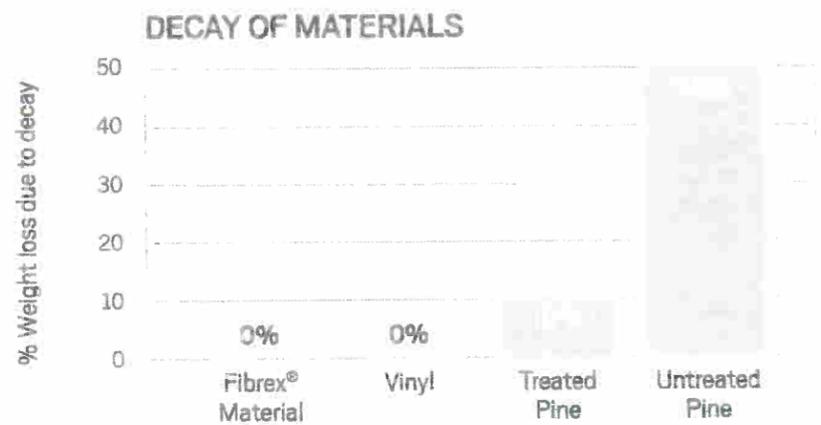
✓ AN EXCELLENT INSULATOR

The built-in thermal qualities of Fibrex material mean that less heat and cold get transferred through the unit into your customers' homes. As an insulator, it's on par with vinyl and is far superior to aluminum.



✓ MOISTURE-RESISTANT

Because Fibrex material combines wood fiber and a special polymer formula, water has a tough time penetrating. The result is an increased resistance to rot.



✓ HEAT-RESISTANT

Designed to withstand direct sunlight, Fibrex material can withstand temperatures in excess of 160°F, even in dark colors.

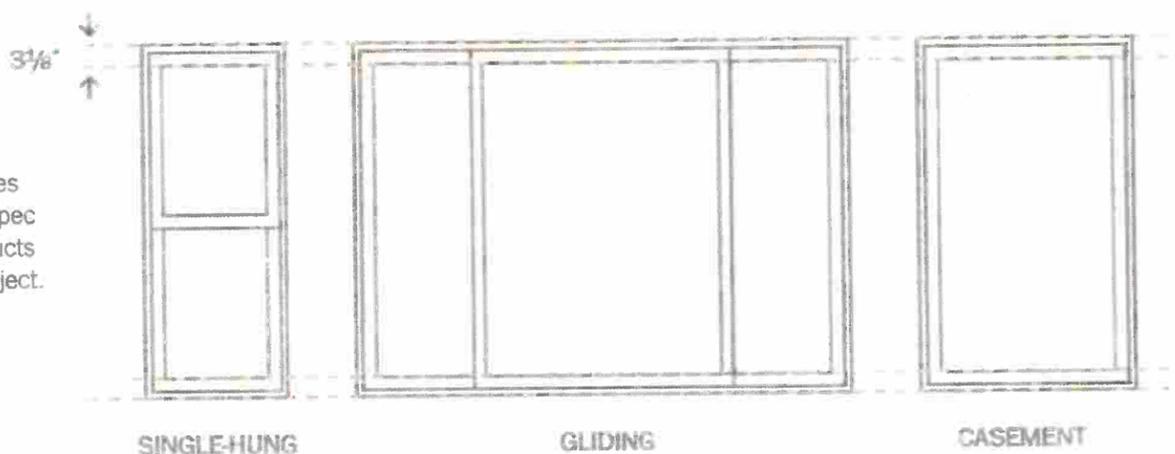
WHATEVER YOUR PROJECT, ANDERSEN DELIVERS.



BUILD

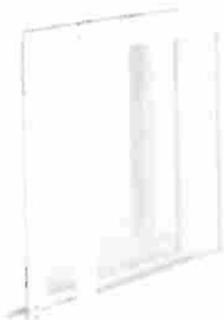
Wherever you work and whatever style of home you're building, you'll find a window or door to match in the Andersen® 100 Series product line. Choose from six exterior colors that won't fade, flake, blister, chalk or peel*—no matter what the climate. Virtually seamless corners create a beautiful, clean look.

Uniform sight lines make it easy to spec 100 Series products for the whole project.



SINGLE-HUNG DRYWALL WINDOW (DRYWALL PASS-THROUGH WINDOW)

- Upper sash (normally stationary) is easily removed on jobsite after the window is installed
- With both sash removed, drywall passes through the window into upper floors

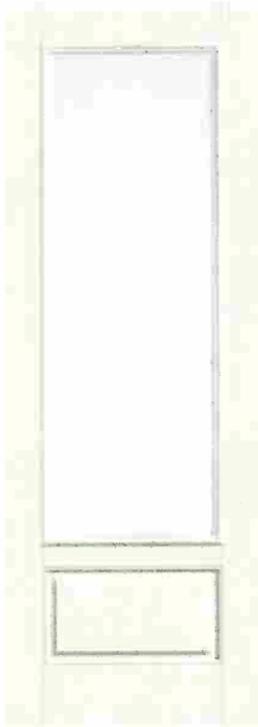


EXTENSION JAMB ATTACHMENT FLANGE

- Easily apply extension jambs to products on the jobsite
- Flanges consist of 8' lengths of PVC applied to the outside edges of frames with VHB (very high bond) tape
- Watch a video on this convenient feature at andersenwindows.com/extjamb



*Visit andersenwindows.com/warranty or contact your Andersen supplier for details.



Fiberglass Entry Door Systems: Smooth-Star

About this entry door system

This entry door system is available with different features. The table below breaks down the various product options by size and available features. You should work with an authorized Therma-Tru dealer and/or your builder to determine the best option for your home based on environment and region of the country.

Door

8ft 3/4 Lite 1 Panel Style IDs	Available Sizes	Available Options
S880	2'8" x 8'0" 2'10" x 8'0" 3'0" x 8'0"	

Finish Option: Paintable



[Installation Instructions](#)

Create curb appeal with plenty of color options. Smooth-Star features crisp, clean lines with a smooth, paintable surface. A much more attractive and durable alternative to steel, it has the look of a real wood door with all the benefits of fiberglass. From curb appeal to convenience, Smooth-Star entry doors are made to keep up with your lifestyle.



Where to buy
[Click](#) to locate an authorized Therma-Tru dealer near you.

Clear Glass



Privacy Scale Rating *



Clear Features

Our insulated clear glass doorlites are tempered and double-paned.

Grille:



Simulated Divided Lites

[More Divided Lite Details](#)

*Grilles may not be available for all door collections. Please check with your dealer or distributor for availability.

*Note: Glass privacy ratings are determined by the 1/2 lite size glass. As a result, the amount of privacy/glass transparency may be more or less than indicated by the privacy rating, based on glass design and the size of the glass that's inserted into the door, sidelite or transom. Glass design may differ from depiction due to size of glass. Please consult your Therma-Tru dealer for more details.

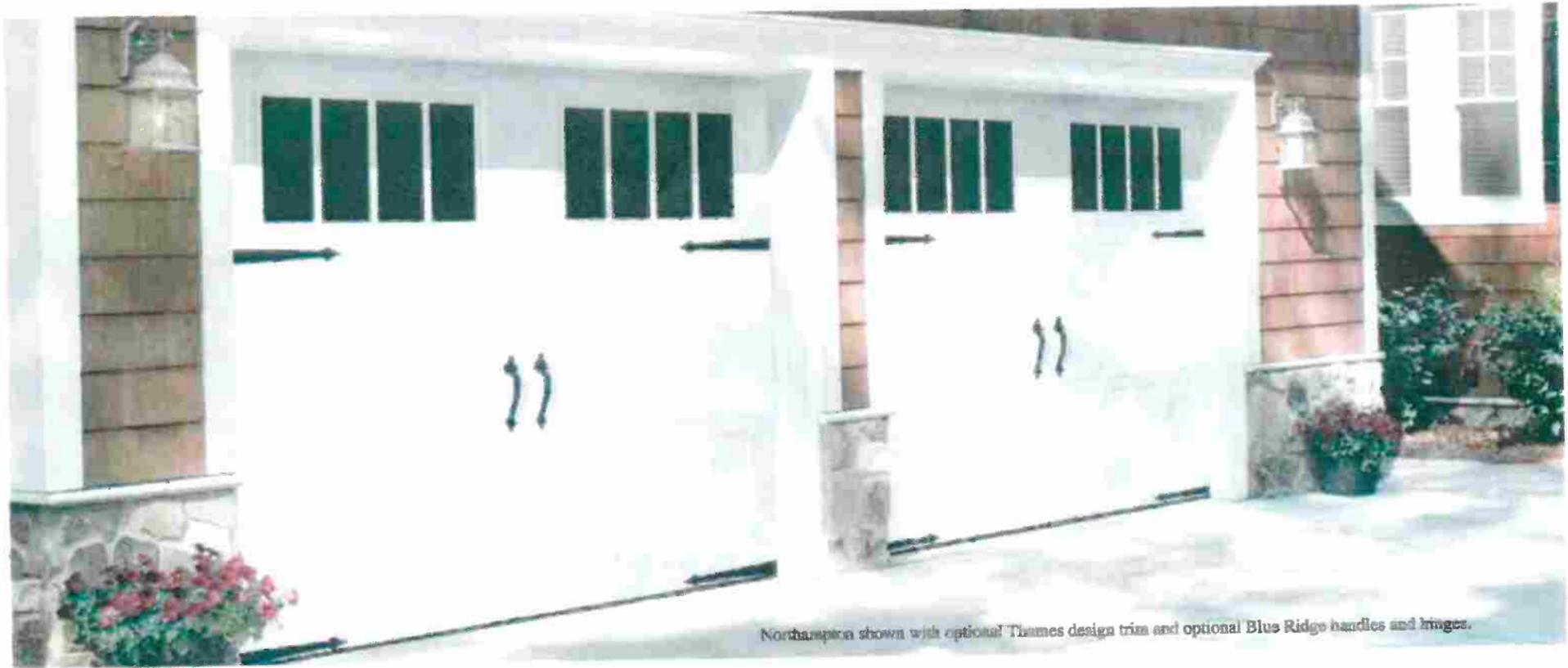




Carriage House



Carriage House with Closed Arched Window and optional Blue Ridge handles and hinges.



Northampton shown with optional Thames design trim and optional Blue Ridge handles and hinges.

Specification

PANEL DESIGNS

Carriage House

INSULATION¹

R-VALUE/U-FACTOR

DOOR THICKNESS

STEEL THICKNESS

WINDOW GLASS OPTIONS

1/8" Tempered Double Strength

Optional Insulated Glass

Obscure

WIND LOAD AVAILABLE²

WARRANTY⁴

Paint Finish

Hardware

AMARR® CLASSICA® Series 2000

7 Designs

Polystyrene

6.64/0.15

2" (5.1cm)

24 ga

•

•

•

Lifetime

5 Years

AMARR® CLASSICA® Series 3000

7 Designs

Polyurethane

13.35/0.07

2" (5.1cm)

25/27 ga

•

•

•

Lifetime

Lifetime

¹ Insulation has passed self-ignition, flamespread and smoke developed index fire testing.

² Calculated door section R-Value is in accordance with DASMA TDS-163

³ It is your responsibility to make sure your garage door meets local building codes.

⁴ For complete warranty details, visit deldenmfg.com or contact your local Delden dealer.



"Experience the Quality"

KANSAS CITY, MO
www.DeldenMfg.com

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Your Local Delden Dealer:

Delden reserves the right to change specifications and designs without notice and without incurring obligations. Some graphics and details provided courtesy of Entrematic and used by permission.



AMARR® CLASSICA® COLLECTION



LUCERN

VALENCIA

SANTIAGO

TUSCANY

NORTHAMPTON

BORDEAUX

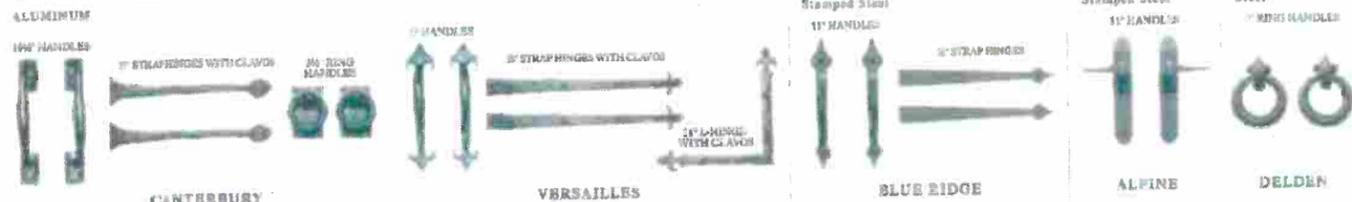
CORTONA

TOP SECTION OPTIONS

WINDOWS

Not all window designs are stock items. Contact your local Delden dealer for details.

Decorative Hardware



Additional decorative strap design with arrow tip recommended for arch openings.

Construction

Double-Layer Steel + Insulation
 Heavy-Duty Smaller Size™
 Durable, Reliable, Low Maintenance
 Bidirectionally Safe Polystyrene Thermal Insulation
 Energy Efficient
 Quiet Operation
 R-Value 5.84

Triple-Layer Steel + Insulation + Glass
 Heavy-Duty Exterior and Interior Steel
 Durable, Reliable, Low Maintenance
 Bidirectionally Safe Polystyrene Thermal Insulation
 Superior Energy Efficient
 Extra Quiet Operation
 R-Value 13.25

COLORS

White, Almond, Wicker Tan, Sandstone, Terratone, Dark Brown, Golden Oak, Walnut, Mahogany

Price per charge for woodgrain.

DELLEN GARAGE DOORS

"Experience the Quality"

KANSAS CITY, MO
www.DeldenMfg.com

